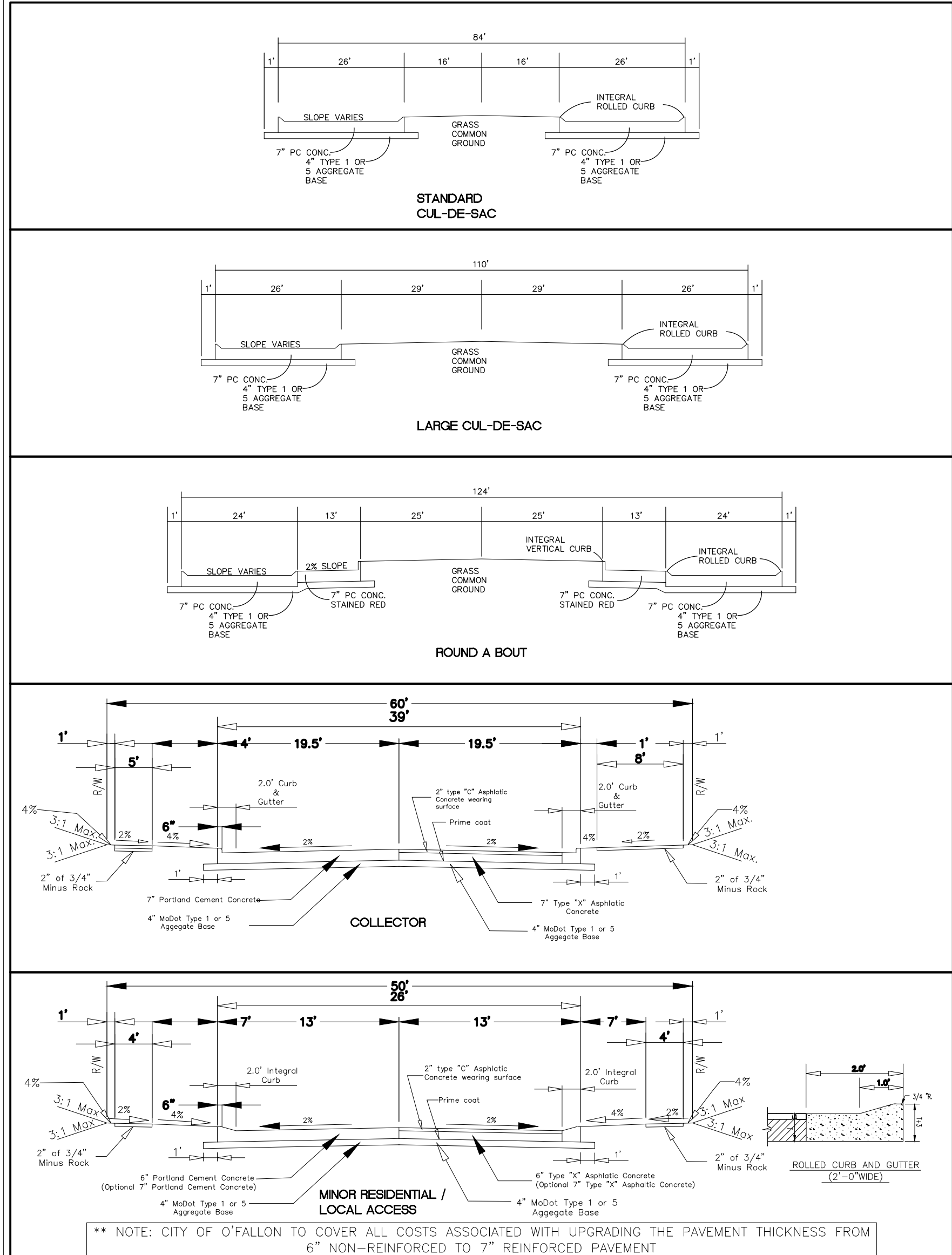


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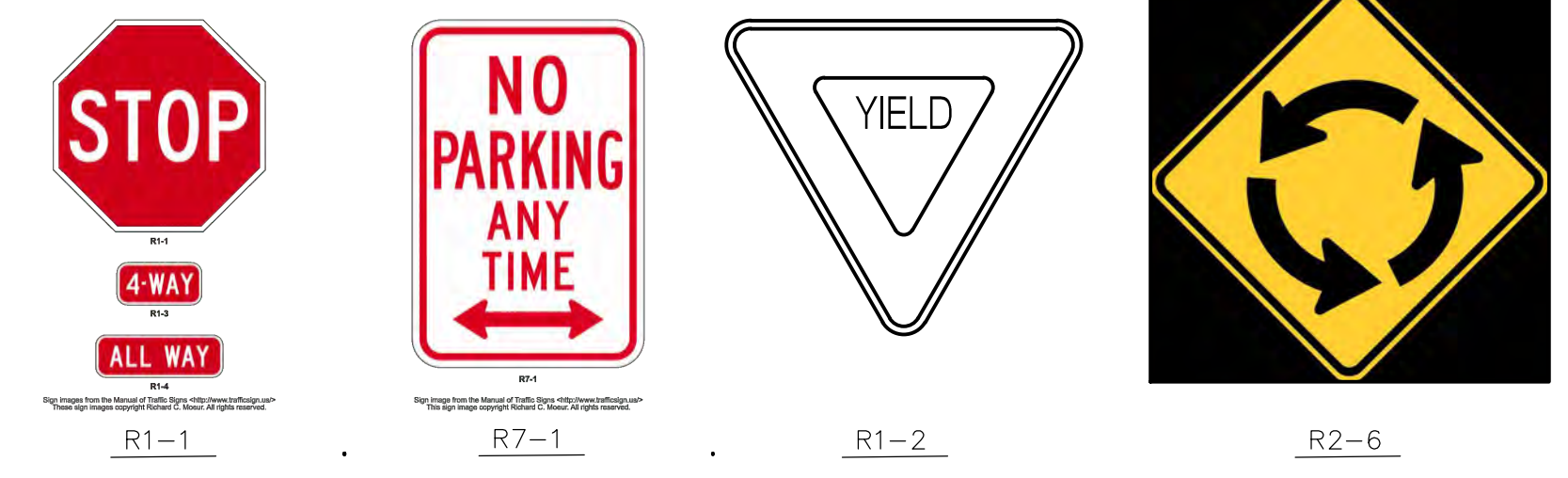
	ROW Width	Pavement Width	Lane Width	No. of Drive Lanes	Utility Easement	Design Speed
Minor Arterial	64	60	12	5	10	40
Collector	60	39	12	3	10	35
Residential Collector	56	32**	N/A	2	10	25
Minor Residential Local Access	50	26	N/A	2	10	25*

Notes: * = Can be varied with City Engineer's approval
 ** = Detail to match minor residential street with wider pavement
 - these requirements may be varied by other City ordinances
 - these standards are minimum standards
 - Parkway options can be provided as indicated above

Designer will provide roadway cross section and joint locations in a separate detail drawing.

