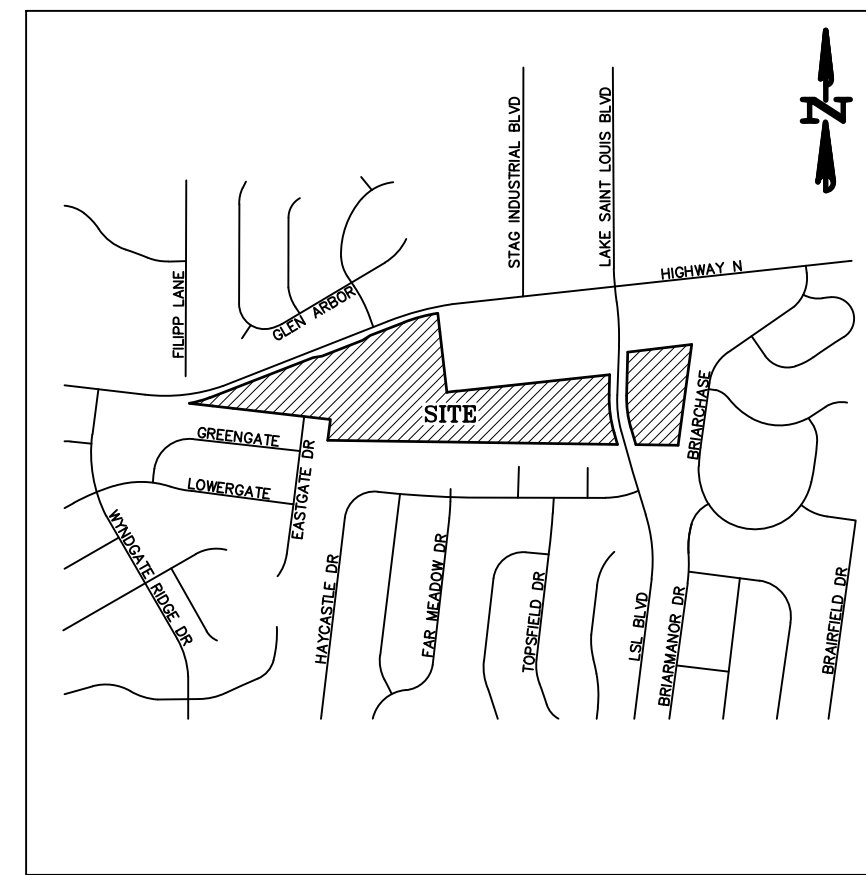


Plan View



Locator Map

A SET OF ROUGH GRADING PLANS FOR THE WILLOWS

A TRACT OF LAND BEING PART OF U.S. SURVEY 931 AND PART OF THE EAST HALF OF SECTION 9 TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

DEVELOPMENT NOTES:

- Total Area of Tract: 20.90 Acres
- Existing Zoning: PUD, Planned Unit Development (City of O'Fallon)
- Proposed Uses: Attached Villas
- Property Owners: Joanne Griffith & Gary E. Kopadt Revocable Trust 8780 Highway N Lake Saint Louis, MO 63367
- Per Flood Insurance Rate Map Panel Number 29183C0220G Dated January 20, 2016. This site is Zoned "X", described as areas outside the 500-year floodplain.
- Boundary information is per survey as compiled by Box Engineering during June, 2021.
- One tree shall be planted for every lot. Two trees for corner lots. Tree placement shall be per Section 402 of the City Code.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- The developer shall comply with current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23 of the City of O'Fallon Zoning Ordinances.
- Additional lighting may be required by the City of O'Fallon. Street lights will be private and privately maintained.
- All new utilities will be located underground.
- A ten (10) foot wide general utility easement is required along all public right-of-ways.
- Clubhouse/Pool Area Parking Calculations:
1 Space per every 10 dwelling Units within the Residential Subdivision
119 Units / 10 = 11.9 ~ 12 Spaces Required Plus 2 Accessible Spaces
Parking Provided = 14 Spaces (including 2 Accessible Spaces)

Utility Contacts

Sanitary Sewers

Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO, 63368
636-441-1244

Water

Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO, 63366
636-561-3737

Storm Sewer

City of O'Fallon
100 N. Main St.
O'Fallon, MO, 63366
636-240-2000

Electric

Cuivre River Electric Co.
P.O. Box 160
Troy, MO, 63379-0160
1-800-392-3709

Gas

Spire Gas
6400 Graham Road
St. Louis, MO, 63134
314-522-2297

Telephone

CenturyLink
1151 Century Tel Dr.
Wentzville, MO, 63385
636-332-7261

Fire District

Wentzville Fire District
209 West Pearce Blvd.
Wentzville, MO, 63385

Drawing Index

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| 2 | NOTES |
| 3-5 | DEMOLITION PLAN |
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| 9 | PRE-DEVELOPED DRAINAGE AREA MAP |
| 9A | POST-DEVELOPED DRAINAGE AREA MAP |
| 10 | STORM SEWER PROFILE & DETAILS |
| 11 | EROSION CONTROL DETAILS |
| 12 | CONSTRUCTION DETAILS |

