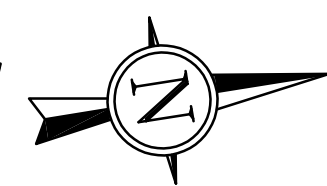


SHEET INDEX

Plan View

1"=150'



- C1.0 COVER SHEET
- C2.0 GENERAL NOTES
- C3.0 EXISTING SITE PLAN
- C4.0 SITE PLAN
- C4.1 ADA ACCESS PLAN
- C4.2 EASEMENT PLAN
- C5.0 GRADING PLAN
- C5.1 GRADING PLAN
- C5.2 GRADING PLAN
- C5.3 GRADING PLAN
- C5.4 GRADING PLAN
- C6.0 UTILITY PLAN
- C6.1 UTILITY PLAN
- C6.2 UTILITY PLAN
- C6.3 UTILITY PLAN
- C6.4 UTILITY PLAN
- C7.0 GEOMETRIC PLAN
- C7.1 GEOMETRIC PLAN
- C7.2 GEOMETRIC PLAN
- C7.3 GEOMETRIC PLAN
- C8.0 STORM & SANITARY DETAILS
- C8.1 WATER DETAILS
- C8.2 WATER DETAILS
- C8.3 PAVEMENT DETAILS
- C8.4 PAVEMENT DETAILS
- C8.5 SITE DETAILS
- C8.6 SITE DETAILS
- C8.7 BASIN DETAIL
- C8.8 TURN LANE & ENTRANCE DETAIL
- C8.9 MODOT DETAILS
- C8.10 SIGHT DISTANCE & VEHICLE GATE DETAIL
- C9.0 STORM PROFILES
- C9.1 STORM PROFILES
- C9.2 STORM PROFILES
- C9.3 STORM PROFILES
- C9.4 SANITARY PROFILES
- C9.5 SANITARY PROFILES
- C10.0 SWPPP
- C10.1 SWPPP DETAILS
- C11.0 DRAINAGE AREA MAP
- C11.1 NATURAL RESOURCE MAP

GRIMES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. GRIMES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

Benchmarks

Project

BENCHMARK:
 DATUM: NAVD88 FROM GPS TIES TO THE MISSOURI DEPARTMENT OF TRANSPORTATION GNSS NETWORK

Site

SITE BENCHMARK:
 626.67 Foot US NAVD88
 "O" in open on Fire Hydrant 15 feet East of the Centerline of The Entrance at the Northwest Corner of the Site and 39 feet South of the South Edge of Shoulder Pavement of Veterans Memorial Drive



Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday

June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 16.57 AC

The area of land disturbance is 14.58 AC

Number of proposed lots is N/A

Building setback information. Front 35'

Side 15'

