

THIS PROPERTY WILL BE SERVED BY THE FOLLOWING UTILITIES.

ELECTRIC:	AMEREN MISSOURI	866-992-6619
FIRE:	O'FALLON FIRE PROTECTION DISTRICT	636-272-3493
SANITARY:	DUCKETT CREEK	636-441-1244
TELEPHONE:	CENTURYLINK TELEPHONE COMPANY	636-970-0132
WATER:	PUBLIC WATER DISTRICT #2	636-561-3737
	CITY OF O'FALLON	636-240-2000
DATA:	CHARTER COMMUNICATIONS	636-265-0140

LEGAL DESCRIPTION:

PARCEL NO. 2:
 A TRACT OF LAND BEING PART OF LOT 6 OF PLAT NO. 1 OF THE PARTITION OF LANDS OF JAMES BALDRIDGE LOCATED IN FRACTIONAL SECTION 11, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE SOUTHWEST RIGHT OF WAY LINE OF INTERSTATE 64 (FORMERLY STATE HIGHWAY 64-61) (WIDTH VARIES) WITH THE NORTHWEST RIGHT OF WAY LINE OF FOX TROTTER (60 FOOT WIDE) DRIVE AS RECORDED BY PLAT BOOK 19, PAGE 53 OF THE ST. CHARLES COUNTY, MISSOURI RECORDER'S OFFICE, SAID COMMENCEMENT POINT ALSO BEING ON THE NORTH LINE OF PIN OAK PARC PLAT 1, A SUBDIVISION AS RECORDED IN PLAT BOOK 25, PAGES 78 & 79 OF SAID RECORDER'S OFFICE;
 THENCE ALONG SAID NORTH LINE OF PIN OAK PARC PLAT 1, SOUTH 71° 17' 33" WEST, A DISTANCE OF 16.19 FEET TO THE SOUTH RIGHT OF WAY LINE OF THE PROPOSED SOUTH OUTER ROAD (VARIABLE WIDTH), ALSO BEING THE POINT OF BEGINNING;
 THENCE CONTINUING ALONG SAID NORTH LINE THE FOLLOWING COURSES & DISTANCES: SOUTH 71° 17' 37" WEST, A DISTANCE OF 127.93 FEET;
 SOUTH 86° 37' 58" WEST, A DISTANCE OF 486.03 FEET TO THE EAST LINE OF LAND NOW OR FORMERLY OF SPRINGHURST, L.L.C., AS RECORDED BY DEED IN BOOK 3924, PAGE 458 OF SAID RECORDER'S OFFICE;
 THENCE ALONG SAID EAST LINE AND THE EAST LINE OF PROPERTY NOW OR FORMERLY 64N LAND & CATTLE COMPANY, L.L.C., AS RECORDED BY DEED IN BOOK 3924, PAGE 453 OF SAID RECORDER'S OFFICE, NORTH 08° 01' 16" WEST, A DISTANCE OF 312.78 FEET TO THE SOUTH RIGHT OF WAY LINE OF THE PROPOSED SOUTH OUTER ROAD (VARIABLE WIDTH);
 THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, THE FOLLOWING COURSES AND DISTANCES:
 ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 661.00 FEET AND A CENTRAL ANGLE OF 15° 47' 02" (CHORD BEARING SOUTH 66° 50' 30" EAST, 181.52 FEET), AN ARC DISTANCE OF 182.09 FEET TO A NON-TANGENT LINE;
 SOUTH 82° 56' 00" EAST, A DISTANCE OF 48.83 FEET;
 SOUTH 74° 43' 25" EAST, A DISTANCE OF 81.31 FEET;
 SOUTH 81° 26' 06" EAST, A DISTANCE OF 77.11 FEET;
 SOUTH 74° 46' 31" EAST, A DISTANCE OF 50.05 FEET;
 SOUTH 86° 59' 09" EAST, A DISTANCE OF 23.49 FEET;
 SOUTH 74° 48' 25" EAST, A DISTANCE OF 47.67 FEET TO A TANGENT CURVE;
 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 560.00 FEET AND A CENTRAL ANGLE OF 05° 28' 26" (CHORD BEARING SOUTH 71° 53' 28" EAST, 53.48 FEET), AN ARC DISTANCE OF 53.50 FEET TO A NON-TANGENT LINE;
 SOUTH 56° 16' 17" EAST, A DISTANCE OF 56.57 FEET;
 SOUTH 49° 30' 34" EAST, A DISTANCE OF 84.61 FEET TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED TRACT IS BASED UPON A BOUNDARY SURVEY EXECUTED BY GRIMES CONSULTING, INC. DURING THE MONTH OF OCTOBER, 2021.

