

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\AutoCad Drawings\6821 - Plan Sheets\Construction Drawings\PH4 Residential Plans\00_Cover Sheet Phase 4.dwg LAYOUT TAB: COVER SHEET PLOTTED ON: Jul 13, 2022 - 1:14pm PLOTTED BY: jfneyer



CONTACT INFORMATION
OWNER
OWNER: <u>DD LAND DEVELOPMENT, LLC</u>
REPRESENTATIVE: <u>JEFF THOELE</u>
ADDRESS: <u>10407 BAUR BLVD. SUITE B, ST. LOUIS, MO 63132</u>
PHONE: <u>314-996-0300</u>
STREETS/STORM SEWER
OWNER: <u>CITY OF O'FALLON</u>
REPRESENTATIVE: <u>WADE MONTGOMERY</u>
ADDRESS: <u>100 N. MAIN STREET O'FALLON, MO 63366</u>
PHONE: <u>636-379-5567</u>
WATER
OWNER: <u>PUBLIC WATER SUPPLY DISTRICT #2</u>
REPRESENTATIVE: <u>CHUCK KRAKOSKY</u>
ADDRESS: <u>100 WATER DRIVE O'FALLON, MO 63368</u>
PHONE: <u>636-561-3737 EXT. 131</u>
SANITARY SEWER
OWNER: <u>DUCKETT CREEK</u>
REPRESENTATIVE: <u>MIKE MERKT</u>
ADDRESS: <u>3550 HIGHWAY K, O'FALLON, MO 63368</u>
PHONE: <u>636-441-1244</u>
ELECTRIC
OWNER: <u>CUIVRE RIVER ELECTRIC COOP.</u>
REPRESENTATIVE: <u>DAN SCHNEIDER</u>
ADDRESS: <u>8757 HWY N, LAKE ST. LOUIS, MO</u>
PHONE: <u>636-695-4741</u>
GAS
OWNER: <u>SPIRE</u>
REPRESENTATIVE: <u>RICHARD FROCK</u>
ADDRESS: <u>1999 TRADE CENTER DR., EAST ST. PETERS, MO 63376</u>
PHONE: <u>816-472-3489</u>
TELEPHONE
OWNER: <u>CENTURY LINK</u>
REPRESENTATIVE: <u>TIM HOWE</u>
ADDRESS: <u>1151 CENTURYLINK DR., WENTZVILLE, MO, 63385</u>
PHONE: <u>636-445-7055</u>
TELEPHONE
OWNER: <u>CHARTER COMMUNICATIONS</u>
REPRESENTATIVE: <u>LARRY RICHARDSON</u>
ADDRESS: <u>101 NORTHWEST PLAZA DR. ST. ANN MO 63074</u>
PHONE: <u>314-393-6295</u>
SPECIAL NOTES:
FOR QUESTIONS OR CLARIFICATIONS CONTACT ELLIOTT REED AT 636-584-0540

FIRE DEPARTMENT
OWNER: <u>WENTZVILLE FIRE DISTRICT</u>
REPRESENTATIVE: <u>CHRIS CUDDIHEE</u>
ADDRESS: <u>209 WEST PEARCE BLVD. WENTZVILLE, MO 63385</u>
PHONE: <u>636-332-9869</u>
DEVELOPER
OWNER: <u>PAYNE FAMILY HOMES</u>
REPRESENTATIVE: <u>JEFF THOELE</u>
ADDRESS: <u>10407 BAUR BLVD. SUITE B, ST. LOUIS, MO 63132</u>
PHONE: <u>314-996-0300</u>

CITY CONDITIONS:
 Planning and Zoning Commission recommends approval of the Final Plan based on the following findings and conditions:

- Prior to the issuance of building permits for 40% of the total units, all recreational amenities shall be open for use.
- Ensure that mail kiosk and on street parking is revised per the sight distance study.
- The Municipal Code requirements listed above shall be addressed on the Construction Site Plans.
- Signs shall be reviewed through a separate review process.
- Work with staff on the pedestrian crossings throughout the development.
- Revised the width on the typical lot detail from 50' to 52'.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:
 October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 31.38 acres
 Number of proposed units is 151
 Building setback information. Front 20'
 Side 6'
 Rear 15'

