

THE VILLAGES AT SPRINGHURST

A TRACT OF LAND BEING PART OF LOT 7 OF PLAT NO. 1 OF THE PARTITION OF LANDS OF JAMES BALDRIDGE LOCATED IN FRACTIONAL SECTIONS 10 & 11, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI

RECREATIONAL AREA IMPROVEMENT PLANS

DEVELOPMENT NOTES:

- Gross Area of Site: 95.96 acres
- This site is in the following Districts:
 Duckett Creek Sanitary District (636) 441-1244
 Wentzville Fire Protection District (636) 327-6239
 Wentzville School District (636) 441-0088
- This site is in the following Utility Service Areas:
 Public Water Supply District #2 (636) 561-3737
 Cuivre River Electric Cooperative (636) 441-7410
 Laclede Gas Company (636) 946-8937
 SBC (314) 275-0025
- Existing Zoning: "R-3 P.U.D. and R-4 P.U.D."
- Owner: Springhurst, L.L.C.
 5091 New Baumgartner Road
 St. Louis, Missouri 63129

MAXIMUM LOT COVERAGE	
VILLAGE	%
B	50%
C	50%
D	60%
E	50%

PROPOSED YARD SETBACKS			
USE	FRONT YARD	SIDE YARD	REAR YARD
VILLAGE "A" CONDOMINIUMS	12' TO BACK OF CURB	30' BETWEEN BUILDINGS	12' TO BACK OF CURB
VILLAGE "B" 3 UNITS TRIPLEX	20'	7.5'	15'
VILLAGE "C" SINGLE FAMILY DETACHED	20'	6'	15'
VILLAGE "D" 4 UNIT TOWNHOMES	15'	7.5'	15'
VILLAGE "E" SINGLE FAMILY DETACHED	20'	6'	15'

RESIDENTIAL LOT AREA CALCULATIONS					
ZONING	UNIT TYPE	TOTAL UNITS	REQUIRED AREA (ACRES)	PROVIDED AREA (ACRES)	DENSITY CALCULATION (UNITS/ACRE)
R-3	SINGLE FAMILY DETACHED	241	41.49	56.44	4.27
R-3	SINGLE FAMILY ATTACHED	212	12.17	21.65	9.79
R-4	MULTI FAMILY	300	12.40	16.84	17.81
TOTAL =		753	66.06	94.93	7.93

