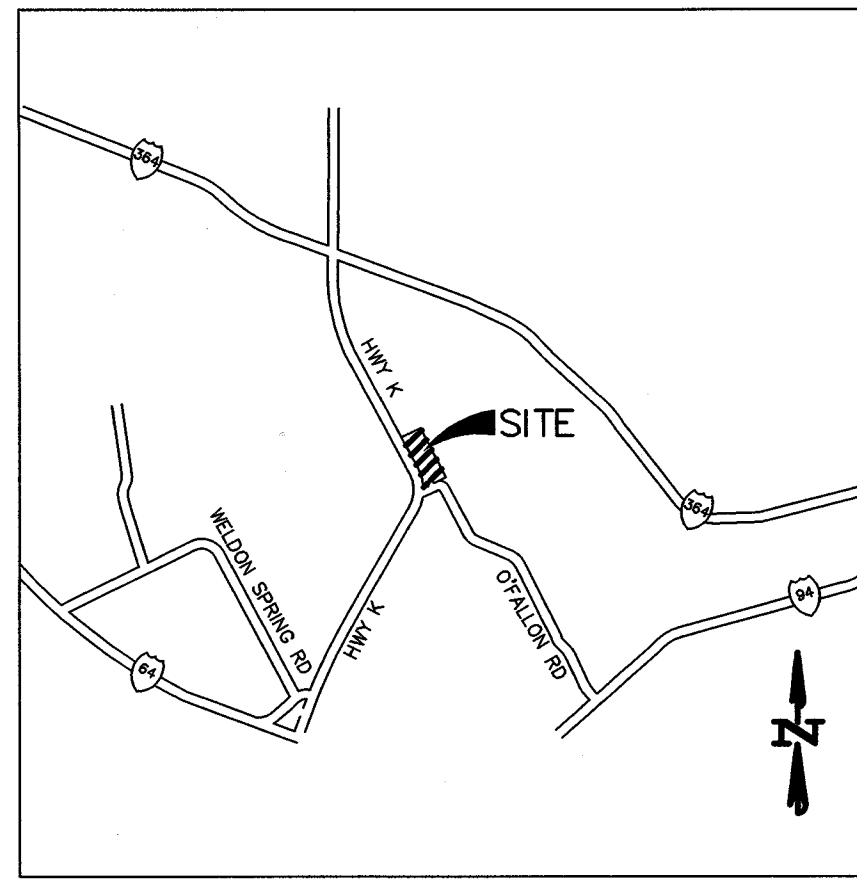


A SET OF CONSTRUCTION PLANS FOR THE LANDING OF O'FALLON

A TRACT OF LAND IN U.S. SURVEY NO. 1696
TOWNSHIP 46 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF O'FALLON
ST. CHARLES COUNTY, MISSOURI



LOCATOR MAP
NOT TO SCALE

CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

MUNICIPAL CODE REQUIREMENTS UNDER CASE NUMBER 20-16.02 SITE PLAN.

- THE SIDEWALK SHALL BE EXTENDED THROUGH THE LANDSCAPED FLAGPOLE AREA IN FRONT OF THE BUILDING.
- THE BARBWARE ALONG THE EAST PROPERTY LINE SHALL BE REMOVED.

CONDITIONS UNDER CASE NUMBER 20-16.02 SITE PLAN.

