

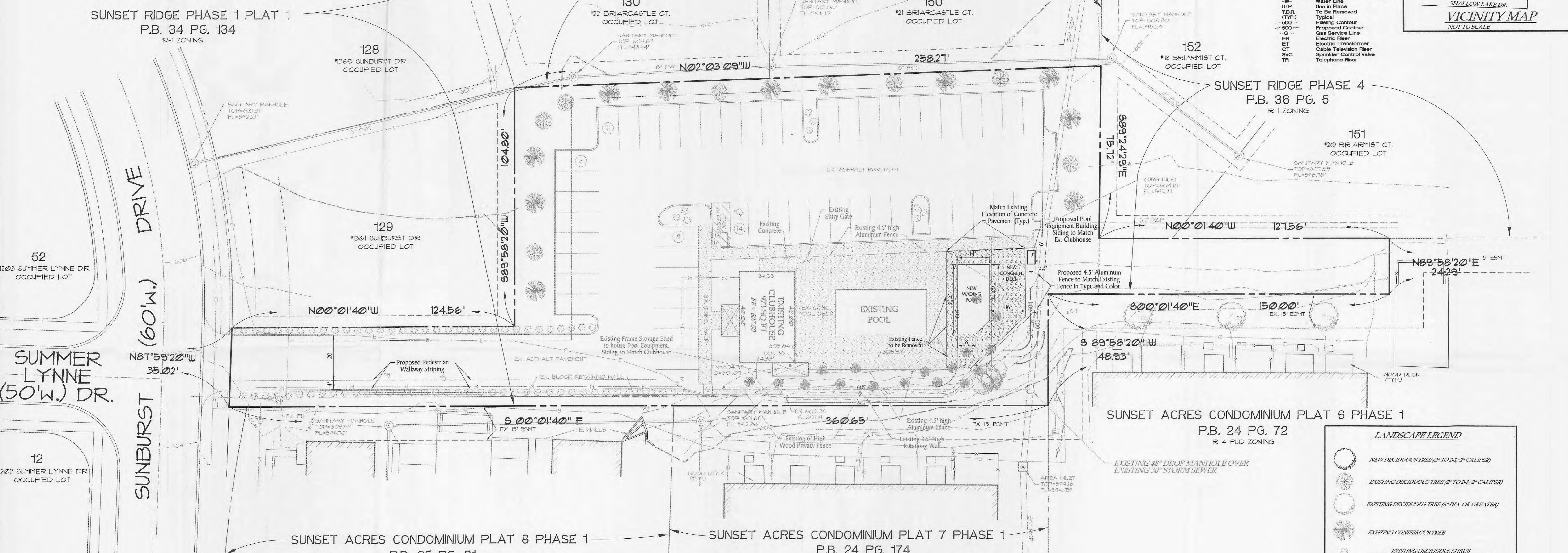
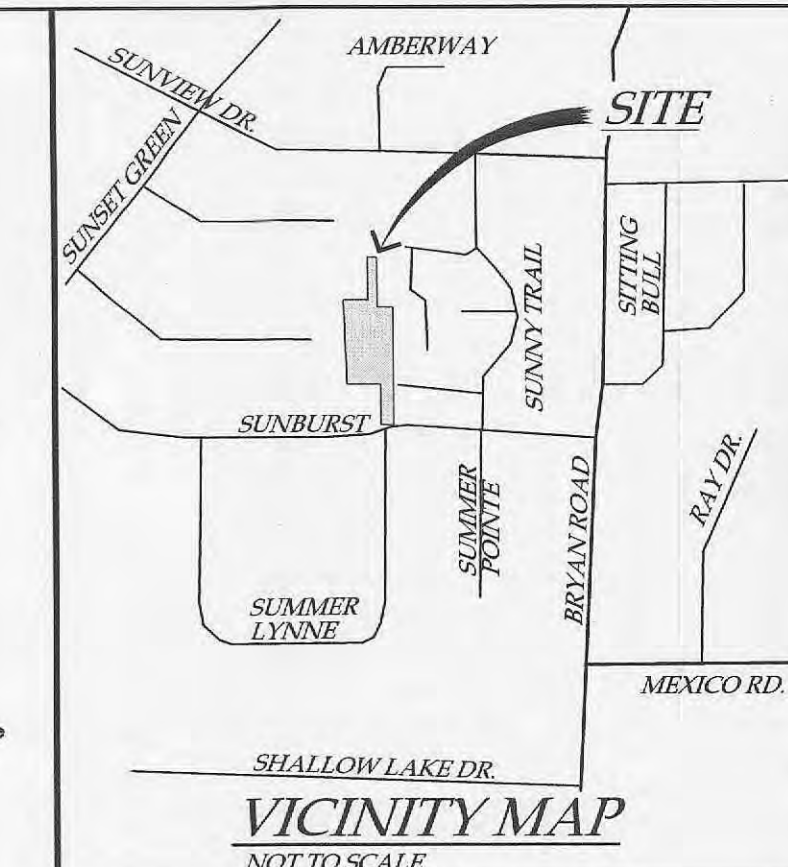
RECEIVED  
MAR 27 2006