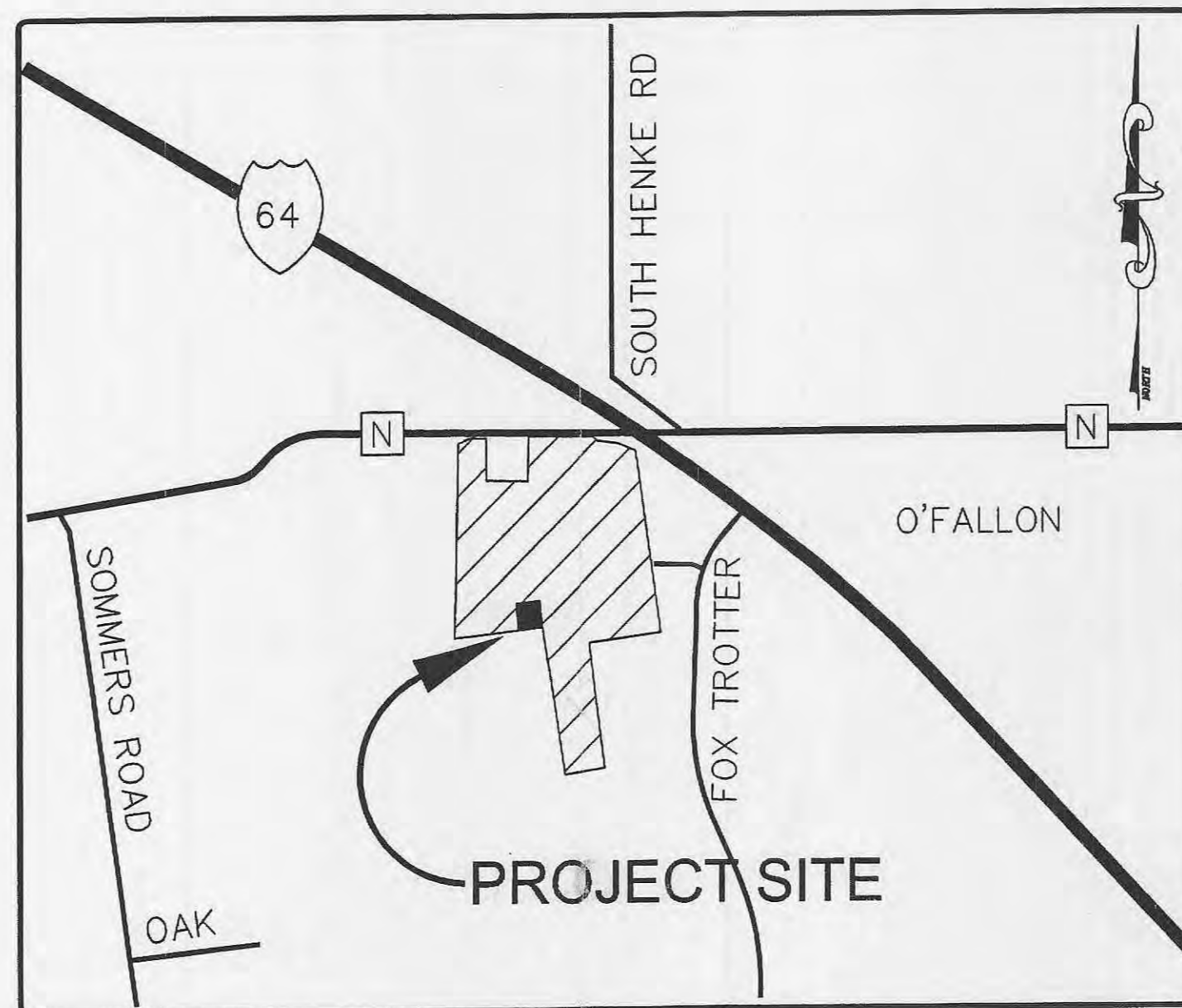
PARKING CALCULATIONS				
UNIT TYPE	TOTAL UNITS	REQUIRED PARKING	PROVIDED PARKING	PARKING RATIO
SINGLE FAMILY DWELLINGS (2 SPACES/UNIT)	453	906	906	2/UNIT
MULTI FAMILY DWELLINGS (2 SPACES/UNIT)	300	600	699	2.33/UNIT

GENERAL NOTES:

- As determined by graphic plotting only, the surveyed tract is located in Zone "X", other areas, areas determined to be outside the 500-year floodplain. Information as depicted on Flood Insurance Map, Map No. 29183C0220 F, effective date March 17, 2003.
- All utilities shall be installed underground and will be covered by easements on record plat.
- All common ground areas, including the islands within the streets shall be maintained by the subdivision association.
- Soil Erosion Control to be in compliance with City of O'Fallon code grading regulations.
- Siltation control shall be installed and placed per St. Charles County Soil and Water Conservation District Erosion and Sediment Control guidelines.
- It shall be the responsibility of the developer to provide soil compaction tests to the City's engineering department as required.
- Underground facilities and utilities have been shown based on record drawings and visible evidence found. No warranty is made regarding the completeness or accuracy of such information. Determine the exact location of underground facilities and utilities, and preserve same from damage. Comply with utility location laws. Call Missouri One at (1-800-DIG-RITE) for utility locations. Provide three days notice. Pay any and all damages associated with contractor's failure to exactly locate and preserve underground facilities and utilities.
- A 10' Wide Public Utility Easement shall be provided for behind all public right-of-ways. Easements to be provided for storm sewers to be maintained by the City of O'Fallon.
- Storm Water Detention to be provided for with the initial phase of the development.
- Proposed plan will meet all Tree Preservation Ordinance requirements.
- All landscaping and screening will be in accordance with Article X of the Zoning code.
- Prior to issuance of building permits for more than thirty percent (30%) of the total units, building permits for all of the recreational amenities shall be pulled. Prior to issuance of more than forty percent (40%) of the total units, all recreational amenities shall be open for use.
- This development shall comply with Article XII of the Zoning code.
- Driveway locations shall not interfere with the sidewalk accessible ramps.
- All proposed pavilions or playground areas will need a separate permit from the Building Division.
- City approval of the construction site plans does not mean that single family and multi family dwelling units can be constructed on the lots without meeting the building setbacks, as required by the Zoning Code.
- All proposed fencing requires a separate permit through the Planning Department.
- A 5/8" trash bar shall be provided in all inlets.
- Handicap ramps shall be provided where the sidewalks terminate at all intersections curb-cuts, cul-de-sacs, and at the round-about. Crosswalks will be striped across all intersections, curb-cuts, and the round-about to connect the sidewalk and handicap ramps.
- All Common Ground areas shall be covered by an easement to the City of O'Fallon.
- All water main construction shall be in accordance with the Standard Water Distribution System Specifications of Public Water Supply District No. 2 of St. Charles County, as approved by the Missouri Department of Natural Resources under Review No. 61996-04.
- All grading shall be within 12" of finished grade before any water main construction shall begin.
- The photometric lighting plan in accordance with the City's exterior lighting standards shall be provided by the builder.

