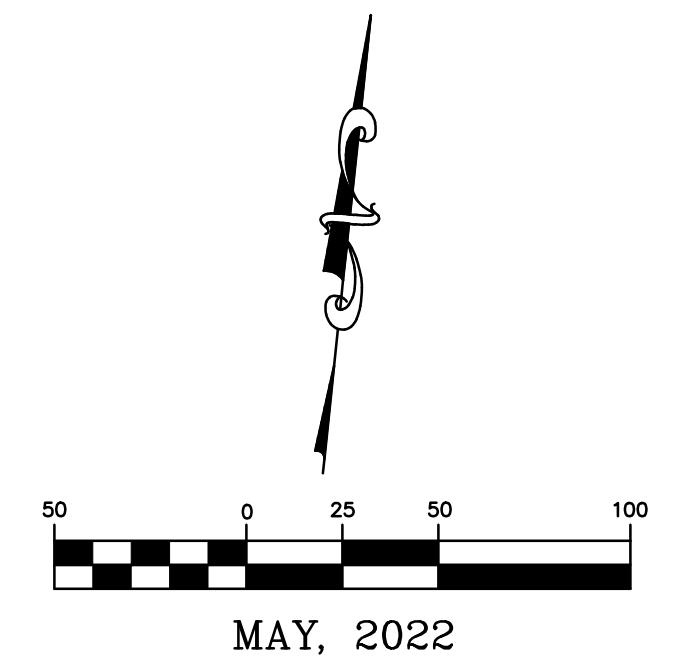
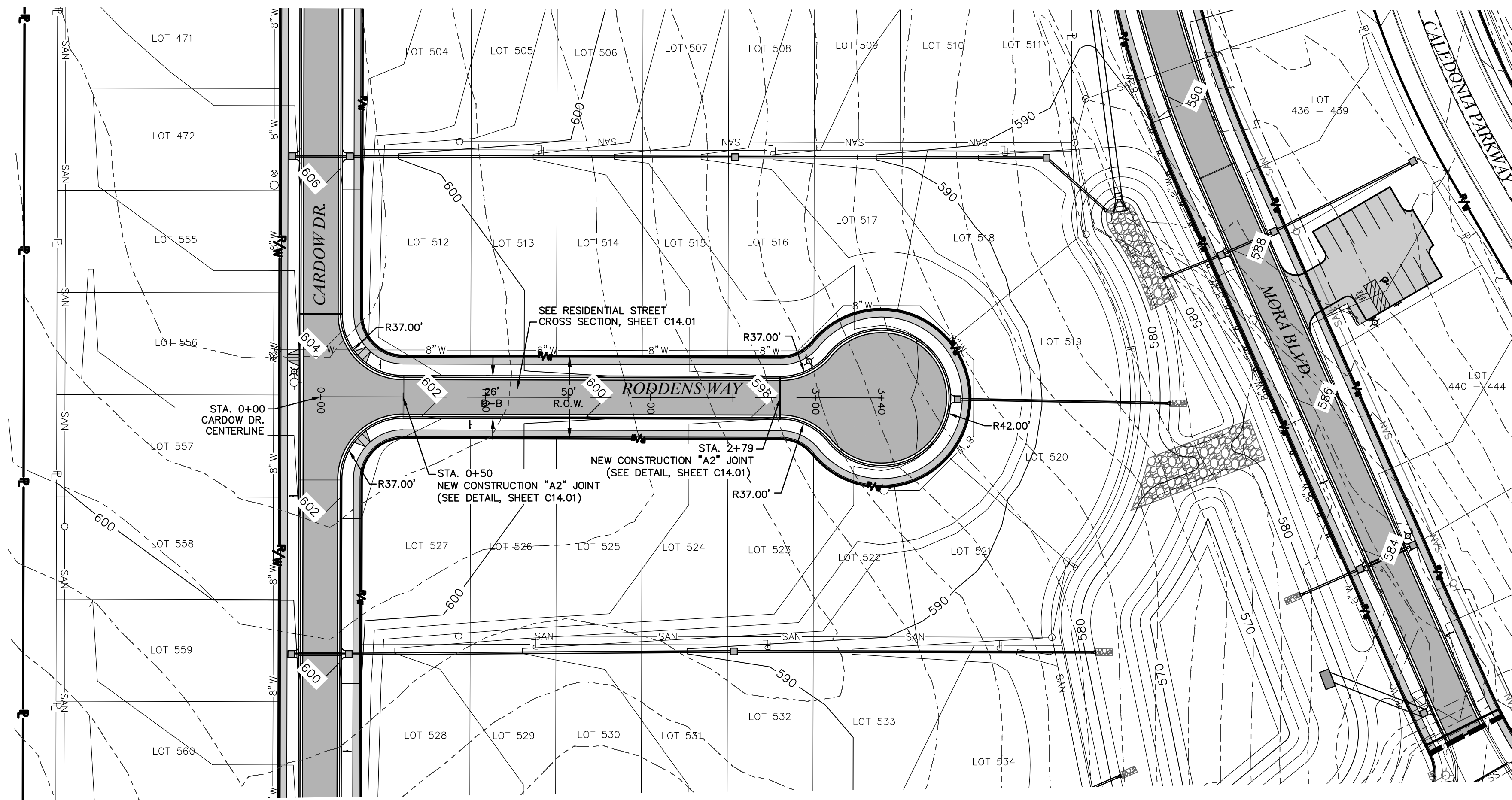


