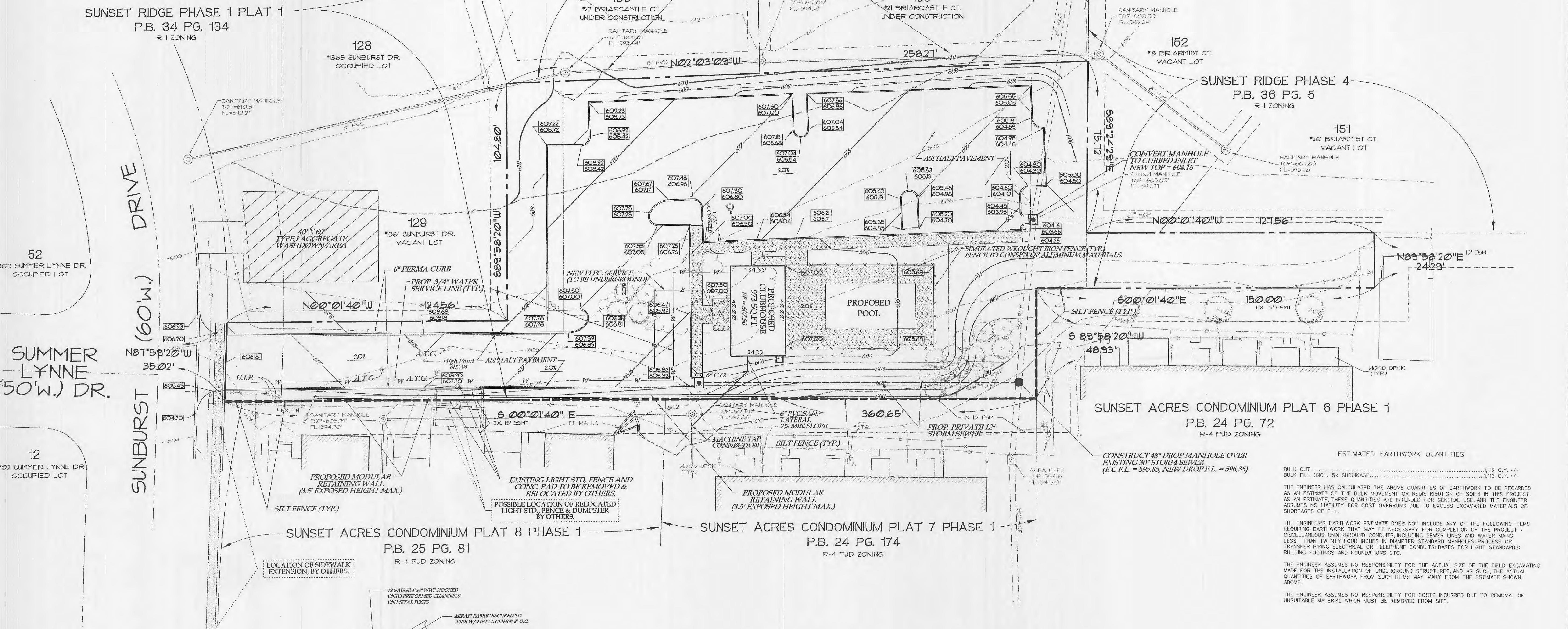
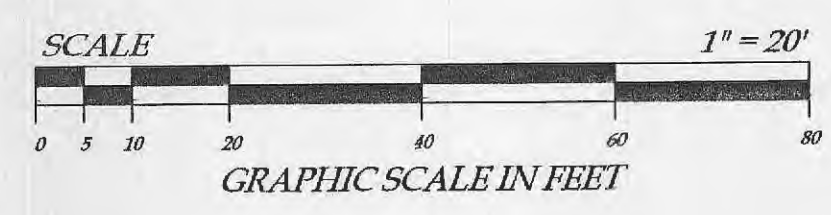


COMMON GROUND OF SUNSET RIDGE ESTATES PHASE 1 PLAT 1 & PHASE 4,
PART OF SECTION 36, TOWNSHIP 47 NORTH, RANGE 2 EAST,
AS RECORDED IN PLAT BOOK 34, PAGE 134 AND PLAT BOOK 36, PAGE 5,
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



NOTE - GRADING ON ADJACENT SUBDIVISION LOTS TO BE DONE AT TIME OF NEW HOME CONSTRUCTION OR A TEMPORARY GRADING EASEMENT WILL BE ACQUIRED.