Call Before you DIG
TOLL FREE
 1-800-344-7483
MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

PREPARED FOR:
BRINKMANN CONSTRUCTORS
 CONTACT: JACOB ENGLERT
 16650 CHESTERFIELD GROVE RD, SUITE 100
 CHESTERFIELD, MO 63005
 PH: (636) 537-9700
 E: JEnglert@brinkmannconstructors.com

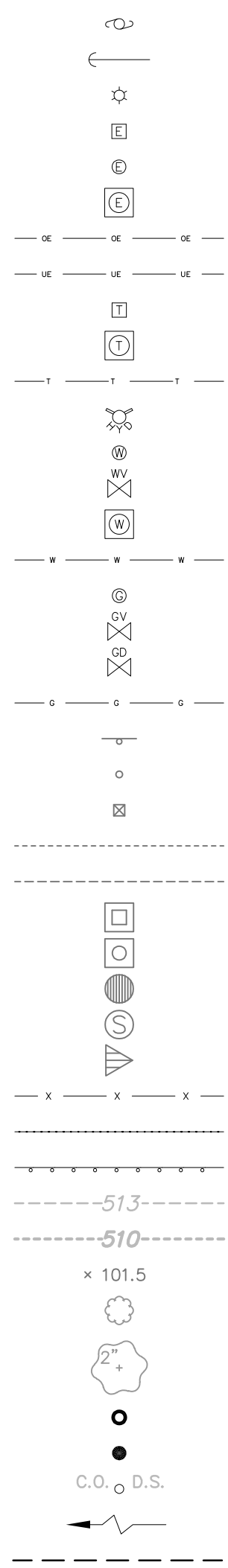
* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 2.44 AC
 The area of land disturbance is 2.69 AC
 Number of proposed lots is N/A
 Building setback information. Front 30'
 Side 20'
 Rear 25'

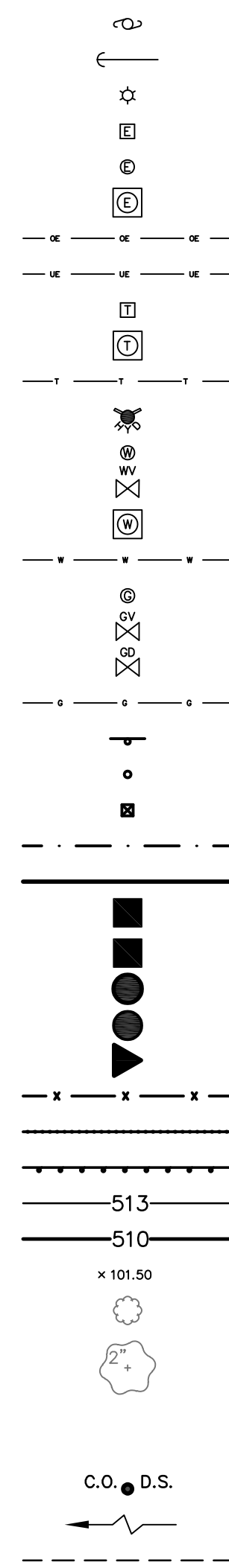
* The estimated sanitary flow in gallons per day is 210 GPD
 * Tree preservation calculations

EXISTING



UTILITY POLE
GUY WIRE
LIGHT STANDARD
ELECTRIC BOX
ELECTRIC METER
ELECTRIC MANHOLE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
TELEPHONE BOX
TELEPHONE MANHOLE
UNDERGROUND TELEPHONE LINE
FIRE HYDRANT
WATER METER
WATER VALVE
WATER MANHOLE
WATER LINE
GAS METER
GAS VALVE
GAS DRIP
GAS LINE
STREET SIGN
BOLLARD OR POST
MAILBOX
SANITARY SEWER
STORM SEWER
STORM DRAIN GRATE INLET
STORM DRAIN AREA INLET
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
FLARED END SECTION
FENCE: CHAIN LINK OR WIRE
FENCE: WOOD CONSTRUCTION
GUARDRAIL
MINOR CONTOUR INTERVAL
MAJOR CONTOUR INTERVAL
SPOT ELEVATION
BUSH OR SHRUB
TREE W/APPROXIMATE DIAMETER SIZE
FOUND SURVEY MONUMENT AS NOTED
SET SURVEY MONUMENT AS NOTED
CLEAN-OUT/DOWN-SPOUT
SWALE
UTILITY EASEMENT