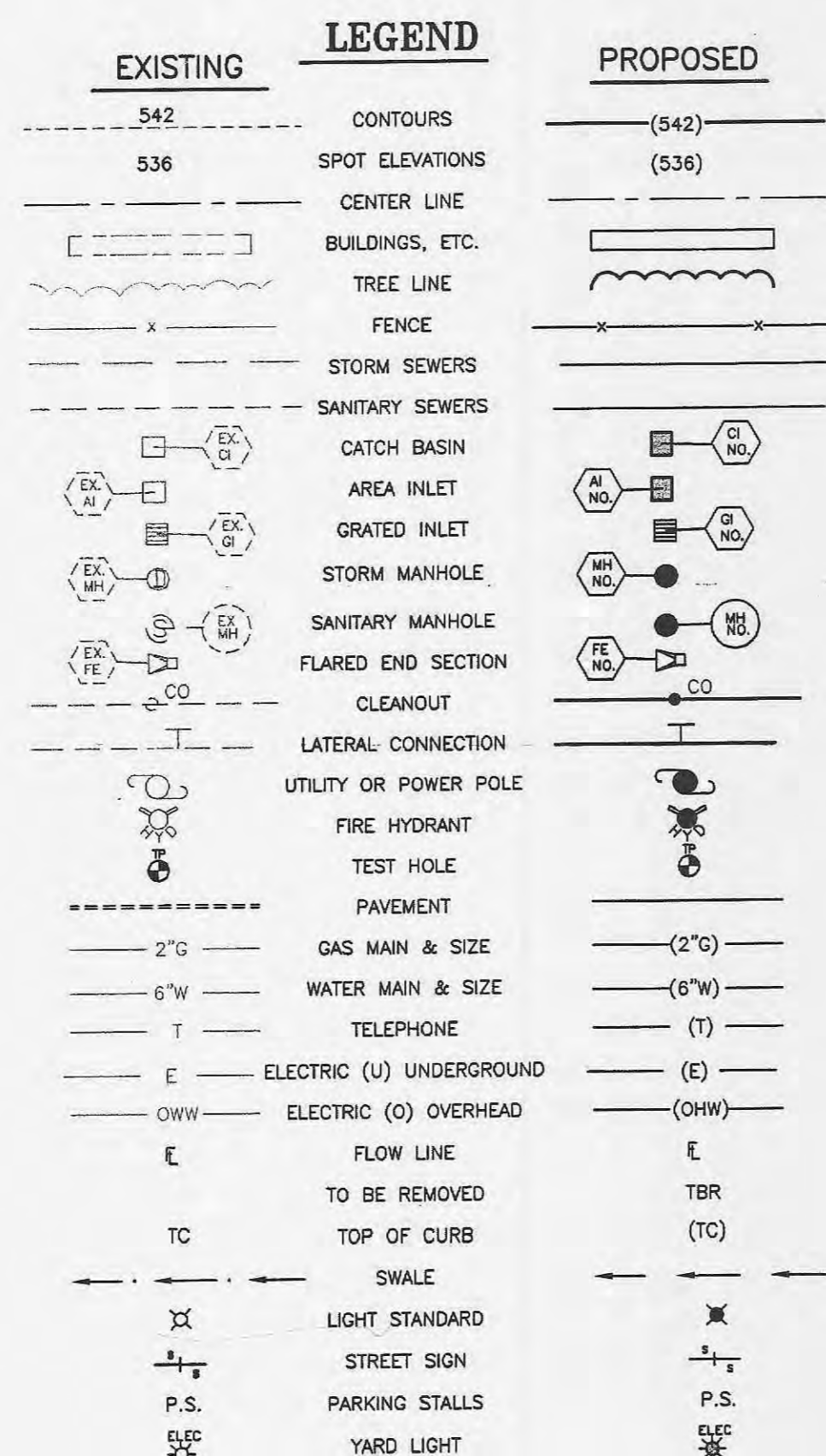
GRADING & CONSTRUCTION NOTES:

- All construction methods, materials and practices shall conform to all current applicable specifications of the governing agencies.
- Any destruction of existing improvements or features shall be repaired or replaced in kind by the contractor and shall remain the contractor's responsibility.
- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- It shall be distinctly understood that failure to specifically mention any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- Contractor shall keep road clear of mud and debris.
- All filled areas to be compacted to a minimum of 90 percent of maximum dry density as determined by the Modified AASHTO Compacting Test, ASTM D1557-78, or as specified by the soils engineer.
- It shall be the grading contractor's responsibility to notify the soils engineer prior to work in progress and to comply with recommendations by the soils engineer with regards to compaction, surface preparation, and placement of fill.
- It shall be the grading contractor's responsibility to provide the location of any existing underground utilities by notifying utility companies prior to grading operations.
- The grading contractor shall cut or fill to sub grade elevation under all areas to be paved. (Sub grade is figured at pavement depth). Rough grading is to be completed within ± 0.20'.
- All drainage swales shall be sodded or seeded and mulched to prevent erosion.
- All stumps, limbs, and other debris are to be removed from the site unless a suitable dump area is approved in advance by the owner after consulting with the soils engineer if burning is approved.
- Sub grade is included in the total bid yardage. (Sub grade is figured at pavement depth).
- Slopes to receive fill which are steeper than 5:1 should be benched prior to placement of fill.
- If fill is to be placed in areas of soft soil, particularly in draws, drainage channels and other low lying areas, the soft soil shall be excavated until firm soil is encountered.
- All grading shall comply with the soils engineer's recommendations.
- Permanent grass is required at completion of grading or a 30 day suspension of grading will be imposed.
- A drainage easement will be granted to the City of O'Fallon for any creeks to remain in the development on the record plat.
- Siltation control will be installed prior to any grading or construction operations and shall be inspected and maintained as necessary to insure their proper function until sufficient vegetation has been established to prevent erosion.
- The installation and maintenance of all siltation controls shall be the responsibility of the developer.
- Additional siltation control may be required as directed by the local governing authority.
- All grading areas shall be protected from erosion by erosion control devices and/or seeding and mulching as required by the City of O'Fallon.
- All fill placed under proposed storm and sanitary sewers, proposed roads, and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test, AASHTO T-99. All fill placed in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and back filling operations. Ensure the moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.
- Erosion and sediment control structures shall be maintained throughout the construction process.
- The Developer shall provide the City of O'Fallon construction inspectors with soils reports prior to and during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of any silt or mud on new or existing pavement or in new or existing sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Erosion control shall not be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams, adjacent roadways, properties, ditches.
- No graded area shall remain bare for over 6 months without being seeded or mulched.
- No slope shall exceed 3(Hor.):1(Vert.).
- When deemed necessary, positive steps should be exercised to prevent the soil from damaging adjacent property and siltling up all storm drainage systems whether on or off site.
- All low places whether on-site or off-site should be graded to allow drainage by installing temporary ditches.
- Any wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the City of O'Fallon.
- All trash and debris on-site, either existing or from construction, must be removed and disposed of off-site.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site. All existing buildings and fencing is to be removed.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location. Dewatering of existing pond shall not exceed 50 GPM.
- Please notify the Director of Public Works for the City of O'Fallon 24 hours prior to the commencement of grading. No building permits will be issued by the City of O'Fallon until construction plans are approved and the final plat recorded.
- The sediment control plan should be implemented before grading begins. This should follow the guidelines in the model sediment and erosion control regulations by St. Charles Soil and Water Conservation District.
- The low sill elevation for any proposed structures adjacent to the flood plain shall be a minimum of (one) foot above the 100-year flood elevation.
- All grading adjustments shall be submitted to and receive approval from the City of O'Fallon.
- When utilized temporary siltation ponds/structures shall be completely removed following re-establishment of vegetation. Ponds shall be backfilled, compacted, and graded to provide positive drainage and then seeded and mulched.
- All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances (i.e. Ordinance 4875, etc.).
- Sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- All street signs and traffic signals shall be colored black in accordance with the approved MoDOT specifications.
- All sign post, backs, and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB point or equivalent as approved by the City and MoDOT.
- All sign locations and sizes must be approved separately through the Planning Division.
- Pavement underdrains shall be provided at all low points per the City of O'Fallon.
- Developer must supply the City construction inspectors with soil reports prior to or during site soil testing. The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City: Maximum dry density; Optimum moisture content; Maximum and minimum allowable moisture content; Curve must be plotted to show density from a minimum of 90% Compaction and above as determined by the "Modified AASHTO T-180 Compaction Test" (A.S.T.M. D 1557) or from a minimum of 95% as determined by the "Standard Proctor Test" (A.S.T.M. D Method 293) (A.S.T.M. D 698); Curve must have at least 5 density points with moisture content and sample locations listed on document; Specific gravity; Natural moisture content; Liquid limit; Plastic limit. If the above information is not provided to the City's Construction Inspector the City will not allow grading or construction activities to proceed on any project.
- Developer shall provide markers on all storm sewer inlets to prevent dumping. Markers must be installed using an epoxy adhesive system, certain pead and stick adhesive pads will not be allowed.
- All handicap ramps shall include Truncated Domes per the City of O'Fallon standards.