SUNSET RIDGE PHASE 1 PLAT 1
P.B. 34 PG. 134
R-1 ZONING

SUNSET RIDGE PHASE 1 PLAT 2
P.B. 37 PG. 66
R-1 ZONING

SUNSET RIDGE PHASE 4
P.B. 36 PG. 5
R-1 ZONING

SUNSET ACRES CONDOMINIUM PLAT 6 PHASE 1
P.B. 24 PG. 72
R-4 FUD ZONING

SUNSET ACRES CONDOMINIUM PLAT 8 PHASE 1
P.B. 25 PG. 81
R-4 FUD ZONING

SUNSET ACRES CONDOMINIUM PLAT 7 PHASE 1
P.B. 24 PG. 174
R-4 FUD ZONING

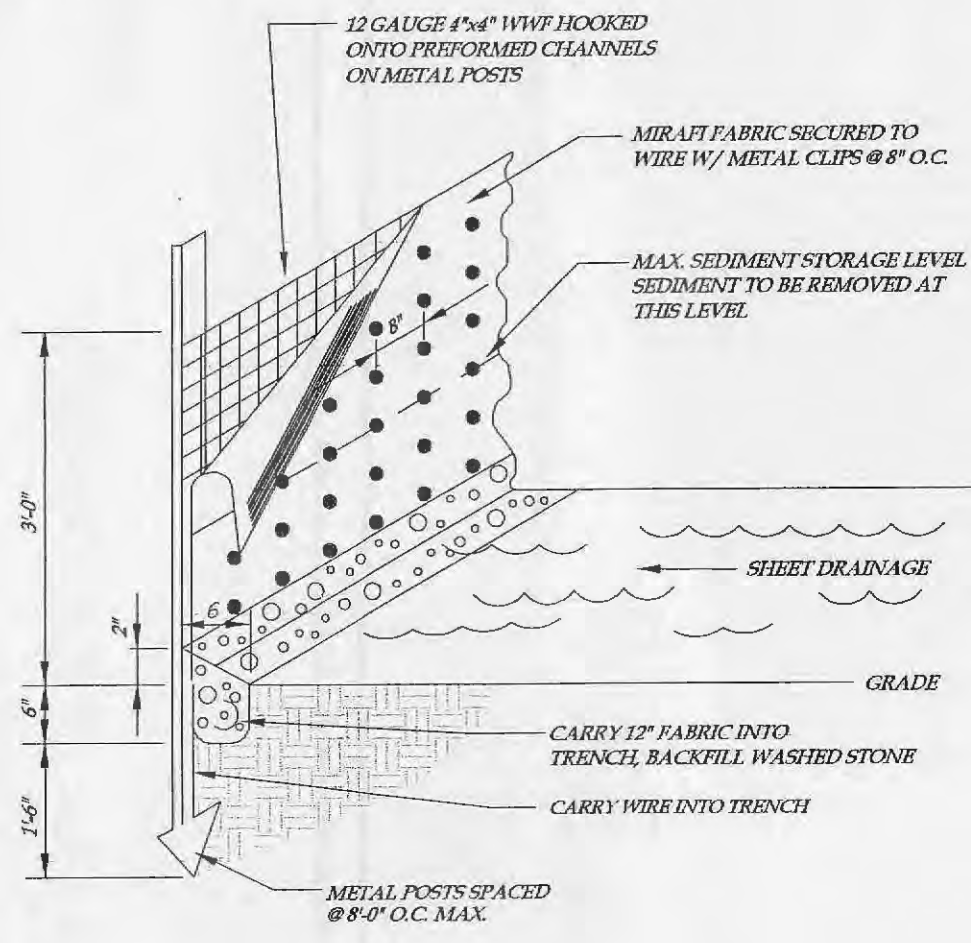
DRIVE (60'w.)