- THE DWELLINGS IN THIS SENIOR COMMUNITY ARE SUBJECT TO AN AGE RESTRICTION DESCRIBED IN A DEED/DEED RIDER OR RESTRICTIVE COVENANT THAT NEEDS TO BE REVIEWED BY THE CITY ATTORNEY. THE AGE RESTRICTION LIMITS THE DWELLING UNITS TO OCCUPANCY BY SENIORS AGE FIFTY-FIVE (55) OR OLDER; OR THEIR SPOUSES OF ANY AGE; OR OTHER PERSONS IF MEDICAL NEED CAN BE ESTABLISHED TO THE SATISFACTION OF THE ASSOCIATION. THE CONDITIONAL USE PERMIT AND THE AGE RESTRICTIONS DESCRIBED ABOVE SHALL RUN WITH THE LAND AND SHALL BE ENFORCEABLE BY ANY OWNER(S) OF DWELLING UNITS IN THE SENIOR COMMUNITY.
- THE FUTURE DEVELOPMENT OF LOT 2 MAY NECESSITATE THE ROAD WIDENING BY THE DEVELOPER AS REVIEWED AND APPROVED PENDING THE EXTENT OF THIS DEVELOPMENT.
- THE DEVELOPER SHALL ADDRESS THE MUNICIPAL CODE REQUIREMENTS LISTED ABOVE.
- THE ENGINEERING FIRM SHALL MEET WITH THE ADJOINING PROPERTIES TO THE EAST TO DISCUSS OPTIONS IN ORDER TO ADDRESS STORM WATER DRAINAGE CONCERNS.
- PROVIDE CCR'S FOR REVIEW AND SUBMITTAL.

LEGEND

600.00	EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	EXIST. AREA INLET
CI	SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	PROPOSED AREA INLET
AI	AREA INLET	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI	GRATE INLET	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	PROPOSED MANHOLE
MH	MANHOLE	EXIST. SANITARY MANHOLE
FE	FLARED END SECTION	EXIST. STORM MANHOLE
EP	END PIPE	PROPOSED MANHOLE
CP	CONCRETE PIPE	POWER POLE
RCP	REINFORCED CONCRETE PIPE	GUY WIRE
CMP	CORRUGATED METAL PIPE	LIGHT STANDARD
CPP	CORRUGATED PLASTIC PIPE	FIRE HYDRANT
PVC	POLY VINYL CHLORIDE (PLASTIC)	WATER METER
CO	CLEAN OUT	WATER VALVE
-----	SLOPE LIMITS	GAS VALVE
-----	DRAINAGE SWALE	TELEPHONE PEDESTAL
-----	EXISTING STORM SEWER	SIGN
-----	EXISTING SANITARY SEWER	TREE
-----	EXISTING WATER LINE	
-----	EXISTING FIBER OPTIC LINE	
-----	EXISTING GAS LINE	
-----	EXISTING UNDERGROUND ELECTRIC	
-----	EXISTING OVERHEAD ELECTRIC	
-----	EXISTING CABLE TV LINE	
-----	EXISTING TELEPHONE LINE	
-----	PROPOSED STORM SEWER	
-----	PROPOSED SANITARY SEWER	
-----	FENCE LINE	
-----	SAWCUT LINE	

GRADING QUANTITIES:
28,407 C.Y. CUT (INCLUDES SUBGRADES)
35,757 C.Y. FILL (INCLUDES 8% SHRINKAGE)
7,350 C.Y. SHORT IMPORT

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

TOTAL INCLUDES ASPHALT PARKING LOT CALCULATIONS AND SOIL REMEDIATION AREAS UNDER THE BUILDING, ALL SIDEWALKS, HEAVY DUTY PAVED AREAS, LANDING CIRCLE STREET, AND BUILDING SLAB.