* The estimated Phase 4 sanitary flow in gallons per day is 151 homes * 370 gal/home/day = 55,870 gallons

* Landscape Requirements Phase 4
 Phase 4 residential lots: 151 Single Family lots - 1 tree per unit = 151 trees
 Phase 4 residential lots: 14 corner lots X 1 tree per lot = 14 trees
 Tree preservation 31.38 acres X 15 trees/acre = 470.7 or 471 trees
 Total Phase 4 residential trees required = 636 trees
 Total Phase 4 trees provided: 636 trees

PHASE	AREA	PRESERVATION TREES
1 NORTH	32.53 AC.	488 TREES
1 SOUTH	30.00 AC.	450 TREES
2	6.90 AC.	104 TREES
3	53.39 AC.	801 TREES
4	31.38 AC.	471 TREES
TOTAL	154.20 AC.	2,314 TREES

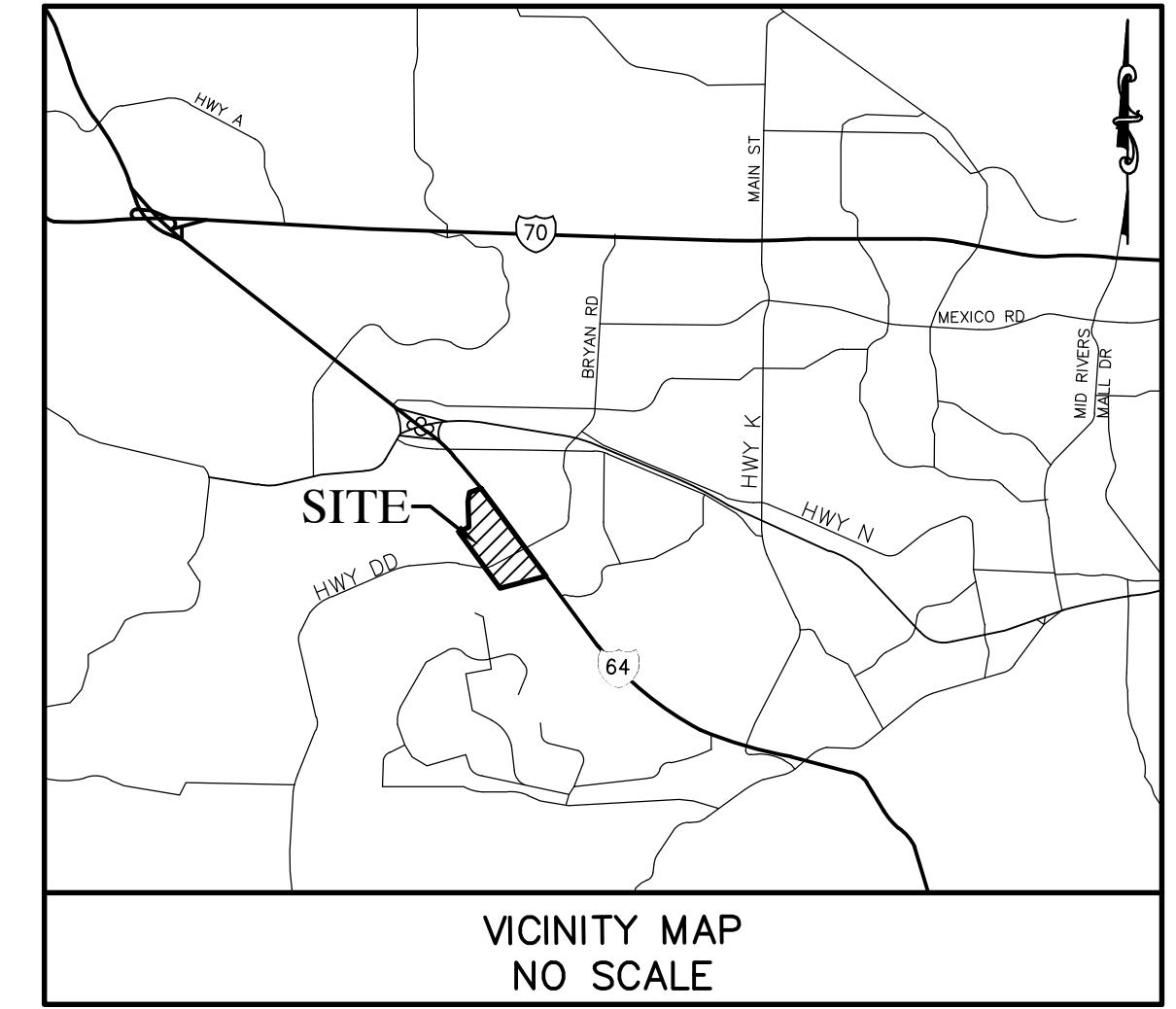
P&Z No. 21-010873
 P&Z Approval Date: 03/03/22
 Permit No.
 Project Benchmark: Missouri Geographic Reference System Station SC-37. Published Elevation = 631.23.