SCALE  
1" = 20'  
GRAPHIC SCALE IN FEET

COMMON GROUND OF SUNSET RIDGE ESTATES PHASE I PLAT 1 & PHASE 4,  
PART OF SECTION 36, TOWNSHIP 47 NORTH, RANGE 2 EAST,  
AS RECORDED IN PLAT BOOK 34, PAGE 134 AND PLAT BOOK 36, PAGE 5,  
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

LEGEND

- AL Area Inlet
- AT&G Adjust to Grade
- BM Benchmark
- C.M.P. Corrugated Metal Pipe
- CL Centerline
- C.O. Clean Out
- EP End of Pipe
- FL Flow Line Elevation
- X- Fence Line
- GT Grease Trap
- F.H. Fire Hydrant
- GM Gas Meter
- GV Gas Valve
- C.W. Guy Wire
- L.S. Light Standard
- R.C.P. Reinforced Concrete Pipe
- U.P. Utility Pole
- W.M. Water Meter
- W.V. Water Valve
- G- Gas Line
- OE- Overhead Electric
- OU- Overhead Utilities
- T- Telephone Line
- T.C. Top of Curb Elevation
- TF Top of Foundation
- BSMT Basement Floor Elev.
- TH Test Hole
- UE- Undergroud Electric
- UT- Undergroud Telephone Line
- W- Water Line
- U.P. Use in Place
- T.B.R. To Be Removed
- (TYP) Typical
- Existing Contour
- Proposed Contour
- Gas Service Line
- Electric Riser
- Electric Transformer
- Cable Television Riser
- Sprinkler Control Valve
- Telephone Riser



- PROJECT INFORMATION**
1. AREA OF TRACT: 43,551 sq. ft. / 1.00 ACRE
  2. EXISTING ZONING: R-1 RESIDENTIAL
  3. PROPOSED ZONING: NO CHANGE PROPOSED.
  4. EXISTING USE: CLUBHOUSE & SWIMMING POOL
  5. REQUIRED SETBACKS:  
FRONT: 25'  
SIDE: 6'  
REAR: 25'
  6. EXISTING HEIGHT OF CLUBHOUSE: 17' 2"
  7. SITE LIGHTING: ONLY BUILDING MOUNTED LIGHTS ARE PROPOSED. LIGHTS WILL NOT OVERFLOW ONTO ADJACENT PROPERTIES.
  8. TRASH COLLECTION: NO REFUSE ENCLOSURE IS EXISTING OR PROPOSED.
  9. EXISTING SITE COVERAGE: (42% GREEN)  
18,320 SQ. FT. LANDSCAPED AREA  
24,308 SQ. FT. PAVED AREA  
923 SQ. FT. CLUBHOUSE
  10. PROPOSED SITE COVERAGE (AFTER PAVILION ADD'N.): (44.5% GREEN)  
19,384 SQ. FT. LANDSCAPED AREA  
22,514 SQ. FT. PAVED AREA  
1,653 SQ. FT. CLUBHOUSE, SHED & PAVILION
  11. GROUNDS MAINTENANCE: WILL BE PERFORMED UNDER THE DIRECTION OF THE TRUSTEES OF SUNSET RIDGE ESTATES

**PARKING TABLE**

REQUIRED PARKING:  
1 SPACES REQUIRED FOR EVERY 10 LOTS IN THE SUBDIVISION.