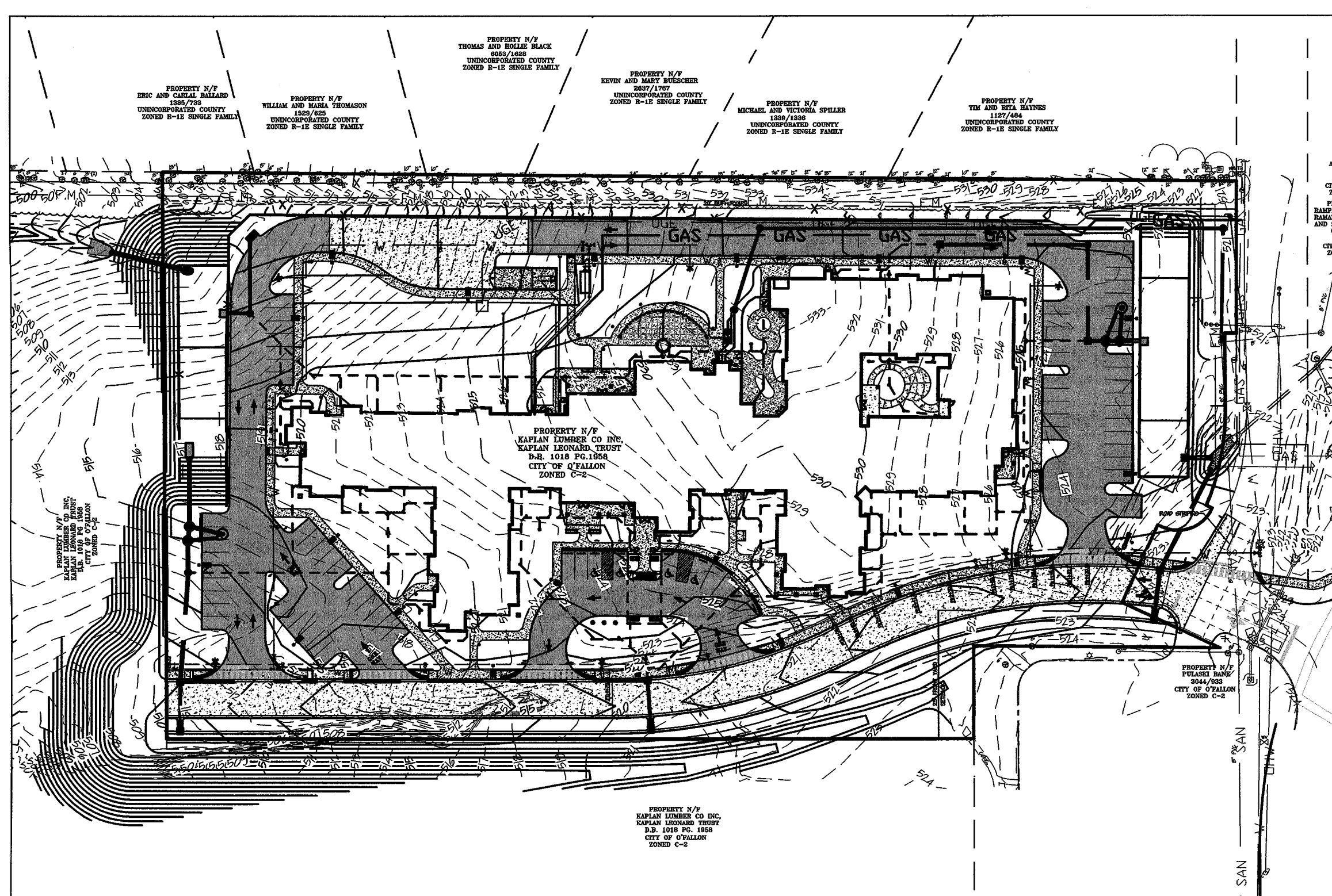
GRADING QUANTITIES:
27,523 C.Y. CUT (INCLUDES SUBGRADES)
35,757 C.Y. FILL (INCLUDES 8% SHRINKAGE)
8,234 C.Y. SHORT IMPORT

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

TOTAL INCLUDES ALTERNATE PAVING SECTION AT PARKING LOT CALCULATIONS AND SOIL REMEDIATION AREAS UNDER THE BUILDING, ALL SIDEWALKS, HEAVY DUTY PAVED AREAS, LANDING CIRCLE STREET, AND BUILDING SLAB.

