

CIVIL CONSTRUCTION DOCUMENTS
FOR THE TEXAS ROADHOUSE
BUILDING ADDITION AT
1600 MEXICAN LOOP RD. E.
OF FALLON, MO 63366



Drawn By: JDH
Checked By:
Date: 12/5/16

REV. DATE DESCRIPTION
1 12-27-16 PLANNING & ZONING COMMENTS

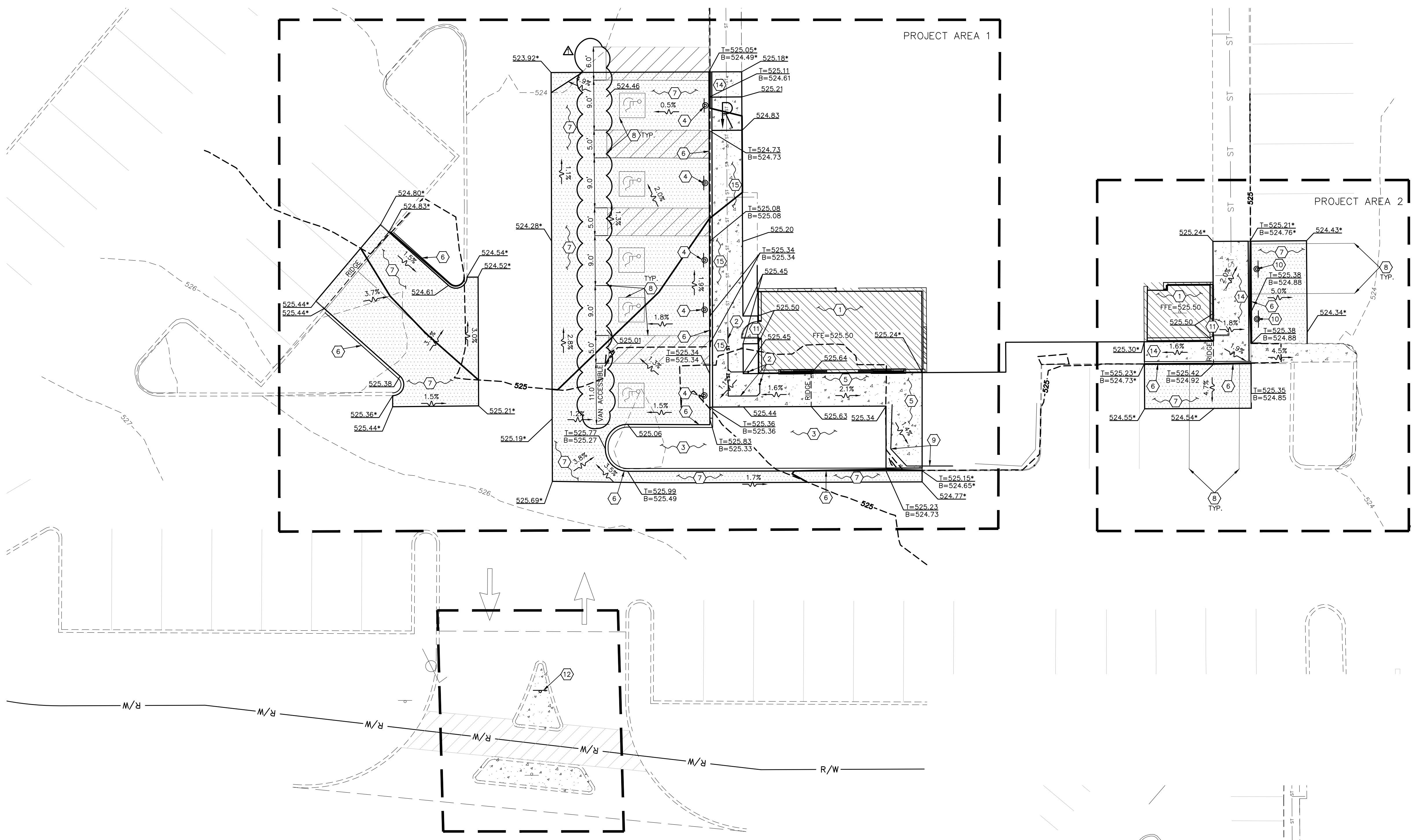
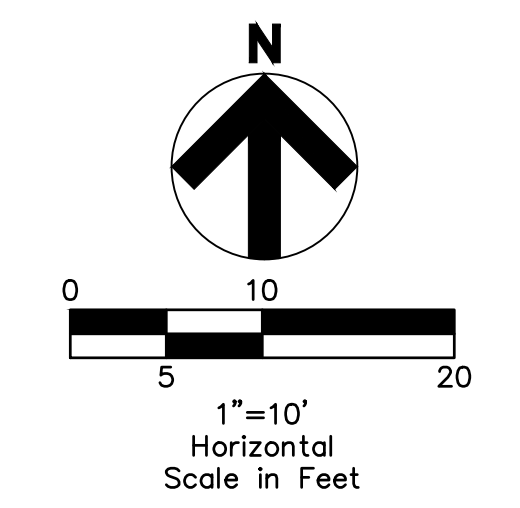
The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, addenda and other information as provided to the General Contractor, all acting as a whole. None of this information or drawing sheets shall be taken separately or "stand alone" from the remainder of the Construction Documents. All subcontractors shall be responsible to review the entire set of Construction Documents to determine their particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect prior to submitting a bid shall be interpreted at the sole discretion of the Architect.