PROPOSED

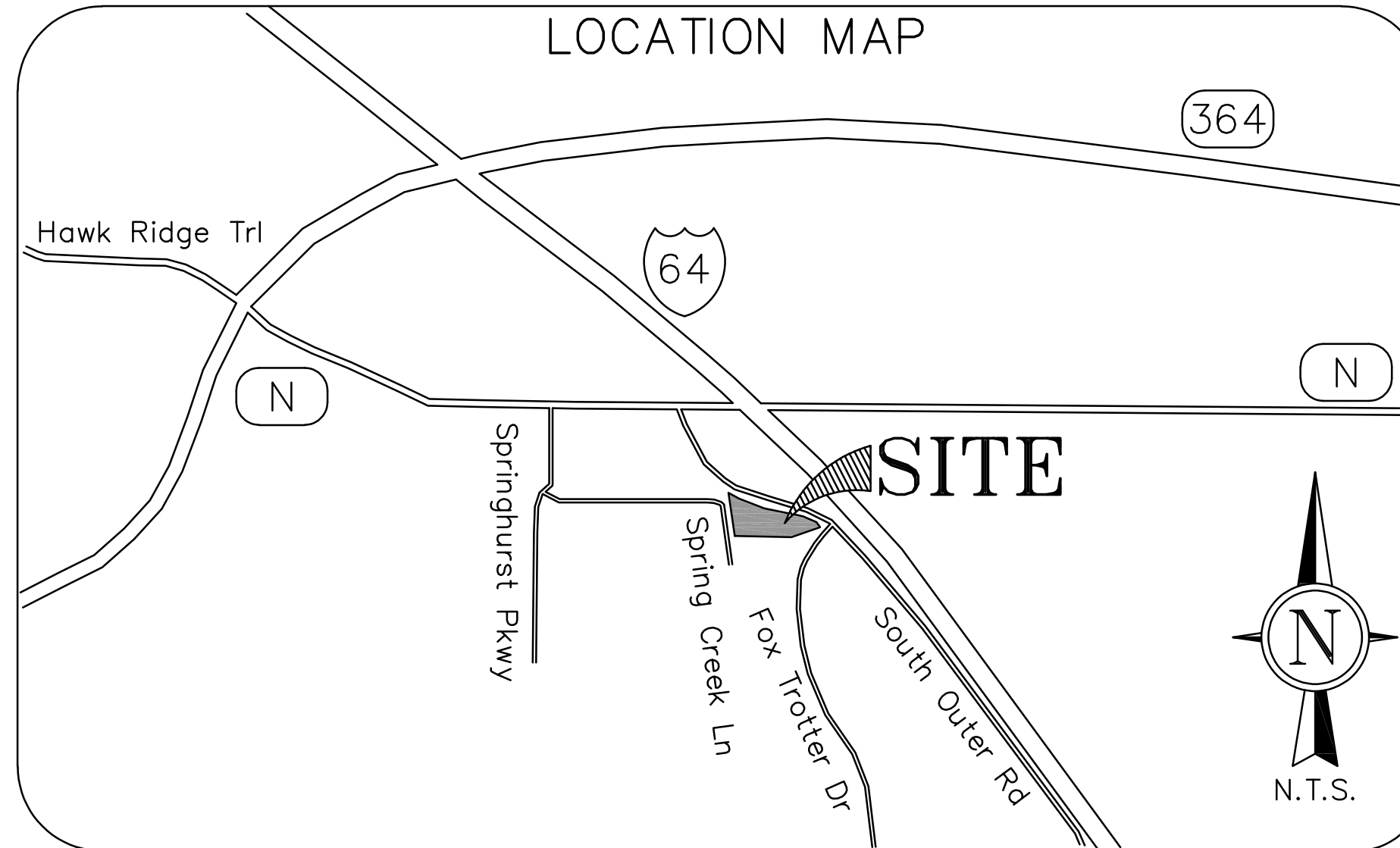


LEGEND

O'FALLON U-HAUL

A TRACT OF LAND BEING PART OF U.S. SURVEY 297
 TOWNSHIP 46 NORTH, RANGE 2 EAST, SECTION 11
 O'FALLON, ST. CHARLES COUNTY, MISSOURI

SITE IMPROVEMENT PLANS



PROJECT LOCATION MAP

PROPERTY OWNER

AREC 38 LLC
2727 N. CENTRAL AVE.
PHOENIX, AZ 85004

EXISTING ZONING

C-2 GENERAL BUSINESS

SITE ACREAGE

2.437 ACRES

SITE ADDRESS

1195 S. OUTER ROAD
O'FALLON, MO 63368

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: _____ DATE _____
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