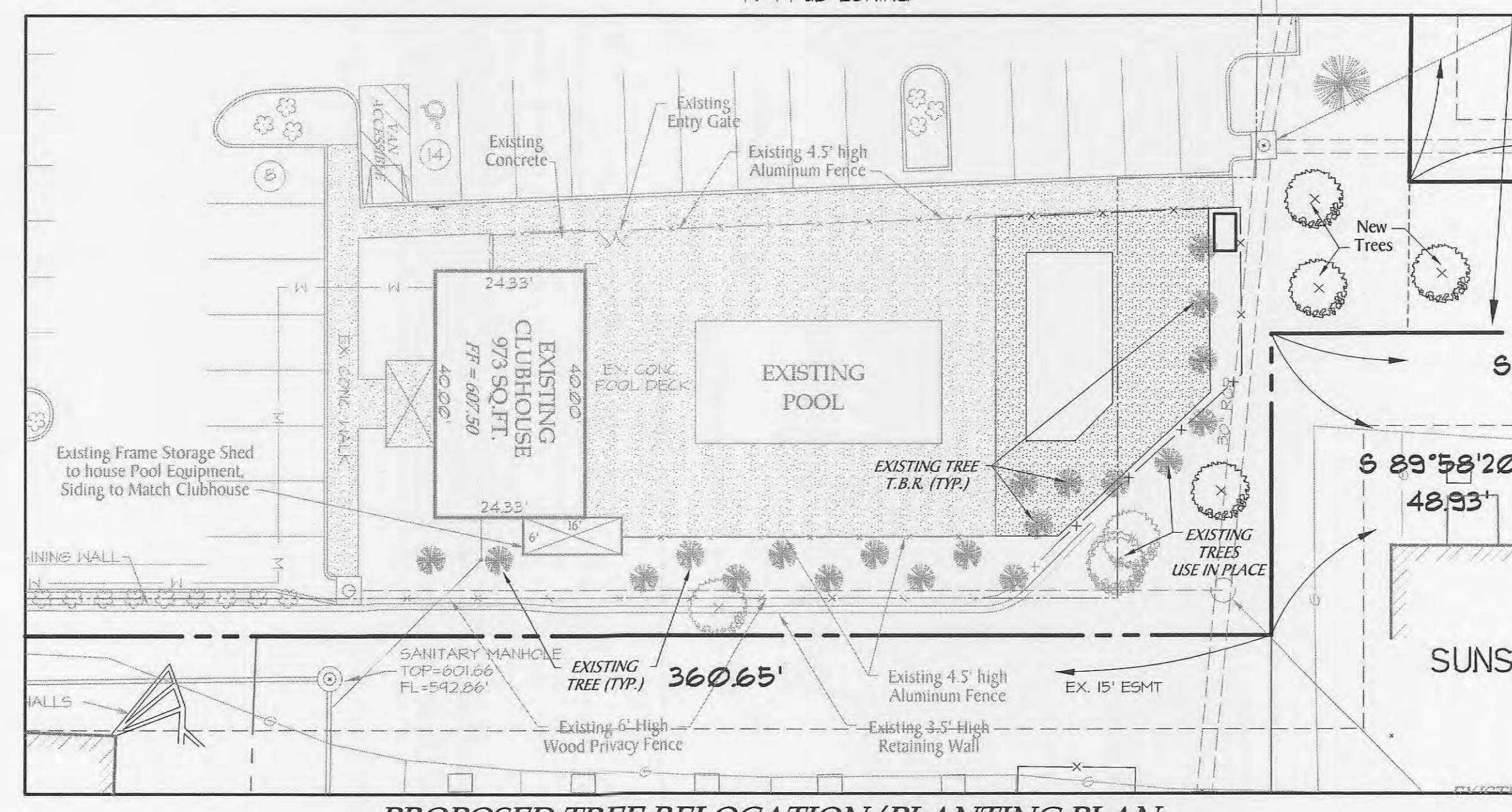
372 LOTS TOTAL IN SUBDIVISION  
(372/10) = 37 SPACES REQUIRED  
ADA REQUIRES AT LEAST TWO (2) PERCENT OF THE TOTAL PARKING SPACES BE HANDICAP ACCESSIBLE. (37 @ .02 = 0.74)  
TOTAL = 37 PARKING SPACES REQUIRED

EXISTING PARKING PROVIDED:  
51 SPACES, INCLUDING 1 VAN ACCESSIBLE HANDICAPPED SPACE

PROPOSED PARKING (AFTER PAVILION CONSTRUCTION):  
42 SPACES, INCLUDING 1 VAN ACCESSIBLE HANDICAPPED SPACE

**BENCHMARK INFORMATION**

SITE BENCHMARK:  
\*\* ON CURB (ALONG SUMMER LYNNE DRIVE) AT 12.50' OFFSET FROM RIGHT-OF-WAY LINE AT COMMON LINE BETWEEN LOTS 15 & 16 OF SUNSET RIDGE ESTATES PHASE I PLAT 1, AS RECORDED IN PLAT BOOK 34, PAGE 134.  
ELEV. = 594.97



3/28/06  
File Copy  
APPROVED  
ABC

**PREPARED FOR:**  
TRUSTEES OF SUNSET RIDGE ESTATES  
C/O - MR. DAVE NOLAN  
1133 WARM WINDS DRIVE  
O'FALLON, MO. 63366  
PHONE (314) 575-9546  
FAX (636) 949-8269

**SDE SITE DEVELOPMENT ENGINEERING, INC.**  
PLANNING • SURVEYING • CIVIL ENGINEERING

12221 Big Bend Road  
St. Louis, Missouri 63122  
314-822-4800  
Fax 314-822-9266

Common Ground Amenities at Sunset Ridge Estates

DATE: Sept. 9, 2004  
CHECKED BY: SDR  
JOB NO.: 201-023.02  
SCALE: 1" = 20'

CONSTRUCTION PLAN

REV.: Mar. 27, 2006 Add New Wading Pool  
SHEET: 1 of 2