Benchmarks Project

REFERENCE BENCHMARK: THE OBSERVED VERTICAL CHECK STATION UTILIZED IS LISTED ON WWW.NGS.NOAA.GOV AS DESIGNATION "C-149" WITH A PID OF JC0544 AND A PUBLISHED ELEVATION OF 545.45 (NAVD88). DESCRIBED AS FOLLOWS; 1.8 MILES EAST FROM GILMORE. 1.8 MILES EAST ALONG THE WABASH RAILROAD FROM THE STATION AT 'GILMORE, ST. CHARLES COUNTY, 80 FEET WEST OF A TOWNSHIP ROAD CROSSING, 48 FEET NORTH OF THE CENTERLINE OF THE TRACK, 12 FEET WEST OF THE RIGHT-OF-WAY FENCE CORNER, AND 2 FEET SOUTH OF THE RIGHT-OF-WAY FENCE. A STANDARD DISK, STAMPED C 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 6 INCHES ABOVE GROUND.

Site

SITE BENCHMARK: ELEV. 637.38.
'X' IN CONCRETE SIDEWALK LOCATED ALONG THE WEST RIGHT-OF-WAY LINE OF LAKE SAINT LOUIS BOULEVARD. APPROXIMATELY 57.5 FEET SOUTHWEST OF AN AREA INLET.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:

PERMANENT:
Tall Fescue - 150 lbs./ac.
Smooth Brome - 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.

TEMPORARY:
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

SEEDING PERIODS:
Fescue or Brome - March 1 to June 1
August 1 to October 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

MULCH RATES:
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

FERTILIZER RATES:
Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

Legend

600.00	EXISTING LABELS	□	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	□	EXIST. AREA INLET
CI	SINGLE CURB INLET	□	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	■	PROPOSED AREA INLET
AI	AREA INLET	■	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	⊙	EXIST. SANITARY MANHOLE
GI	GRATE INLET	⊙	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	⊙	PROPOSED MANHOLE
MH	MANHOLE	⊙	POWER POLE
FE	FLARED END SECTION	⊙	LIGHT STANDARD
EP	END PIPE	⊙	FIRE HYDRANT
CP	CONCRETE PIPE	⊙	WATER METER
RCP	REINFORCED CONCRETE PIPE	⊙	WATER VALVE
CMP	CORRUGATED METAL PIPE	⊙	GAS VALVE
CPP	CORRUGATED PLASTIC PIPE	⊙	TELEPHONE PEDESTAL
PVC	POLY VINYL CHLORIDE (PLASTIC)	⊙	SIGN
CO	CLEAN OUT	⊙	TREE
.....	SLOPE LIMITS		
— SW	DRAINAGE SWALE		
— STM	EXISTING STORM SEWER		
— SAN	EXISTING SANITARY SEWER		
— W	EXISTING WATER LINE		
— FO	EXISTING FIBER OPTIC LINE		
— GAS	EXISTING GAS LINE		
— UGE	EXISTING UNDERGROUND ELECTRIC		
— OHW	EXISTING OVERHEAD ELECTRIC		
— CTV	EXISTING CABLE TV LINE		
— T	EXISTING TELEPHONE LINE		
— — —	PROPOSED STORM SEWER		
— — —	PROPOSED SANITARY SEWER		
— X — X	FENCE LINE		
— — —	SAWCUT LINE		

Conditions of Approval From Planning and Zoning:

- THE APPLICANT SHALL PROVIDE FUNDS FOR A 10 FOOT WIDE MULTI-USE PATH ALONG HIGHWAY N.
- LABEL ALL PROPOSED COMMON GROUND AREAS, WHICH WOULD INCLUDE THE BUFFERARYD.
- REVISE THE STRIPING ON THE LAKE ST. LOUIS BOULEVARD SOUTHBOUND TURN LANE TO PROVIDE STACKING TO MAKE A LEFT INTO THIS DEVELOPMENT.
- THE TAPERS ON LAKE ST. LOUIS BOULEVARD SHOULD BE 100' LONG PLUS THE 8:1 TAPER. THERE ARE TO BE TAPERS TO BE PROVIDED ON THE NORTH AND SOUTH LANES OF LAKE ST. LOUIS BOULEVARD AND ARE TO BE BUILT WITH THIS DEVELOPMENT AT ALL INTERSECTIONS.
- PROVIDE INFORMATION ON WHO WILL MAINTAIN THE PRIVATE PART OF EAST WILLOW LANE.
- PROVIDE A CROSS ACCESS EASEMENT AND MAINTENANCE FOR THE PRIVATE PART OF EAST WILLOW LANE WITH CONSTRUCTION PLANS.
- PROVIDE ELEVATIONS FOR THE MAINTENANCE BUILDING.
- ENSURE THAT THE EXISTING SWALE BEHIND BUILDINGS 51-54 HAS A MINIMUM OF 2% SLOPE TO ENSURE POSITIVE DRAINAGE.
- ENSURE THAT THE LANDSCAPE BUFFER WILL HAVE POSITIVE DRAINAGE.
- PROVIDE A CROSSWALK ACROSS LAKE ST. LOUIS BLVD. AT THE INTERSECTION OF EAST AND WEST WILLOW LANE.
- REDESIGN THE TRASH ENCLOSURE AT THE CLUBHOUSE TO SHIELD THE SIDE ACCESS FROM VIEW.
- PROVIDE DETAILS AND SHOW ON THE CONSTRUCTION SITE PLANS THE GATE AND ENTRANCE TO THE DOG PARK.
- THE APPLICANT SHALL ABIDE BY THE MUNICIPAL CODE REQUIREMENTS.