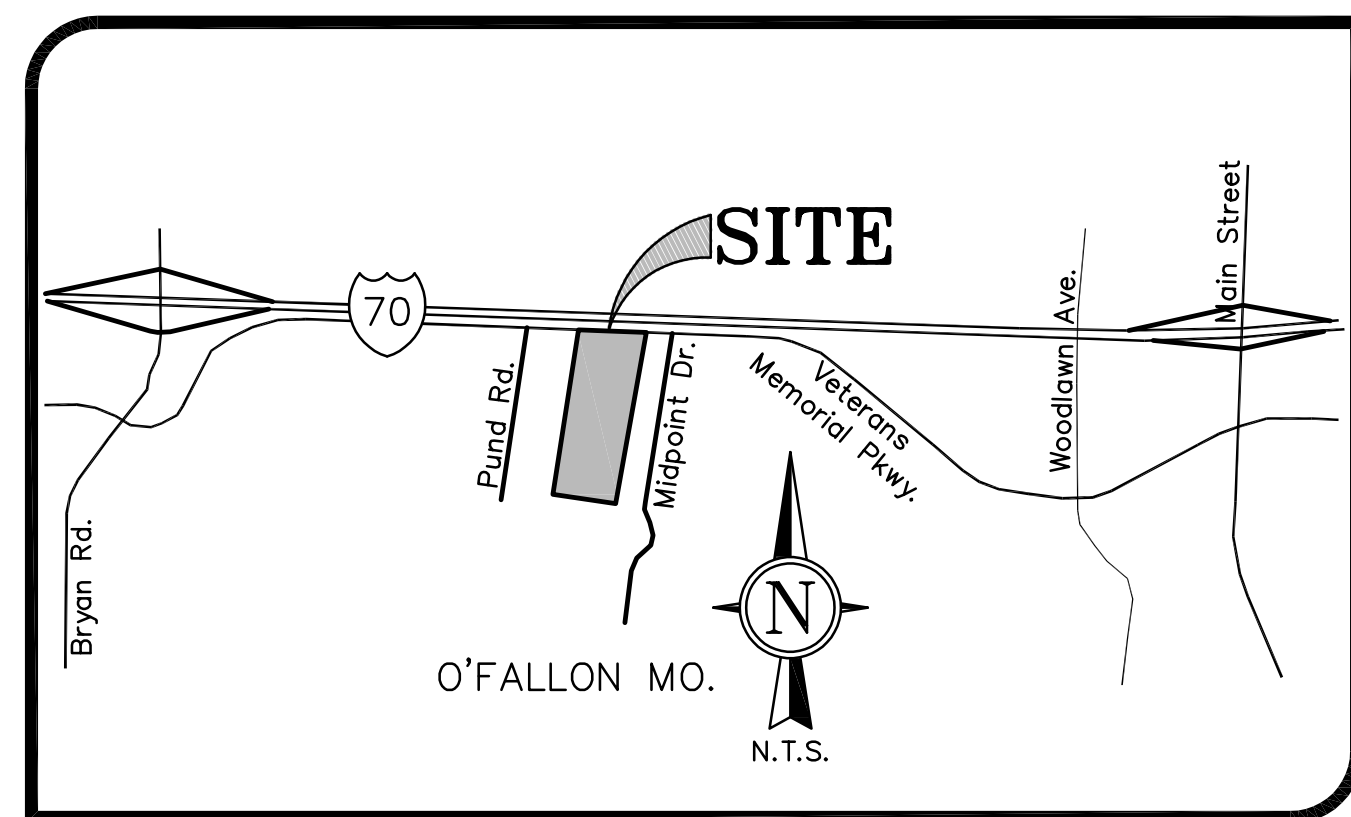
Rear 30'

* The estimated sanitary flow in gallons per day is 30,000 GPD

* Tree preservation calculations

THE JEWEL

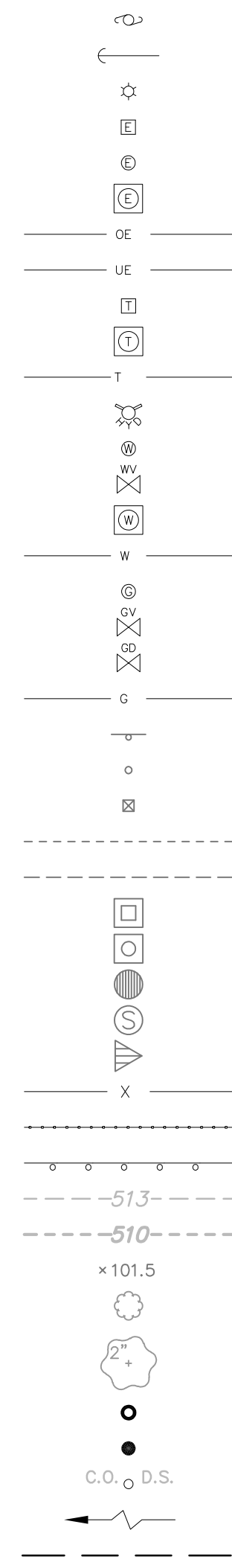
SITE IMPROVEMENT PLANS



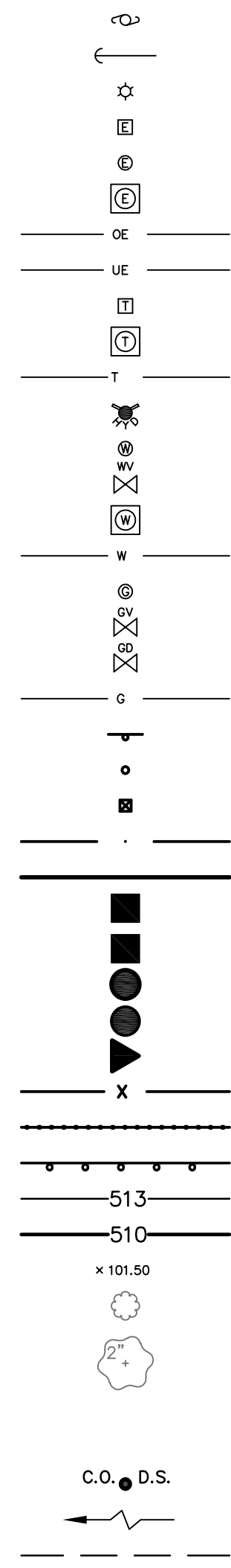
PROJECT LOCATION MAP

Legend

EXISTING



PROPOSED



LEGAL DESCRIPTION: PART OF U.S. SURVEY 55, TOWNSHIP 47 NORTH, RANGE 3 EAST, CITY OF O'FALLON. ST. CHARLES COUNTY, MISSOURI