DEVELOPMENT NOTES:

- AREA TO BE DISTURBED ONSITE: 5.952 ACRES
AREA TO BE DISTURBED OFFSITE: 0.938 ACRES
TOTAL SITE TO BE PURCHASED: 6.416 ACRES
THIS SITE PLAN IS PART OF A 24.341 ACRE PARCEL
- CURRENT ZONING: "C-2 GENERAL BUSINESS" (CITY OF O'FALLON)
SETBACKS:
FRONT YARD 25 FEET
SIDE YARD 0 FEET (SAME ZONING)
REAR YARD 10 FEET
MAX BUILDING HEIGHT 50 FEET
EAST PROPERTY LINE 20 FEET BUFFERYARD TO RESIDENTIAL
- PROPOSED USE: ASSISTED LIVING AND MEMORY CARE (SENIOR COMMUNITY OVERLAY DISTRICT PER SECTION 400.162)
- AREA OF PROPOSED BUILDINGS: 54,613 S.F. (FIRST FLOOR)
38,952 S.F. (SECOND FLOOR)
93,565 S.F. (TOTAL)
- THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:
MINIMUM FRONT YARD: 25 FEET
MINIMUM SIDE YARD: NONE
MINIMUM REAR YARD: NONE
BUILDING HEIGHT: 50 FEET OR 3 STORIES (PROPOSED BLDG HEIGHT MAX AT 31 FEET AND 2-1/2 INCHES)
- THIS PROPERTY IS SERVED BY THE FOLLOWING UTILITIES:
AMERENUE ELECTRIC COMPANY
AT&T TELEPHONE
CENTURYLINK TELEPHONE
LACLEDE GAS COMPANY
PUBLIC WATER SUPPLY DISTRICT NO.2
DUCKETT CREEK SANITARY DISTRICT
COTTLEVILLE FIRE PROTECTION DISTRICT
- FLOOD NOTE: ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI AND INCORPORATED AREAS (MAP NUMBER 29183C0430G, COMMUNITY PANEL NUMBER (CITY OF O'FALLON 290316 0430 G, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016), PART OF THIS TRACT LIES WITHIN ZONES "AE," "X," AND "AE (FLOODWAY)". ZONE "AE" IS DEFINED AS SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED. ZONE "AE" (FLOODWAY) IS DEFINED AS FLOODWAY AREAS WITHIN ZONE "AE". ZONE "X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- PARKING REQUIREMENTS:
0.2 SPACES PER ASSISTED LIVING UNITS @ 111 UNITS = 22.2 ~ 23 REQUIRED
1 SPACE PER EVERY 2 EMPLOYEES (ON MAXIMUM SHIFT) MAX SHIFT = 24 EMPLOYEES = 12 REQUIRED
1 SPACE PER EVERY VEHICLE CUSTOMARILY USED IN THE OPERATION OF THE USE = 1 REQUIRED
TOTAL REQUIRED = 36 SPACES
PROPOSED = 4 ACCESSIBLE SPACES
66 OPEN SPACES
1 FACILITY VAN SPACE
71 SPACES TOTAL
- LANDSCAPING: SEE ATTACHED PLANS AND CALCULATIONS BY OTHERS.
- PROPERTY OWNER: KAPLAN LUMBER COMPANY & LEONARD KAPLAN TRUST
- MAXIMUM SLOPES ALLOWED ARE 3:1.
- ALL UTILITIES SHALL BE UNDERGROUND.
- ALL ACCESSIBLE SIDEWALKS, CURB RAMP, RAMP AND PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE.
- THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION.
- PRIOR TO CONSTRUCTION SITE PLAN APPROVAL, A PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL FOR ALL PROPOSED EXTERIOR LIGHTING.
- ALL SIGNAGE SHALL BE APPROVED THROUGH PLANNING AND DEVELOPMENT VIA A SEPARATE PERMITTING PROCESS.
- SITE COVERAGE:
BUILDING 1.25 ACRES (19.2% OF TOTAL ACREAGE)
PAVING 2.16 ACRES (33.2% OF TOTAL ACREAGE)
GREENSPACE 3.10 ACRES (47.6% OF TOTAL ACREAGE)
TOTAL 6.51 ACRES
- ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE. ROOFTOP UNITS SHALL BE SCREENED BY A PARAPET WALL THAT EXTENDS AROUND THE ENTIRE PERIMETER OF THE BUILDING. THE PARAPET SHALL HAVE A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT MOUNTED ON THE ROOF. GROUND MOUNTED HVAC AND MECHANICAL UNITS SHALL BE SCREENED BY FENCING, VEGETATION, OR SOME OTHER MEANS APPROVED BY THE PLANNING AND ZONING COMMISSION, THAT HAS A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT BEING SCREENED.
- STORMWATER DETENTION AND WATER QUALITY ARE TO BE PROVIDED ONSITE AS NOTED ON THE PLAN.
- THE PROPOSED USE WILL REQUIRE A CONDITIONAL USE PERMIT THAT WILL ALLOW A SENIOR COMMUNITY OVERLAY TO OCCUR WITHIN A C-2 ZONING DISTRICT. A CONDITIONAL USE HAS BEEN APPLIED FOR THIS SITE.
- OPEN SPACE STANDARDS AND PASSIVE/ACTIVE RECREATIONAL STANDARDS 400.162.E.1
OPEN SPACE STANDARD = A MINIMUM OF 30% OF THE LOT AREA AS PERMANENT, PROTECTED OPEN SPACE. (THIS SITE PROVIDES 47.6% OPEN SPACE)
A MINIMUM OF 40% OF THE REQUIRED OPEN SPACE SHALL BE USED FOR PASSIVE/ACTIVE RECREATIONAL PURPOSES. (40% x 30% = 12% REQUIRED THIS SITE) PROVIDED THIS SITE = 24% (AREA CALCULATION INCLUDES THE SIDEWALK LOOP AROUND THE BUILDING AND DRIVES AND ALL THE GREENSPACE/WALKS UP TO THE BUILDING)