Municipal Code Requirements:

- PROVIDE LETTERS FROM THE APPLICABLE WATER DISTRICT AND SEWER DISTRICT THAT VERIFY THAT THEY HAVE THE CAPACITY TO PROVIDE SERVICE TO THE PROPOSED PLANNED UNIT DEVELOPMENT. THE DEVELOPER WILL NEED TO PROVIDE APPROVAL FROM CORPS OF ENGINEERS, MDR, AND MODOT. MODOT APPROVAL SHOULD BE FOR THE DEVELOPMENT AND FOR WORK WITHIN THE FUTURE HIGHWAY N.
- PROVIDE A LETTER FROM ST. CHARLES COUNTY APPROVING ALL PROPOSED STREET NAMES.
- THE TREE PRESERVATION CALCULATIONS HAVE BEEN CHANGED SIGNIFICANTLY FROM THE AREA PLAN. ADDITIONAL INFORMATION SHALL BE PROVIDED TO SHOW WHETHER THIS IS CORRECT AND IF THE CODE IS BEING MET BY THIS REDUCED NUMBER.

Re-Approved Grading Plan
CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: DATE July 8, 2022
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31

7:00 A.M. To 7:00 P.M. Monday Through Sunday

June 1 Through September 30

6:00 A.M. To 8:00 P.M. Monday Through Friday

7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 20.90 Acres

The area of land disturbance is 20.90 Acres

Number of proposed lots is 119

Building setback information. Front 35'

Side 10' or 0'

Rear 25'

* The estimated sanitary flow in gallons per day is 44,030 GPD

* Street trees & Tree Preservation requirements:

Existing Trees = 0.33 Acres

Trees Removed = 0.16 Acres

Trees Saved = 0.17 Acres

Tree Preservation trees to be retained:

0.33 Acres x 20% = 0.066 Acres

0.066 Acres - 0.17 Acres (Saved) = 0.104 Acres

0.104 Acres > 0.066 Acres (No new trees required)

Street Trees Required:

1 Tree per lot, 2 Trees per corner lot

119 Lots = 119 Trees

1 Corner Lots = 1 Trees

Also, 1 Tree per every 40 L.F. of street frontage

2,197.42 L.F. \ 40 L.F. = 54 Trees Required

Total Trees Required = 174

Total Trees Provided = 174

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

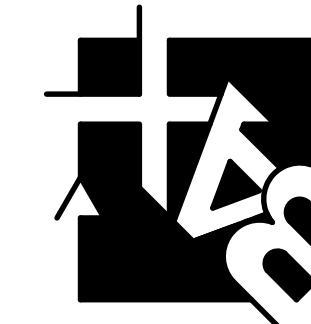
Lighting values will be reviewed on site prior to the final occupancy inspection.

PROJECT TITLE:

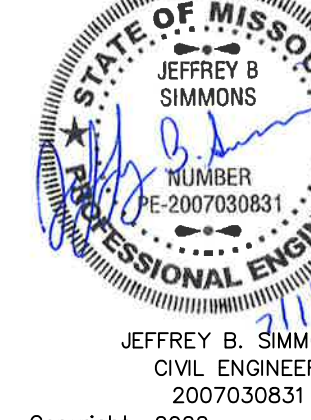
The Willows

ENGINEERING
PLANNING
SURVEYING

221 Point View Blvd.
St. Charles, MO 63301
636-928-5562
FAX 928-1718



DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or projects.



JEFFREY B. SIMMONS
CIVIL ENGINEER
2007030831

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Authority No. 000655
All Rights Reserved

REVISIONS

DATE	CITY COMMENTS
03/02/22	CITY COMMENTS
03/30/22	CITY COMMENTS
04/18/22	CITY COMMENTS
07/01/22	CITY COMMENTS

Developer / Owner:

KAPB, L.L.C.
410 Crestview Drive
O'Fallon, MO 63366
636-272-4200

COVER SHEET

P+Z No. #21-08053

Approval Date: 03/24/2022

City No. GR22-000004

Page No.

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Box Project # 20-18154 Issue Date: 01/28/2022