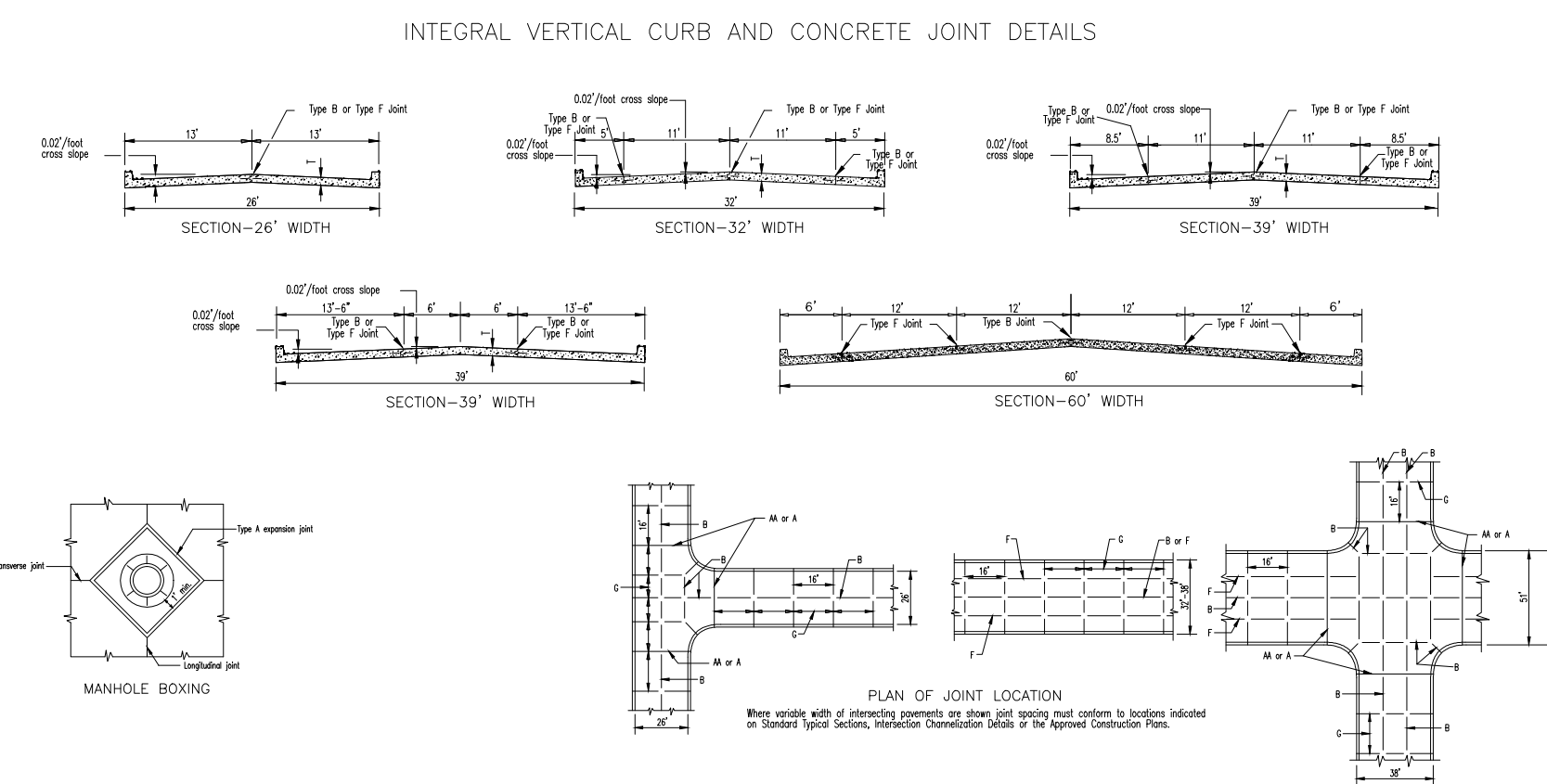
CITY OF O'FALLON
ENGINEERING DEPARTMENT
O'FALLON, MISSOURI

Typical Pavement Design
SECTION NO. 405370



NOTES:
 1. ALL SIGNS SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
 2. ALL SPEED LIMIT SIGNS SHALL BE 25 MPH.
 3. EXACT LOCATION OF SIGN SHALL BE DETERMINED IN THE FIELD.