DRAWING INDEX

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- DUCKETT CREEK SANITARY DETAILS
- MISSOURI AMERICAN WATER DETAILS
- MISSOURI AMERICAN WATER DETAILS
- MISSOURI AMERICAN WATER DETAILS
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- WATER QUALITY DETAILS
- WATER QUALITY DETAILS
- COURTYARD AND PATIO DETAILS

PLAN VIEW

NOT TO SCALE

BENCHMARKS PROJECT

BENCHMARK:
PROJECT COORDINATES ARE MODIFIED MISSOURI STATE PLANE, EAST ZONE. COORDINATES. PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND ARE REFERENCED TO NGS MONUMENT "F-149" WITH A PID OF J00547. SAID MONUMENT HAS A PUBLISHED ELEVATION OF 165.447M (542.80 FT). F-149 IS DESCRIBED AS: A STANDARD DISK, STAMPED F 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 3 INCHES ABOVE GROUND. AT O'FALLON ST. CHARLES COUNTY, ON THE WABASH RAILROAD, IN THE SOUTHWEST CORNER OF THE O'FALLON CITY HALL PROPERTY (FORMERLY ST. MARY INSTITUTE YARD), 40' EAST OF MAIN STREET (HIGHWAY M) AND 45' NORTH OF THE CENTERLINE OF MAIN RAILROAD TRACK.

Site

BENCHMARK:
SITE BENCHMARK = "O" IN OPEN ON FIRE HYDRANT - ELEV=525.32
DESCRIPTION: THE SITE BENCHMARK IS AN "O" IN OPEN ON A FIRE HYDRANT LOCATED ABOUT 100 FEET FROM THE INTERSECTION OF O'FALLON RD AND SUMMERSET DRIVE.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:

PERMANENT:
Tall Fescue - 150 lbs./ac.
Smooth Brome - 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.

