

# A SET OF CONSTRUCTION PLANS FOR TEXAS ROADHOUSE PROJECT

## DRAWING INDEX

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### BENCHMARKS:

BENCHMARK #1 - CUT BOX ON S. EDGE OF CONC. LIGHT BASE.  
ELEVATION=529.53

BENCHMARK #2 - CUT BOX ON S. EDGE OF CONC. LIGHT BASE.  
ELEVATION=527.55

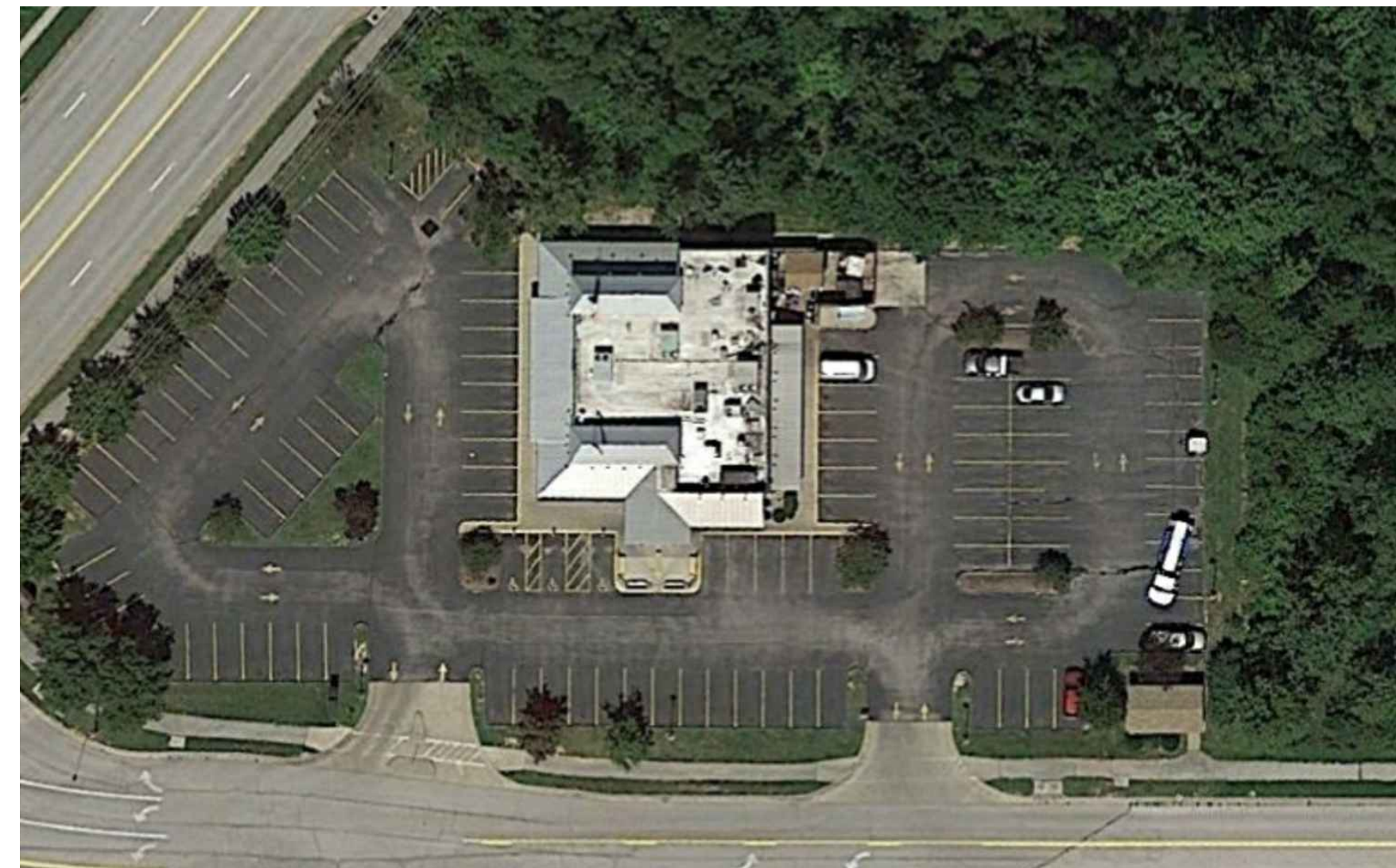
### CITY OF O'FALLON NOTES:

- CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:  
OCTOBER 1 THROUGH MAY 31  
7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SUNDAY  
JUNE 1 THROUGH SEPTEMBER 30  
6:00 A.M. TO 8:00 P.M. MONDAY THROUGH FRIDAY  
7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY
- THE AREA OF THIS PHASE OF DEVELOPMENT IS 0.35 AC.
- THE AREA OF LAND DISTURBANCE IS 0.136 AC.
- NUMBER OF PROPOSED LOTS IS 0.

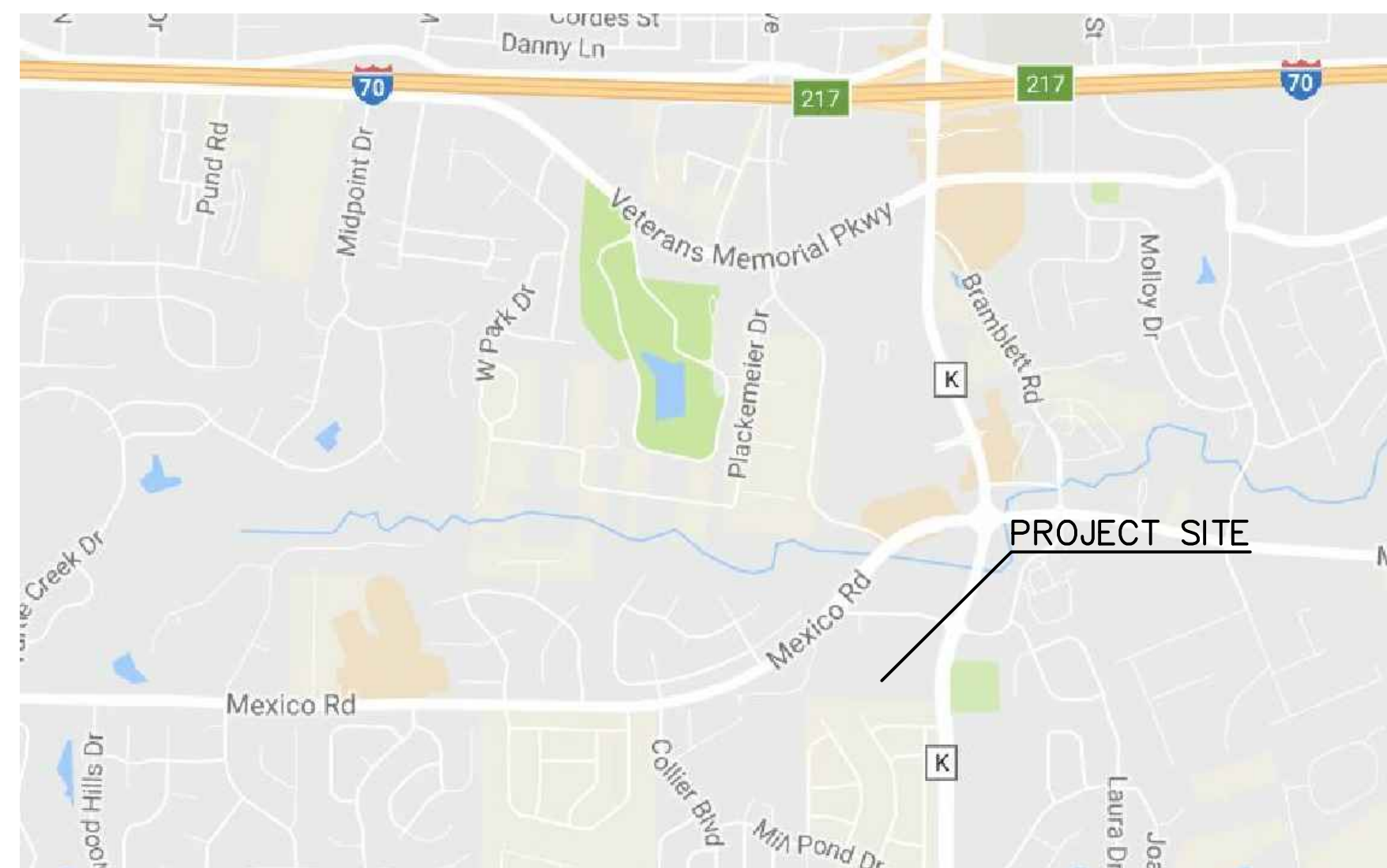
CITY APPROVAL OF ANY CONSTRUCTION SITE PLAN DOES NOT MEAN THAT ANY BUILDING CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODES.