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

Conditions of Approval From Planning and Zoning JUNE 6, 2019

- PROVIDE A TRAFFIC STUDY FOR THE DEVELOPMENT. ANY RECOMMENDATIONS SHALL BE REFLECTED IN THE PLAN.
- PROVIDE ADDITIONAL DETAILS ON ANY EQUIPMENT OR FENCING FOR THE PROPOSED DOG PARK AND PLAYGROUND
- PROVIDE MODOT APPROVAL FOR THE ENTRANCE ON VETERANS MEMORIAL PARKWAY
- PROVIDE A FENCE DETAIL FOR THE BARK PARK IF IT IS DIFFERENT THAN THE SIGHT-PROOF VINYL FENCE DETAIL
- INDICATE THE LOCATION OF THE MAIL KIOSK. PROVIDE APPROVAL FROM USPS REGARDING THE METHOD OF MAIL DELIVERY
- WORK WITH CITY STAFF TO PROVIDE ADDITIONAL ACCOMMODATIONS FOR PEDESTRIANS WITHIN THE DEVELOPMENT
- THE APPLICANT SHALL ABIDE BY THE MUNICIPAL CODE REQUIREMENTS LISTED
- PROVIDE A PLAN OF ACTION DOCUMENT WITH THE CONSTRUCTION SITE PLAN SUBMITTAL THAT DESCRIBES HOW THE DEVELOPMENT WILL ADHERE TO ASBESTOS REMOVAL AND SAFETY STANDARDS IF IT IS ENCOUNTERED DURING CONSTRUCTION
- PROVIDE DOCUMENTATION THAT THE WELL HAS BEEN OR WILL BE CLOSED PER ST. CHARLES COUNTY STANDARDS
- THE TRASH ENCLOSURE SHALL BE RELOCATED OUT OF THE DETENTION BASIN ACCESS EASEMENT
- ALL SIGNAGE SHALL BE REVIEWED THROUGH A SEPARATE PERMITTING PROCESS
- THE PHOTOMETRIC PLAN SHALL PROVIDE LIGHTING FOR THE DRIVE AISLE ENTRANCE
- PROVIDE CALCULATIONS TOWARD THE EXISTING TREES CREDITED TOWARD THE BUFFERYARD REQUIREMENT
- ALL WATER METERS WILL BE EITHER IN PUBLIC RIGHT OF WAY OR COVERED BY ACCESS EASEMENT
- PROVIDE TOP AND BOTTOM OF WALL ELEVATIONS FOR ALL RETAINING WALLS
- PROVIDE FIRE DISTRICT APPROVAL FOR THE UPDATED PLAN
- MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH CODE SECTION 400.278
- PROVIDE 24 ADDITIONAL PARKING SPACES FOR THE AMENITIES PER CITY CODE SECTION 400.480

Utility Contacts

Sanitary Sewers

City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-240-2000

Duckett Creek Sanitary District
 3550 Highway K
 O'Fallon, MO. 63368
 636-441-1244

Water

City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-240-2000

Missouri American Water Co.
 727 Craig Rd.
 St. Louis, MO. 63141
 1-866-430-0820

Public Water Supply District No. 2
 P.O. Box 967
 O'Fallon, MO. 63366
 636-561-3737 Ext. 131

Storm Sewer

City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 636-240-2000

Electric

Curve River Electric Co.
 P.O. Box 160
 Troy, MO. 63379-0160
 1-800-392-3709

Ameren Missouri
 200 Callahan Road
 Wentzville, MO. 63385
 636-639-8312

Gas

Spire Gas
 6400 Graham Road
 St. Louis, MO. 63134
 314-522-2297

Telephone

CenturyLink
 1151 Century Tel Dr.
 Wentzville, MO. 63385
 636-332-7261

Fire District

O'Fallon Fire Protection District
 111 Laura K Dr.
 O'Fallon, MO. 63366
 636-272-3493

Wentzville Fire District
 209 West Pearce Blvd.
 Wentzville, MO. 63385

Cottleville Fire Protection District
 1385 Motherhead Rd.
 St. Charles, MO. 63304
 636-447-6655

