

CIVIL CONSTRUCTION DOCUMENTS
FOR THE TEXAS ROADHOUSE
BUILDING ADDITION AT
1600 MEXICAN LOOP RD. E.
OF FALLON, MO 63366



DRAWN BY:	JDH
CHECKED BY:	
DATE:	12/5/16
REV. DATE DESCRIPTION	
1	12-27-16 PLANNING & ZONING COMMENTS

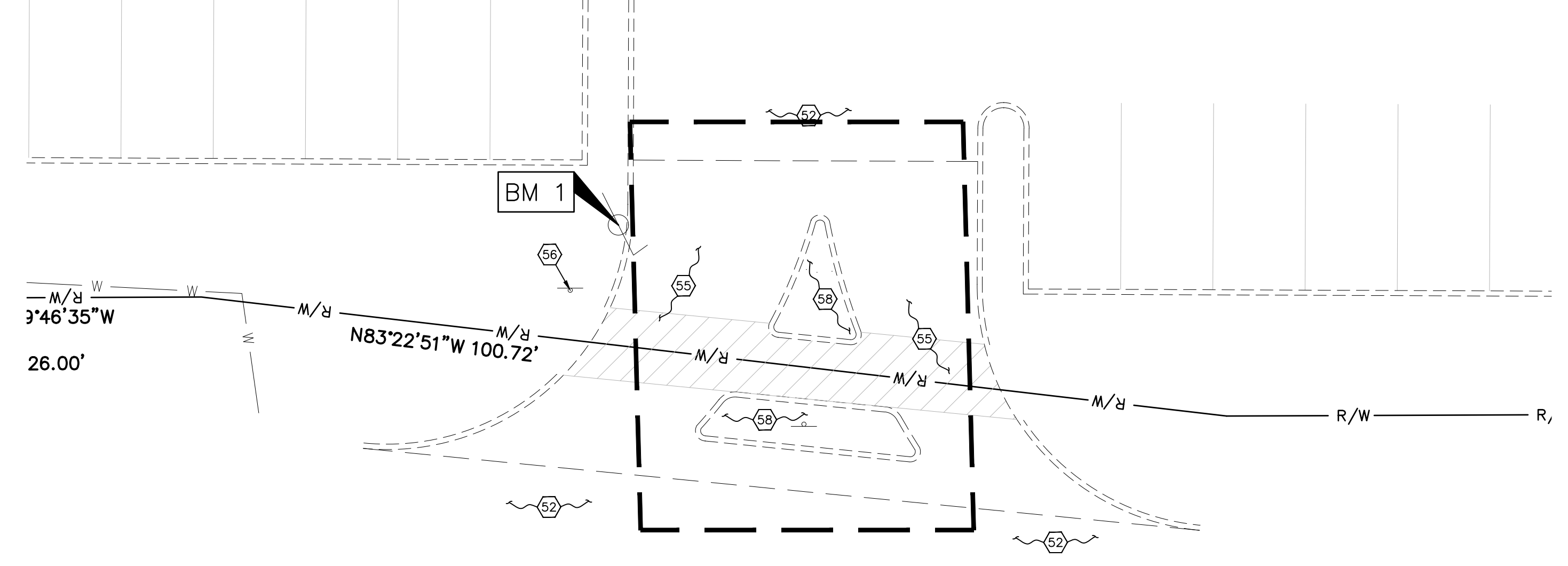
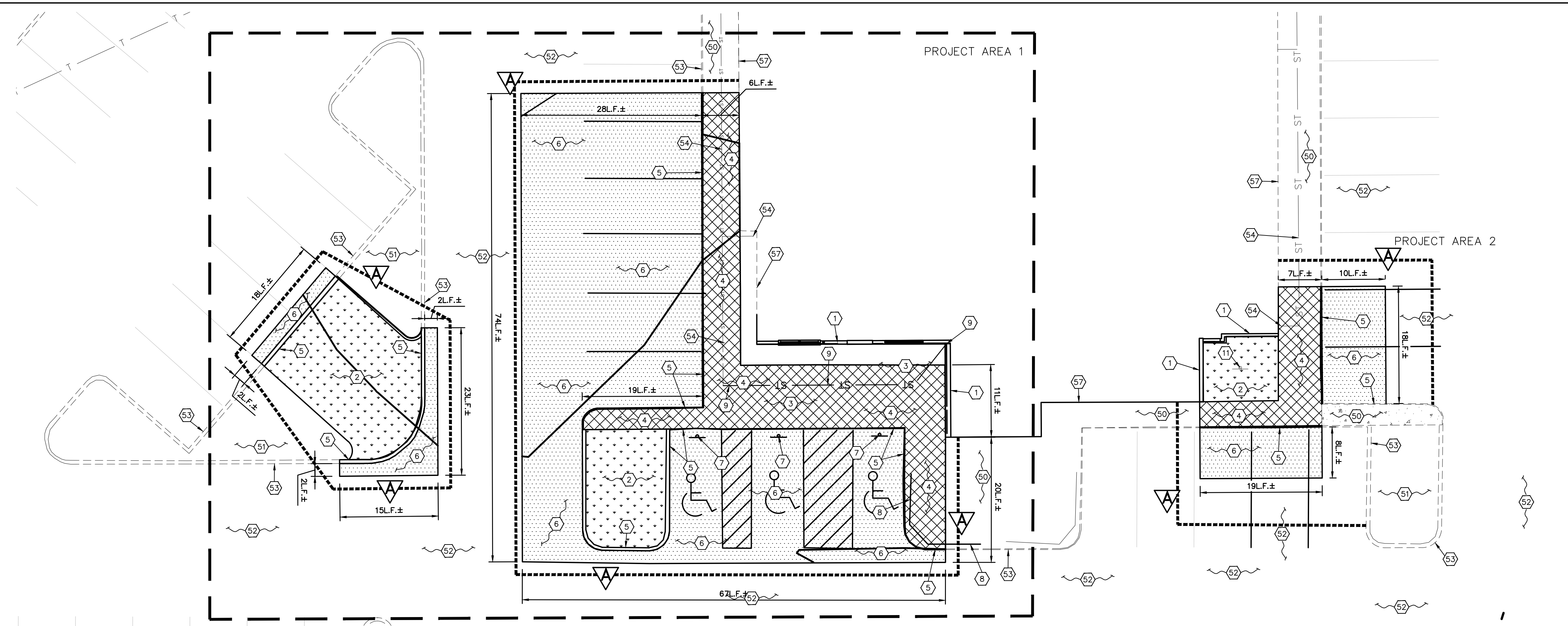
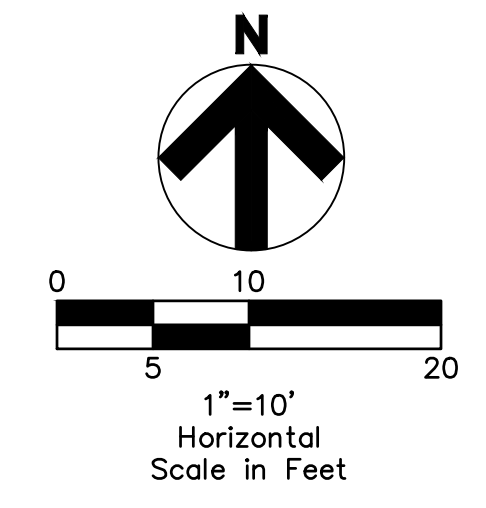
The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, addenda and other information as provided to the General Contractor, all acting as a whole. None of this information or drawing sheets shall be taken separately or "stand alone" from the remainder of the Construction Documents. All subcontractors shall be responsible to review the entire set of Construction Documents to determine their particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect prior to submitting a bid shall be interpreted at the sole discretion of the Architect.