ALL INSTALLATIONS AND CONSTRUCTION SHALL CONFORM TO THE APPROVED ENGINEERING DRAWINGS. HOWEVER, IF THE DEVELOPER CHOOSES TO MAKE MINOR MODIFICATIONS IN DESIGN AND/OR SPECIFICATIONS DURING CONSTRUCTION, THEY SHALL MAKE SUCH CHANGES AT THEIR OWN RISK, WITHOUT ANY ASSURANCE THAT THE CITY ENGINEER WILL APPROVE THE COMPLETED INSTALLATION OR CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE CITY ENGINEER OF ANY CHANGES FROM THE APPROVED DRAWINGS. THE DEVELOPER MAY BE REQUIRED TO CORRECT THE INSTALLED IMPROVEMENTS SO AS TO CONFORM TO THE APPROVED ENGINEERING DRAWINGS. THE DEVELOPER MAY REQUEST A LETTER FROM THE CONSTRUCTION INSPECTION DIVISION REGARDING ANY FIELD CHANGES APPROVED BY THE CITY INSPECTOR.

LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION.



PLAN VIEW  
N.T.S.



LOCATOR MAP  
N.T.S.

CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: *Jamie Kowalski* DATE: 01/27/2017  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES PROFESSIONAL RESPONSIBILITY FOR DESIGN



100 NORTH MAIN STREET  
O'FALLON, MISSOURI 63366  
636.240.2000  
FACSIMILE 636.978.4144  
www.ofallon.mo.us

October 7, 2016

Chris Journey  
Design Plus  
1449 Bardstown Road #200  
Louisville, KY 40204

RE: (28-16) Request for Consideration and Motion for Action on a Site Plan for 1600 Mexico Loop Road - Texas Roadhouse, property owner - proposed use: building addition

Dear Mr. Journey:

On October 6, 2016, the Planning and Zoning Commission approved the above referenced request.

The approval is conditional upon the following Staff recommendations being met:

- The right in/right out shall be maintained. It should not be removed as shown on the plan, unless it is to remove and reconstruct it as part of the site improvements.
- Proposed parking lot striped islands shall be landscaped. The removal of existing landscaping in order to stripe the areas will not be permitted.
- The addition to the building will cause a parking ratio modification, which is lacking from the plans. It has been observed that the parking lot is usually at capacity and overflow parking occurs on the Home Depot lot. Provide a shared parking agreement between Texas Roadhouse and Home Depot.
- A crosswalk shall be provided connecting the subject lot with the overflow parking on the south side of Mexico Loop Road. The location of this shall be reviewed and approved prior to the issuance of the building permit.

### Please Note:

- The Site Plan Approval shall expire, and be of no effect, one (1) year after the date of issuance thereof, unless within such time Construction Plans or Building Permits for any proposed work authorized under the said site plan approval has been issued.
- Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by City Staff. The application is available on the City's website via [www.ofallon.mo.us](http://www.ofallon.mo.us) (City Departments, Public Works, Engineering) through the O'Fallon Permitting, Licensing, and Enforcement (OPLE) system.
- The appropriate Fire District will need to review and approve the development.
- Any signage to be placed on the subject property requires a separate Sign Permit.
- Any business occupying the site requires approval of a Business License.
- All Conditions of Approval shall be noted on the Construction Site Plans.