Abbreviations

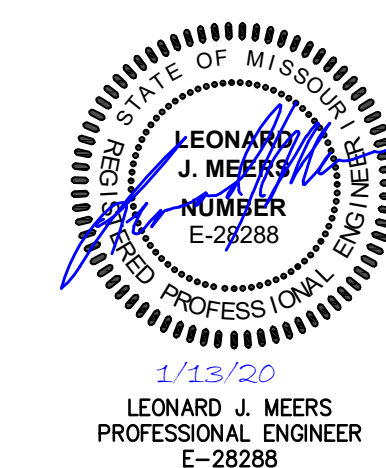
AC - ACRE(S)	MSD - METROPOLITAN ST. LOUIS SEWER DISTRICT
ARCH - ARCHITECTURAL	NFIP - NATIONAL FLOOD INSURANCE PROGRAM
ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS	NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
ATG - ADJUST TO GRADE	NTS - NOT TO SCALE
BA - BATHROOM	OEAE - OR ENGINEER APPROVED EQUAL
BK - BOOK	OC - ON CENTER
BM - BENCHMARK	PC - PORTLAND CEMENT
BR - BEDROOM	PG - PAGE
CFS - CUBIC FEET PER SECOND	PH - PHONE
CO - CLEAN OUT	PSI - POUNDS PER SQUARE INCH
CMP - CORRUGATED METAL PIPE	PS - PARKING SPACE(S)
CPP - CORRUGATED POLYETHYLENE PIPE	PR, PROP - PROPOSED
CONC - CONCRETE	PUD - PLANNED UNIT DEVELOPMENT
CY - CUBIC YARDS	PVC - POLY VINYL CHLORIDE
DCI - DOUBLE CURB INLET	PVMT - PAVEMENT
DIA - DIAMETER	Q - FLOWRATE
DIP - DUCTILE IRON PIPE	RC - REINFORCED CONCRETE
DS - DOWNSPOUT	RCP - REINFORCED CONCRETE PIPE
ELEV - ELEVATION	RR - RAIL ROAD
EM - ELECTRIC MANHOLE	SF - SQUARE FOOT
ESMT - EASEMENT	SY - SQUARE YARD
EX - EXISTING	SAN - SANITARY
FD - FLOOR DRAIN	SCHD - SCHEDULE
FDC - FIRE DEPARTMENT CONNECTION	SDR - STANDARD DIMENSION RATIO
FES - FLARED END SECTION	SWPPP - STORM WATER POLLUTION PREVENTION PLAN
FF - FINISH FLOOR	TBA - TO BE ABANDONED
FL - FLOW LINE	TBR - TO BE REMOVED
FT - FOOT	TS - TAIL STAKE
GI - GRATE INLET	TSCL - TEMPORARY SLOPE CONSTRUCTION LICENSE
GAL - GALLON	TW - TAILWATER
HC, H/C - HANDICAPPED	TYP - TYPICAL
HG - HYDRAULIC GRADE	UTIL - UTILITY, UTILITIES
HT - HEIGHT	UIP - USE IN PLACE
HYD - HYDRANT	UNO - UNLESS NOTED OTHERWISE
INV - INVERT	VCP - VITRIFIED CLAY PIPE
MAX - MAXIMUM	YD - YARD DRAIN
MBSL - MINIMUM BUILDING SETBACK LINE	W - WIDE, WIDTH
MEP - MECHANICAL, ELECTRICAL, AND PLUMBING (PLANS)	WCE - WEIR CREST ELEVATION
MH - MANHOLE	WV - WATER VALVE
MIN - MINIMUM	

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: Jeffery Schuepfer DATE 3/11/2020
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

NO.	DESCRIPTION	DATE
1	REV 1	7-24-2019
2	REV 2	8-23-2019
3	REV 4	10-25-2019
4	REV 5	11-26-2019

PROJECT TITLE
THE JEWEL
 15 CASTLE LANE
 O'FALLON, MO 63366

GRIMES CONSULTING, INC.
 Civil Engineering & Surveying Services
 GRIMES CONSULTING, INC.
 PROFESSIONAL ENGINEER CORPORATION, E-147-D
 PROFESSIONAL LAND SURVEYING CORPORATION, LS-94-0
 12300 OLD TESSON ROAD
 ST. LOUIS, MO 63128
 PH. (314) 849-6100
 FAX. (314) 849-6010
 www.grimesconsulting.com



Developer / Owner Information
VITA Residential
 CONTACT: Steve Sisson
 3333 Aspen Grove Dr
 Franklin, TN 37067
 Email: steve@vitapmg.com

P+Z No. **19-001400**
 Approval Date: **6/6/2019**

City No.

Page No.

C1.0

COVER SHEET