RODDENS WAY



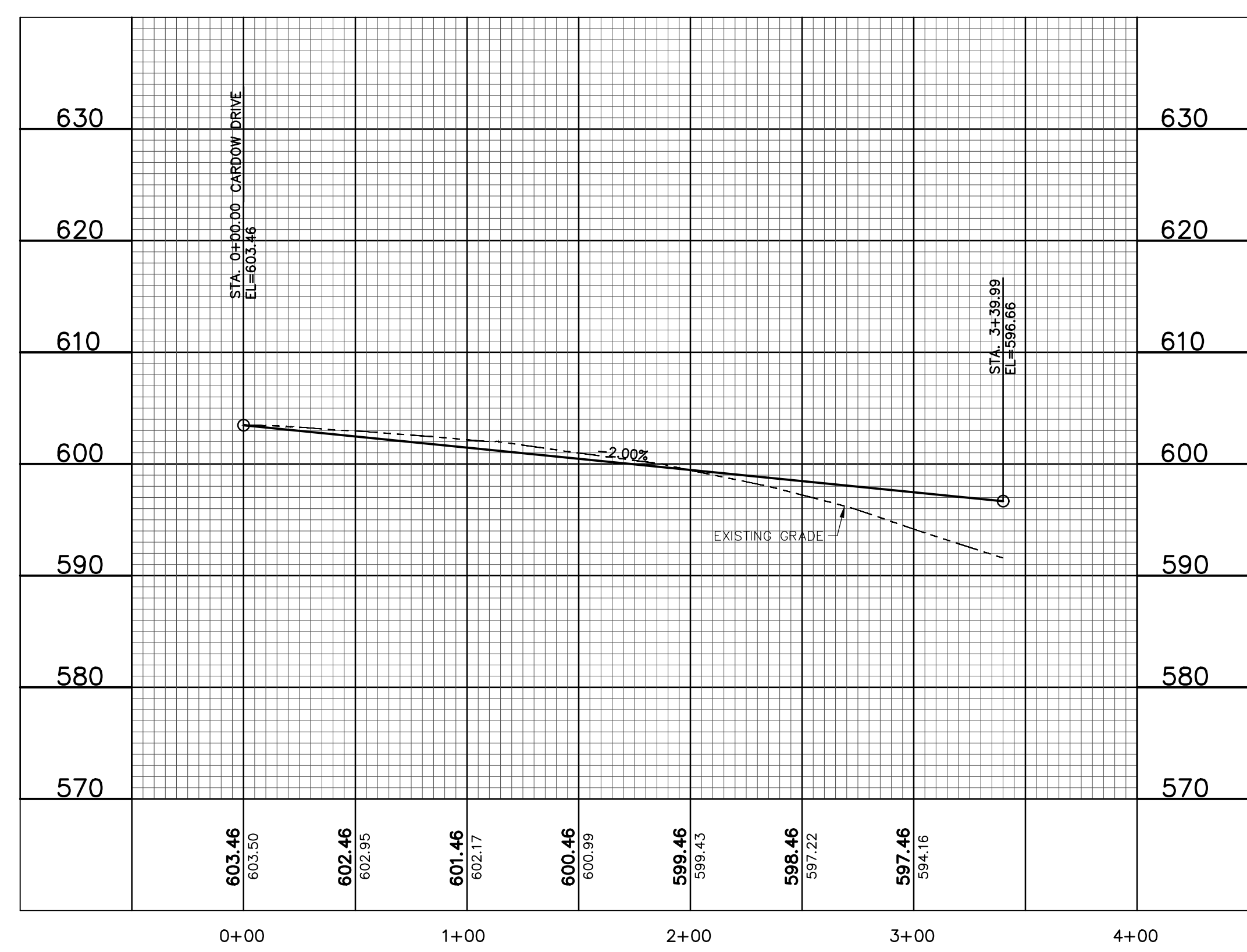
MAY, 2022

LEGEND

EXISTING	PROPOSED
--- 500 ---	INDEX CONTOUR 500
---	INTERMEDIATE CONTOUR 498
---	PROPERTY LINE
R/W	RIGHT-OF-WAY
---	LOT LINE
---	EASEMENT
---	UNDERGROUND ELECTRIC UGE
---	UNDERGROUND TELEPHONE UGT
---	UNDERGROUND FIBER OPTIC FO
---	SANITARY SEWER SAN
---	SANITARY MANHOLE
---	SANITARY FORCE MAIN FM
---	STORM SEWER SS
---	INLET
---	GRATED INLET
---	FLARED END SECTIONS
---	GAS LINE
---	WATER LINE W
---	FIRE HYDRANTS
---	WATER VALVE
---	GUARDRAIL
---	CONCRETE PAVEMENT
---	ASPHALT PAVEMENT

MINOR RESIDENTIAL ROAD DESIGN REQUIREMENTS

ROAD SPEED LIMIT	25 MPH
ROAD DESIGN SPEED	25 MPH
CREST DESIGN	K = 12
SAG DESIGN	K = 26
MINIMUM SLOPE DESIGN	2% MIN.
MAXIMUM SLOPE DESIGN	10% MAX.



OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

636-584-0540 (tel.)
636-584-0512 (fax)
mailto:ochran.com

COCHRAN

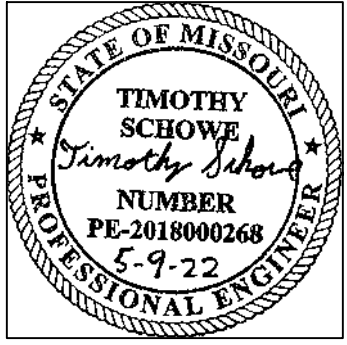
530A E. Independence Dr.
Union, Missouri 63084

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 016555
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-UGC-RTTE for utility location information.

All OSHA rules & regulations and state regulations apply to these plans and be strictly followed (i.e. trenching, blasting, etc.).



THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

DATE	REVISION	APP'D BY	APP'D BY
		JMM	ERR

DATE: MAY 09, 2022
 HORIZ. SCALE: 1"=50'
 VERT. SCALE: 1"=10'
 PROJ. NO.: 17-6821
 DWG. NO.:

RODDENS WAY
C12.06

Drawing name: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\AutoCad Drawings\6821 - Plan Sheets\Construction Drawings\PH4 Residential Plans\35_Roddens Way Plan & Profile Phase 4.dwg Tab: RODDENS WAY Plotted on: May 07, 2022 - 8:02am Plotted by: jmaye