Please take a few moments to go to the following website to fill out a survey relating to the planning and development process. Your input is greatly appreciated.

[www.surveymonkey.com/s/PlanningandInspection](http://www.surveymonkey.com/s/PlanningandInspection)

If you have questions about the above, feel free to contact my office at 636-379-5544.

Sincerely,

*David S. Woods*

David S. Woods, AICP  
Director of Planning and Development

TLC:

C: Jeff Schuopfer, Assistant City Engineer  
Texas Roadhouse, 6040 Dutchmans Lane, Louisville, KY 40205  
Chaz Arnfield, GPD Group, 520 S. Main Street #2531, Akron, OH 44311

### UTILITY CONTACTS

SANITARY SEWERS  
CITY OF O'FALLON  
100 N. MAIN ST.  
O'FALLON, MO. 63366  
CONTACT: 636-281-2858  
DUCKETT CREEK SANITARY DISTRICT  
3550 HIGHWAY K  
O'FALLON, MO. 63368  
636-441-1244

WATER  
CITY OF O'FALLON  
100 N. MAIN ST.  
O'FALLON, MO. 63366  
CONTACT: 636-281-2858  
MISSOURI AMERICAN WATER CO.  
727 CRAIG RD.  
ST. LOUIS, MO. 63141  
1-866-430-0820  
PUBLIC WATER SUPPLY DISTRICT NO. 2  
P.O. BOX 967  
O'FALLON, MO. 63366  
636-561-3737 EXT. 131

STORM SEWER  
CITY OF O'FALLON  
100 N. MAIN ST.  
O'FALLON, MO. 63366  
636-281-2858

ELECTRIC  
CURVE RIVER ELECTRIC CO.  
P.O. BOX 160  
TROY, MO. 63379-0160  
1-800-392-3709  
AMEREN UE  
200 CALLAHAN ROAD  
WENTZVILLE, MO. 63385  
636-639-8312

GAS  
LACLEDE GAS COMPANY  
6400 GRAHAM ROAD  
ST. LOUIS, MO. 63134  
314-522-2297  
TELEPHONE  
CENTURY TEL  
1151 CENTURY TEL DR.  
WENTZVILLE, MO. 63385  
636-332-7261

FIRE DISTRICT  
O'FALLON FIRE PROTECTION DISTRICT  
119 E. ELM ST.  
O'FALLON, MO. 63366  
636-272-3493  
WENTZVILLE FIRE DISTRICT  
209 WEST PEARCE BLVD.  
WENTZVILLE, MO. 63385  
COTTLEVILLE FIRE PROTECTION DISTRICT  
1385 MOTHERHEAD RD.  
ST. CHARLES, MO. 63304  
636-447-6655

Project No. 16-040

GPD JOB No. 2016131-08

CIVIL CONSTRUCTION DOCUMENTS  
FOR THE TEXAS ROADHOUSE  
BUILDING ADDITION AT  
1600 MEXICAN LOOP RD. E.  
O'FALLON, MO 63366



Darrin Kotecki - Professional Engineer  
PE-2011027853  
01/12/2017

DRAWN BY: JDH

CHECKED BY:

DATE: 12/5/16

REV. DATE DESCRIPTION

1 12-27-16 PLANNING & ZONING COMMENTS

The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, affidavits and other information as provided to the General Contractor, all acting as a whole. None of this information or drawing sheets shall be taken separately or "stand alone" from the remainder of the Construction Documents. All subcontractors shall be responsible to review the entire set of Construction Documents to determine their particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect prior to submitting a bid shall be interpreted at the sole discretion of the Architect.

TEXAS Roadhouse  
1600 MEXICAN LOOP RD. E.  
O'FALLON, MO 63366

TITLE SHEET

P+Z No. 28-16

Approval Date 10-7-16

City No.

Page No.

T-001