SUNBURST (60'w.)

SUMMER LYNNE (50'w.) DR.

CAUTION!!!
CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EXCAVATION OPERATIONS TO AVOID AND PROTECT EXISTING UNDERGROUND UTILITIES.

The underground utilities shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, size, type, number, or location of these or other utilities. The general contractor shall be responsible for verifying the actual location of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.



SILT FENCE DETAIL

NOTES:

1. DEVELOPER SHALL SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
2. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SHALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT.
3. ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH RAIN OR MORE.
4. GRADED AREAS THAT ARE TO REMAIN BARE FOR OVER 6 MONTHS SHALL BE SEEDED AND MULCHED.
5. ROOF DOWNSPOUTS TO DISCHARGE ON GRADE AND WILL NOT BE TIED TO STORM SEWER.
6. SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.

ESTIMATED EARTHWORK QUANTITIES

BULK CUT	1,112 C.Y. +/-
BULK FILL (INCL. 15% SHRINKAGE)	1,112 C.Y. +/-

THE ENGINEER HAS CALCULATED THE ABOVE QUANTITIES OF EARTHWORK TO BE REGARDED AS AN ESTIMATE OF THE BULK MOVEMENT OR REDISTRIBUTION OF SOILS IN THIS PROJECT. AS AN ESTIMATE, THESE QUANTITIES ARE INTENDED FOR GENERAL USE, AND THE ENGINEER ASSUMES NO LIABILITY FOR COST OVERRUNS DUE TO EXCESS EXCAVATED MATERIALS OR SHORTAGES OF FILL.

THE ENGINEER'S EARTHWORK ESTIMATE DOES NOT INCLUDE ANY OF THE FOLLOWING ITEMS REQUIRING EARTHWORK THAT MAY BE NECESSARY FOR COMPLETION OF THE PROJECT: MISCELLANEOUS UNDERGROUND CONDUITS, INCLUDING SEWER LINES AND WATER MAINS LESS THAN TWENTY-FOUR INCHES IN DIAMETER, STANDARD MANHOLES, PROCESS OR TRANSFER PIPING, ELECTRICAL OR TELEPHONE CONDUITS, BASES FOR LIGHT STANDARDS, BUILDING FOOTINGS AND FOUNDATIONS, ETC.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL SIZE OF THE FIELD EXCAVATING MADE FOR THE INSTALLATION OF UNDERGROUND STRUCTURES, AND AS SUCH, THE ACTUAL QUANTITIES OF EARTHWORK FROM SUCH ITEMS MAY VARY FROM THE ESTIMATE SHOWN ABOVE.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR COSTS INCURRED DUE TO REMOVAL OF UNSUITABLE MATERIAL WHICH MUST BE REMOVED FROM SITE.

Address of Site:
1361 Sunburst Drive
O'Fallon, MO 63366

<p>12221 Big Bend Road St. Louis, Missouri 63122 314-822-4800 Fax 314-822-9266</p>	<p>SITE DEVELOPMENT ENGINEERING, INC.</p> <p>PLANNING • SURVEYING • CIVIL ENGINEERING</p>		
	<p>Common Ground Amenities at Sunset Ridge Estates</p>		
	<p>DATE: July 25, 2001</p> <p>CHECKED BY: SDR</p>	<p>JOB NO.: 201-023</p> <p>SCALE: 1" = 20'</p>	<p>DRAWN BY: JJA</p> <p>SCALE: 1" = 20'</p>
	<p>GRADING PLAN</p>		<p>SHEET: C4</p>