Site Benchmark #1: Cross along Caledonia Parkway adjacent to Townhouse Lots 445-449 Elev. = 583.38 (See Grading Plan, Sheet C5.0)

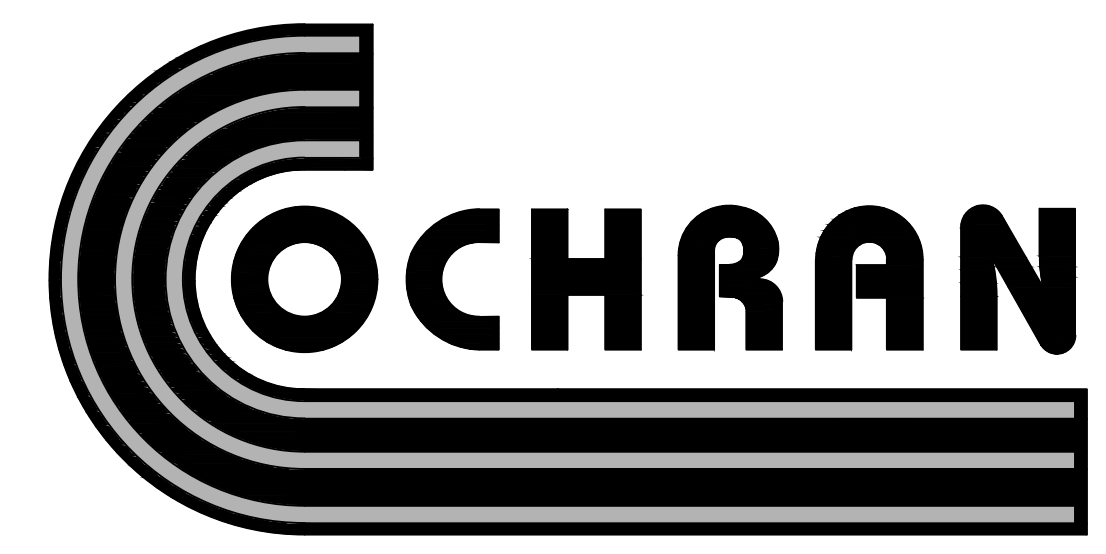
Site Benchmark #2: Cross along Caledonia Parkway adjacent to Townhouse Lots 420-423 Elev. = 596.64 (See Grading Plan, Sheet C5.01)

PHASE 4 RESIDENTIAL IMPROVEMENTS PLANS FOR THE STREETS OF CALEDONIA IN THE CITY OF O'FALLON, MISSOURI

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: DATE **AUGUST 18, 2022**
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN



PROJECT NO. 17-6821



- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

530A E. INDEPENDENCE DRIVE, UNION, MISSOURI 63084
 TELEPHONE (636) 584-0540
 FAX (636) 584-0512
 E-MAIL mail@cochraneng.com