TEXAS Roadhouse
1600 MEXICAN LOOP RD. E.
OF FALLON, MO 63366
SITE, GRADING & UTILITY PLAN

P+Z No. 28-16
Approval Date 10-7-16

City No.
Page No.

C-111



SITE STATISTICS

ZONING:

PROJECT AREA: 16,754 SF / 0.38± AC

LANDSCAPE AREA:

EXISTING: 1,682 SF (10.2%)
PROPOSED: 1,131 SF (6.9%)

IMPERVIOUS AREAS: (INCLUDING BUILDING)

EXISTING: 14,825 SF (89.8%)
PROPOSED: 15,376 SF (93.1%)

DISTURBED AREA: 0.130 ACRES

BUILDING AREA:

EXISTING: 6,341 SF
PROPOSED: 6,896 SF

SEATS:

EXISTING: 255
PROPOSED: 293

PARKING:

REQUIRED - 89

EXISTING: 105
PROPOSED: 105

PROPOSED SITE, GRADING, AND UTILITY PLAN

CONSTRUCTION KEYNOTES

- 1 PROPOSED BUILDING ADDITION. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS. PROPOSED FINISH FLOOR TO MATCH THAT OF THE EXISTING BUILDING (525.50).
- 2 PROPOSED DOWNSPOUT AND STORM DRAIN LINE TO MATCH EXISTING. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION. SUPPLY FITTINGS AS REQUIRED FOR DAYLIGHTING INTO LANDSCAPE AREA. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- 3 PROPOSED LANDSCAPE AREA, SEE SHEET L-111.
- 4 PROPOSED ADA PARKING SIGN WITH BOLLARD, SEE SHEET C-002.
- 5 PROPOSED CONCRETE WALK PER DETAIL ON SHEET C-001. CONTRACTOR SHALL MAINTAIN A POSITIVE DRAINAGE AWAY FROM THE BUILDING ADDITION (2% MAXIMUM CROSS-SLOPE) AND BLEND IN WITH THE EXISTING.
- 6 PROPOSED CONCRETE CURB. SEE DETAIL ON SHEET C-001.
- 7 PROPOSED ASPHALT. SEE TABLE TO RIGHT AND DETAIL ON SHEET C-001.
- 8 PROPOSED PAVEMENT MARKINGS. ALL ACCESSIBLE STRIPING AND SYMBOL TO BE BLUE. SEE DETAIL ON SHEET C-001.
- 9 REINSTALL WOOD RAILING.
- 10 PROPOSED CARRY-OUT SIGN WITH YELLOW PAINTED CONCRETE BOLLARD. SEE DETAIL ON SHEET C-002.
- 11 PROPOSED FROST SLABS AT DOOR. SEE STRUCTURAL PLANS.
- 12 PROPOSED "NO LEFT TURN" SIGN AND POST PER MUTCD 3-2.
- 13 PROPOSED TRANSVERSE STRIPING TO DIRECT ONE WAY INLET/OUTLET. SEE DETAIL ON SHEET C-001.
- 14 PROPOSED CURBED WALK. SEE DETAIL ON SHEET C-001. CONTRACTOR SHALL MAINTAIN A POSITIVE DRAINAGE AWAY FROM THE BUILDING ADDITION (2% MAXIMUM CROSS-SLOPE) AND BLEND IN WITH THE EXISTING.
- 15 PROPOSED FLUSH CURBED WALK. SEE RAMP DETAIL ON SHEET C-001. CONTRACTOR SHALL MAINTAIN A POSITIVE DRAINAGE AWAY FROM THE BUILDING ADDITION (2% MAXIMUM CROSS-SLOPE) AND BLEND IN WITH THE EXISTING.

ADDITIONAL NOTES

1. CONTRACTOR IS TO RESTRIPE THE ENTIRE PARKING LOT IN ADDITION TO THE STRIPING ALREADY KEYNOTED OUT IN THE SITE PLAN.

ASPHALT PAVEMENT

MATERIAL	PARKING SPACES	DRIVE AISLES
A.C. SURFACE COURSE	1.5"	1.5"
A.C. INTERMEDIATE COURSE	1.5"	2.5"
AGG. BASE COURSE	8"	8"

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.
SEE TYPICAL SECTION DETAIL, SHEET C-001.

LEGEND

- # CONSTRUCTION KEYNOTE
- [Hatched Box] PROPOSED BUILDING ADDITION
- [Dotted Box] PROPOSED CONCRETE
- [Stippled Box] PROPOSED ASPHALT
- [Diagonal Lines] PROPOSED TRANSVERSE MARKINGS
- [Solid Line] PROPOSED CURB
- [Dashed Line] PROPOSED SPOT GRADE
- [Dotted Line] MATCH EXISTING PAVEMENT ELEVATION
- [Dotted Line] PROPOSED SPOT GRADE
- [Dashed Line] PROPOSED ADA SIGN
- [Circle with X] BENCHMARK
- [Line with T] PROPOSED STORM SEWER