Conditions of Approval From Planning and Zoning January 6, 2022

- PROVIDE TREE PRESERVATION CALCULATIONS
- PROVIDE A BREAKDOWN OF THE LANDSCAPING CALCULATIONS
- PROVIDE ADDITIONAL PLANTINGS/SCREENING ALONG SOUTH OUTER ROAD TO SCREEN THE SELF-STORAGE UNITS FROM THE ROAD
- PROVIDE A PHOTOMETRIC PLAN
- REMOVE THE PAVEMENT FORM THE SECOND ACCESS POINT
- PROVIDE A CONTRIBUTION FOR CONSTRUCTION OF THE 10' TRAIL ALONG THE FRONT OF THE PROPERTY
- ADD A NOTE TO THE PLAN STATING THAT THE DETENTION BASIN SHALL BE DESIGNED FOR THE 100 YEAR/20 MINUTE STORM PROVIDE APPROVAL FROM MODOT, DUCKETT CREEK SANITARY DISTRICT, AND PWS&J.
- WITH NEW INFORMATION ON THE OPERATION OF THE WAREHOUSE BUILDING, STAFF HAS QUESTIONS ON HOW THE EMPLOYEE FROM THE ADJACENT SITE WILL REACH THE SUBJECT PROPERTY. WILL THE EMPLOYEE CROSS THE SOUTH OUTER ROAD BY WALKING? WHERE WILL THE CROSS THE SOUTH OUTER ROAD?
- PROVIDE THE REQUIRED SIGHT PROOF FENCING WITHIN THE BUFFERYARDS ALONG THE SOUTH AND WEST PROPERTY LINES.

SHEET INDEX

- C1.0 TITLE SHEET
- C2.0 GENERAL NOTES
- C3.0 EXISTING SITE & DEMO PLAN
- C4.0 SITE PLAN
- C4.1 GEOMETRICS PLAN
- C4.2 EASEMENT PLAN
- C5.0 GRADING PLAN
- C6.0 SWPPP
- C6.1 SWPPP DETAILS
- C7.0 UTILITY PLAN
- C8.0 STORM AND SANITARY DETAILS
- C8.1 WATER DETAILS
- C8.2 WATER DETAILS
- C8.3 PAVEMENT DETAILS
- C8.4 PAVEMENT DETAILS
- C8.5 SITE DETAILS
- C8.6 BMP DETAILS
- C8.7 BMP DETAILS
- C8.8 MODOT & ENTRANCE DETAILS
- C9.0 PROFILES
- C10.0 PROPOSED DRAINAGE AREA MAP
- C10.1 BMP DRAINAGE AREA MAP
- C11.0 SPECIFICATIONS
- C11.1 SPECIFICATIONS
- C11.2 SPECIFICATIONS

ABBREVIATIONS

ADS - ADVANCED DRAINAGE SYSTEMS, INC.	N.T.S. - NOT TO SCALE
ATG - ADJUST TO GRADE	O.C. - ON CENTER
B.M. - BENCHMARK	PAVT. - PAVEMENT
C.I. - CURB INLET	P.C. - PORTLAND CEMENT
C.O. - CLEAN OUT	PCC - PRECAST CONCRETE
CMP - CORRUGATED METAL PIPE	P.S.I - POUNDS/SQUARE INCH
CONC. - CONCRETE	PROP. - PROPOSED
C.Y. - CUBIC YARDS	R.C. - REINFORCED CONCRETE
D.C.I. - DOUBLE CURB INLET	R.R. - RAIL ROAD
DIP - DUCTILE IRON PIPE	RCP - REINFORCED CONCRETE PIPE
DIA. - DIAMETER	S.F. - SQUARE FOOT
DS - DOWNSPOUT	S.Y. - SQUARE YARD
ELEV. - ELEVATION	SAN - SANITARY
EX - EXISTING	SCH - SCHEDULE
FD - FLOOR DRAIN	SWPPP - STORM WATER POLLUTION PREVENTION PLAN
FF - FINISH FLOOR	TBA - TO BE ABANDONED
FL - FLOOR LINE	TBR - TO BE REMOVED
G.I. - GRATE INLET	TYP. - TYPICAL
GAL. - GALLON	UIP - USE IN PLACE
H.G. - HYDRAULIC GRADE	VCP - VTRIFIED CLAY PIPE
HYD - HYDRANT	YD - YARD DRAIN
MAX - MAXIMUM	WV - WATER VALVE
MH - MANHOLE	
MIN - MINIMUM	

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	02-24-2022
2	CITY/UTIL COMMENTS	03-14-2022

PROJECT TITLE
O'FALLON U-HAUL
 1200 S. OUTER ROAD
 O'FALLON, MO 63366

GRIMES CONSULTING, INC.
Civil Engineering & Surveying Services
 GRIMES CONSULTING, INC.
 PROFESSIONAL ENGINEER CORPORATION, E-140-D
 PROFESSIONAL LAND SURVEYING CORPORATION, LS-14-D
 www.grimesconsulting.com

12300 OLD TESSON ROAD
 SUITE 3000
 O'FALLON, MO 63378
 PH. (314) 849-6100
 FAX (314) 849-6010

LEONARD J. MEERS
 PROFESSIONAL ENGINEER
 E-28288

Developer / Owner Information
UHAUL
 CONTACT: MICHAEL WHITE
 314-952-6203
 Email: michael_white@uhaul.com

TITLE SHEET

P+Z No.
 Approval Date:
 City No.
 Page No.
C1.0