MAY, 2022
REVISED: JULY 13, 2022

SHEET INDEX	SHEET
GENERAL NOTES	C1.0
GENERAL NOTES	C1.01
OVERALL PLAN	C1.02
EXISTING CONDITIONS	C2.0
EXISTING CONDITIONS	C2.01
SITE UTILITY PLAN	C3.0
SITE UTILITY PLAN	C3.01
SITE DIMENSIONAL PLAN	C3.02
SITE DIMENSIONAL PLAN	C3.03
STREET LIGHTING PLAN	C3.04
STREET LIGHTING PLAN	C3.05
STREET STRIPING & SIGNAGE PLAN	C3.06
STREET STRIPING & SIGNAGE PLAN	C3.07
SIGHT DISTANCE PLAN	C3.08
WATER PLAN	C4.0
WATER PLAN	C4.01
GRADING PLAN	C5.0
GRADING PLAN	C5.01
S.W.P.P.P.	C6.0
S.W.P.P.P.	C6.01
S.W.P.P.P. GENERAL NOTES & DETAILS	C7.0
S.W.P.P.P. GENERAL NOTES & DETAILS	C7.01
EXISTING DRAINAGE AREA MAP	C8.0
PROPOSED DRAINAGE AREA MAP	C8.01
STORM SEWER DRAINAGE AREA MAP	C8.02
STORM SEWER PLAN OVERVIEW	C9.0
STORM SEWER LINES #25-#25B PLAN & PROFILES	C9.01
STORM SEWER LINES #25C-#25I PLAN & PROFILES	C9.02
STORM SEWER LINES #25H-#26A PLAN & PROFILES	C9.03
STORM SEWER LINES #27-#29 PLAN & PROFILES	C9.04
STORM SEWER LINES #31 & #32 PLAN & PROFILES	C9.05
STORM SEWER LINES #33 & #34 PLAN & PROFILE	C9.06
RETENTION BASIN CROSS SECTIONS	C10.0
SANITARY SEWER PLAN OVERVIEW	C11.0
SANITARY SEWER LINES #40-#41 PLAN & PROFILES	C11.01
SANITARY SEWER LINES #42-#42C PLAN & PROFILES	C11.02
SANITARY SEWER LINE #44 PLAN & PROFILE	C11.03
SANITARY SEWER LINE #43 PHASE 4A PLAN & PROFILE	C11.04
SANITARY SEWER LINES #45 & #46 PHASE 4B PLAN & PROFILES	C14.04B
SANITARY SEWER LINES #47 & #47A PLAN & PROFILES	C11.05
SANITARY SEWER ZONE OF INFLUENCE	C11.06
MORA BOULEVARD STA. 114+15 - 20+86 PLAN & PROFILE	C12.01
CARDOW DRIVE STA. 0+28 - 13+00 PLAN & PROFILE	C12.02
CARDOW DRIVE STA. 13+00 - 19+98 PLAN & PROFILE	C12.03
TOWNSHEAD WAY PLAN & PROFILE	C12.04
KINSIE DRIVE PLAN & PROFILE	C12.05
RODDENS WAY PLAN & PROFILE	C12.06
CLARKSTON DRIVE PLAN & PROFILE	C12.07
CHARLOTTE GARDEN WAY PLAN & PROFILE	C12.08
WARPING DETAILS	C13.0
WARPING DETAILS	C13.01
DETAIL SHEET	C14.01
DETAIL SHEET	C14.02
DETAIL SHEET	C14.03
DETAIL SHEET	C14.04
DETAIL SHEET	C14.05
DETAIL SHEET	C14.06
DETAIL SHEET	C14.07
DETAIL SHEET	C14.08
DETAIL SHEET	C14.09
DETAIL SHEET	C14.10
DETAIL SHEET	C14.11
DETAIL SHEET	C14.12
LANDSCAPE PLAN	L1
LANDSCAPE PLAN	L2

Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

OWNER/DEVELOPER:
 DD LAND DEVELOPMENT, LLC
 10407 BAUR BLVD, SUITE B
 ST. LOUIS, MO 63132