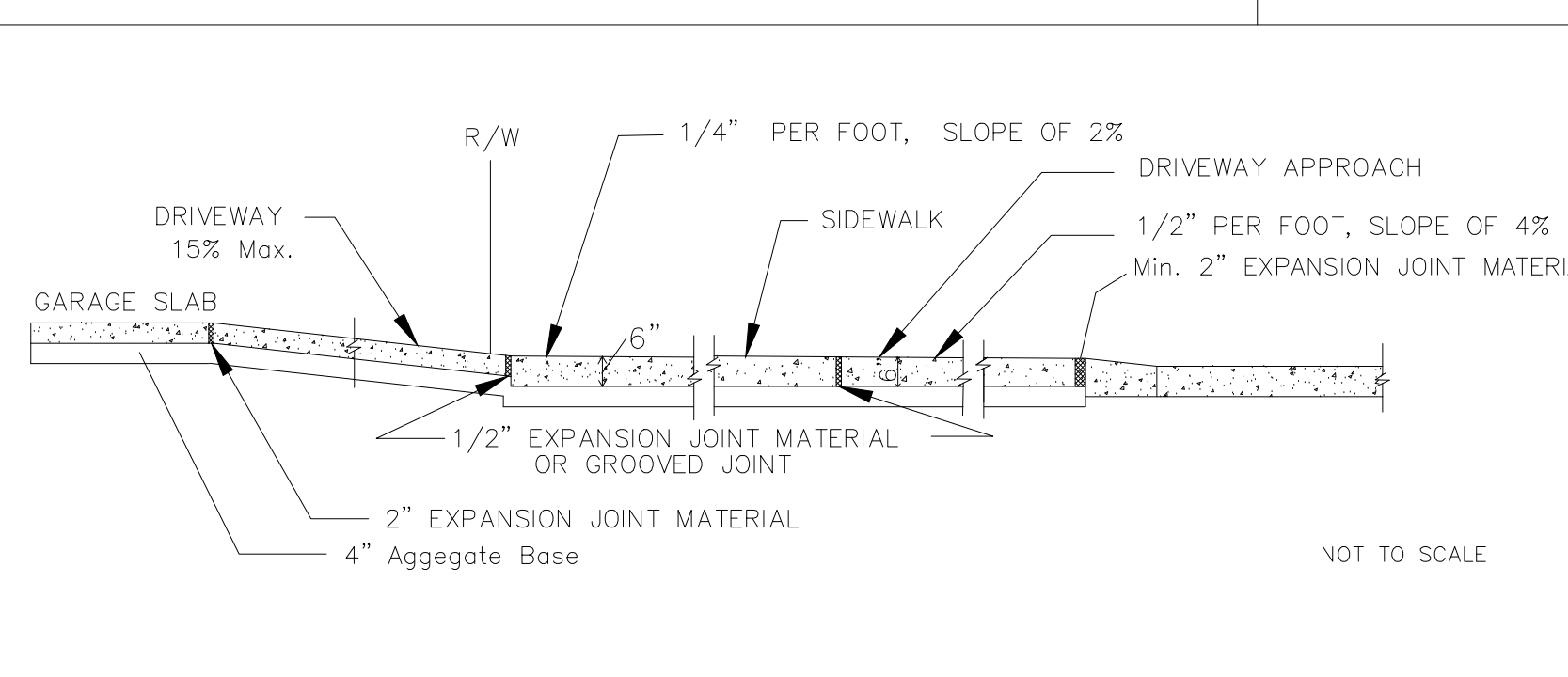
SIGNS (NOT TO SCALE)



GENERAL NOTES:
 1. Do not scale drawing. Follow dimensions.
 2. All street signs shall be supported from the pavement and curb by expansion joint material extending completely through each curb and into the pavement. Reinforcing steel shall be placed in the concrete curb and into the pavement.
 3. When a joint falls within the 10' or 15' concrete curb, expansion joint material shall be placed in the concrete curb and into the pavement.
 4. Expansion joint material shall be placed in the concrete curb and into the pavement.
 5. Construction joint and tie bars may be omitted when curb is poured monolithically with pavement.
 6. Minimum Thickness for Pavement is:
 Residential 3" (Type C)
 At Non-Residential Streets 4" (Type A)
 At Arterial Streets 6"

NOTE:
 Joint filler material shall meet ASTM designations as follows:
 Expansion Joint: ASTM D-1107-07
 Non-Expanding & Resistant Non-Shrinkable Type (Rubber): ASTM D-5249