TEMPORARY:
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

SEEDING PERIODS:
Fescue or Brome - March 1 to June 1
August 1 to October 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

MULCH RATES:
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

FERTILIZER RATES:
Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

* CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:

OCTOBER 1 THROUGH MAY 31
7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SUNDAY
JUNE 1 THROUGH SEPTEMBER 30
6:00 A.M. TO 8:00 P.M. MONDAY THROUGH FRIDAY
7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY

SITE DENSITY CALCULATIONS

(1) HOUSING UNIT = (2) DWELLING UNITS FOR ASSISTED LIVING
(1) HOUSING UNIT = (3) DWELLING UNITS FOR SKILLED NURSING (MEMORY CARE)

C-2 ZONING ALLOWS 12 HOUSING UNITS PER ACRE FOR ASSISTED LIVING = 24 DWELLING UNITS/ACRE
C-2 ZONING ALLOWS 16 HOUSING UNITS PER ACRE FOR SKILLED NURSING = 48 DWELLING UNITS /ACRE

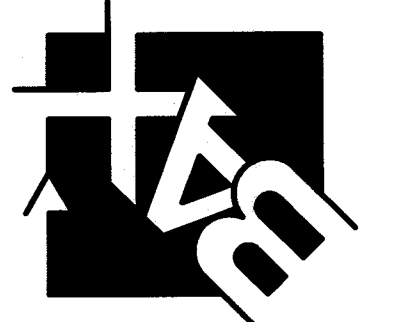
SITE = 6.542 ACRES X 24 = 157 MAX DWELLING UNITS FOR ASSISTED LIVING
SITE = 6.542 ACRES X 48 = 314 MAX DWELLING UNITS FOR SKILLED NURSING

PROPOSED 79 DWELLING UNITS (17 ACCESSIBLE) ASSISTED LIVING UNITS
PROPOSED 32 DWELLING UNITS (22 ACCESSIBLE) SKILLED NURSING (MEMORY CARE)

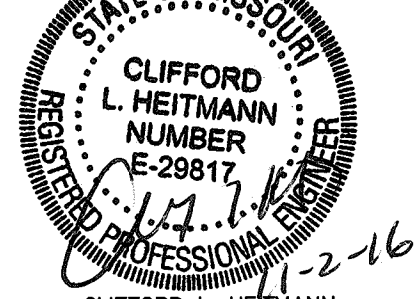
CITY APPROVAL OF ANY CONSTRUCTION SITE PLANS DOES NOT MEAN THAT ANY BUILDING CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODES. ALL INSTALLATIONS AND CONSTRUCTION SHALL CONFORM TO THE APPROVED ENGINEERING DRAWINGS. HOWEVER, IF THE DEVELOPER CHOOSES TO MAKE MINOR MODIFICATIONS IN DESIGN AND/OR SPECIFICATIONS DURING CONSTRUCTION, THEY SHALL MAKE SUCH CHANGES AT THEIR OWN RISK, WITHOUT ANY ASSURANCE THAT THE CITY ENGINEER WILL APPROVE THE COMPLETED INSTALLATION OR CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE CITY ENGINEER OF ANY CHANGES FROM THE APPROVED DRAWINGS. THE DEVELOPER MAY BE REQUIRED TO CORRECT THE INSTALLED IMPROVEMENT SO AS TO CONFORM TO THE APPROVED ENGINEERING DRAWINGS. THE DEVELOPER MAY REQUEST A LETTER FROM THE CONSTRUCTION INSPECTION DIVISION REGARDING ANY FIELD CHANGES APPROVED BY THE CITY INSPECTOR. LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION.

PROJECT TITLE:
THE LANDING OF O'FALLON

ENGINEERING
PLANNING
SURVEYING



DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.



Clifford L. Heitmann
Civil Engineer
E-29817

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Surveying Authority No. 000144
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REVISIONS

10-14-16	CITY COMMENTS
10-24-16	CITY COMMENTS

Developer / Owner:
LENTY ARCHITECTURE
3150 KETTLE COURT SE
SALEM, OREGON 97301
1-503-399-1090

CIVIL COVER SHEET

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY *Jamie Beale* DATE 12/02/2016
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

P+Z No. 20-16.02
City No. 16-010424
Page No. 1 of 31



CALL BEFORE
YOU DIG!
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VAUTSERVER\Civil 3d Projects\13901B OFALLON SENIOR LIVING\Construction\13901B Con.dwg, 11/2/2016 1:59:39 PM, 1.0.9969