TEXAS Roadhouse
1600 MEXICAN LOOP RD. E.
OF FALLON, MO 63366

EXISTING CONDITIONS, SWPP & DEMO PLAN

P+Z No. 28-16
Approval Date 10-7-16
City No.

Page No.
C-101



PROJECT LOCATION MAP
N.T.S.
NOTE: KEY PLAN IS FOR REFERENCE ONLY.

GENERAL LEGEND

- EXISTING CONCRETE TO BE REMOVED
- EXISTING CONCRETE PATIO TO BE REMOVED
- EXISTING LANDSCAPING REMOVED
- DENOTES LIMITS OF SAWCUT
- DEMOLITION KEYNOTE
- EXISTING BUILDING/STRUCTURE
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING CURB AND GUTTER
- SILT SOCK
- BENCHMARK

EXISTING CONDITIONS/DEMOLITION AND SWPP PLAN

DEMOLITION KEYNOTES

- 1 REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
- 2 EXISTING LANDSCAPING TO BE REMOVED.
- 3 GRADE AS REQUIRED WITH ENGINEERED FILL TO REACH THE BUILDING ADDITION SLAB SUBGRADE ELEVATION. FINISH FLOOR OF ADDITION TO MATCH EXISTING; ELEVATION=525.50. COMPACT THE SLAB SUBGRADE TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER ASTM D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT 2% ABOVE NOR 3% BELOW OPTIMUM. REFER TO STRUCTURAL PLANS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS.
- 4 EXISTING CONCRETE AND BASE TO BE SAWCUT AND REMOVED TO THE NEAREST JOINT.
- 5 EXISTING CURB TO BE REMOVED.
- 6 EXISTING ASPHALT TO BE SAWCUT AND REMOVED.
- 7 EXISTING HANDICAP SIGN AND POLE TO BE REMOVED.
- 8 EXISTING WOOD RAILING TO BE REMOVED AND REPLACED IN EXISTING LOCATION.
- 9 LOCATE EXISTING STORM DRAIN LINE. CUT AND REMOVE PIPE AND DOWNSPOUTS WITHIN THE FOOTPRINT OF THE PROPOSED BUILDING ADDITION TO BE RE-ROUTED. CONTRACTOR SHALL FIELD VERIFY LOCATIONS.
- 50 EXISTING CONCRETE WALK TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPLACE DAMAGED WALK AS A RESULT OF CONSTRUCTION ACTIVITY AT NO ADDITIONAL CHARGE. MATCH EXISTING IN KIND.
- 51 EXISTING LANDSCAPING TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 52 EXISTING ASPHALT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 53 EXISTING CURB TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 54 EXISTING STORM LINE AND DOWNSPOUT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 55 EXISTING CONCRETE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 56 EXISTING SIGNAGE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 57 EXISTING BUILDING TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION PER ARCHITECTURAL DRAWINGS.
- 58 EXISTING CONCRETE ISLAND TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.

ADDITIONAL NOTES

1. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING TO SECURE THE WORK ZONE WHILE THE WORK IS BEING COMPLETED. PROVIDE AND MAINTAIN PUBLIC ACCESS TO THE RESTAURANT DURING CONSTRUCTION.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES. ALL UTILITIES SHOWN ARE PER SURVEY BY: PICKETT, RAY, & SILVER INC., DATED 3/23/2016.
3. ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, STRUCTURES, FENCES, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE FEATURE'S OWNER.

BENCHMARKS:
BENCHMARK #1 - CUT BOX ON S. EDGE OF CONC. LIGHT BASE. ELEVATION=529.53
BENCHMARK #2 - CUT BOX ON S. EDGE OF CONC. LIGHT BASE. ELEVATION=527.55