LOCATION MAP

NOT TO SCALE



INDEX OF SHEETS

- 1.1 COVER SHEET
- 2.1 SITE/GRADING PLAN
- 3.1 SANITARY & STORM SEWER PROFILES
- 4.1 DRAINAGE AREA MAP
- 5.1-5.4 DETAIL SHEET

TREE ORDINANCE

Existing trees = 14.9 acres
 Trees removed = 10.5 acres
 Trees required = 20% x 14.9 ac. = 2.98 ac.
 Existing trees retained = 4.4 ac.

No replacement trees required.

FLOOD PLAIN NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF ST. CHARLES, MISSOURI, UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 29183C0220 F DATED MARCH 17, 2003), THIS PROPERTY LIES WITH ZONE "X" OTHER AREAS. ZONE "X" IS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

PROJECT BENCHMARK

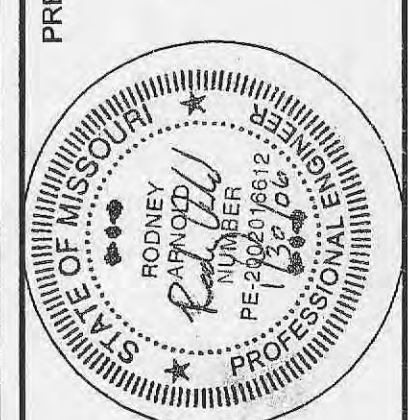
BM #13-86 E.E.V. 187.867 METERS, (616.36 FEET)
 SQUARE ON CONCRETE BASE OF STANDARD SERVICE STATION SIGN STA. 6+95E-450,
 26.5 METERS RIGHT CASTGROUND LANE OF HIGHWAY 40-81 AS DESCRIBED ON STATE
 HIGHWAY 40-81 FINAL PLANS J8P0672D.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

2/3/06
 File Copy
 APPROVED
 ABK

ISSUE	REMARKS/DATE
1	09-22-05 FIRST SUBMITTAL
2	11-22-05 REVISED PER CITY COMMENTS
3	01-06-06 REVISED PER CITY & DSD COMMENTS
4	01-30-06 REVISED PER CITY COMMENTS

PREPARED FOR:
SPRINGHURST, L.L.C.
 5091 NEW BAUMGARTNER ROAD
 ST. LOUIS, MISSOURI 63129
 (314) 487-6717



THE **STERLING CO.**
 ENGINEERS & SURVEYORS
 5055 NEW BAUMGARTNER ROAD
 ST. LOUIS, MISSOURI 63129
 (314) 487-0440 FAX 487-9844
 E-Mail: Sterling@sterling-eng-survey.com

PROJECT: **THE VILLAGES AT SPRINGHURST**
 SHEET TITLE: **COVER SHEET**

NO.	03 12 269
M.S.D.	SHEET
P#	1.1
DIGITAL FILE LOCATION	
DATE: 03/12/06	
BY: [Signature]	
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