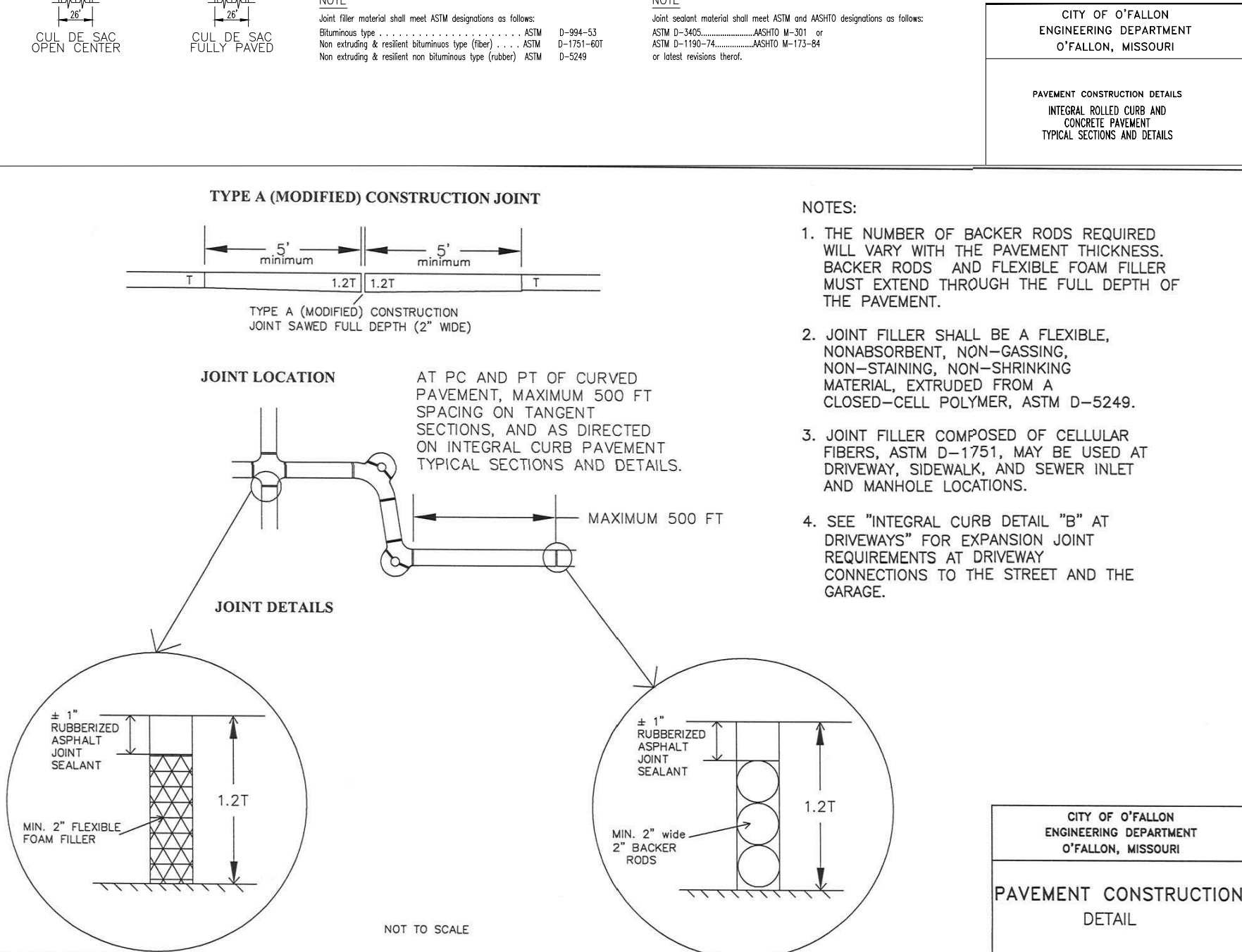
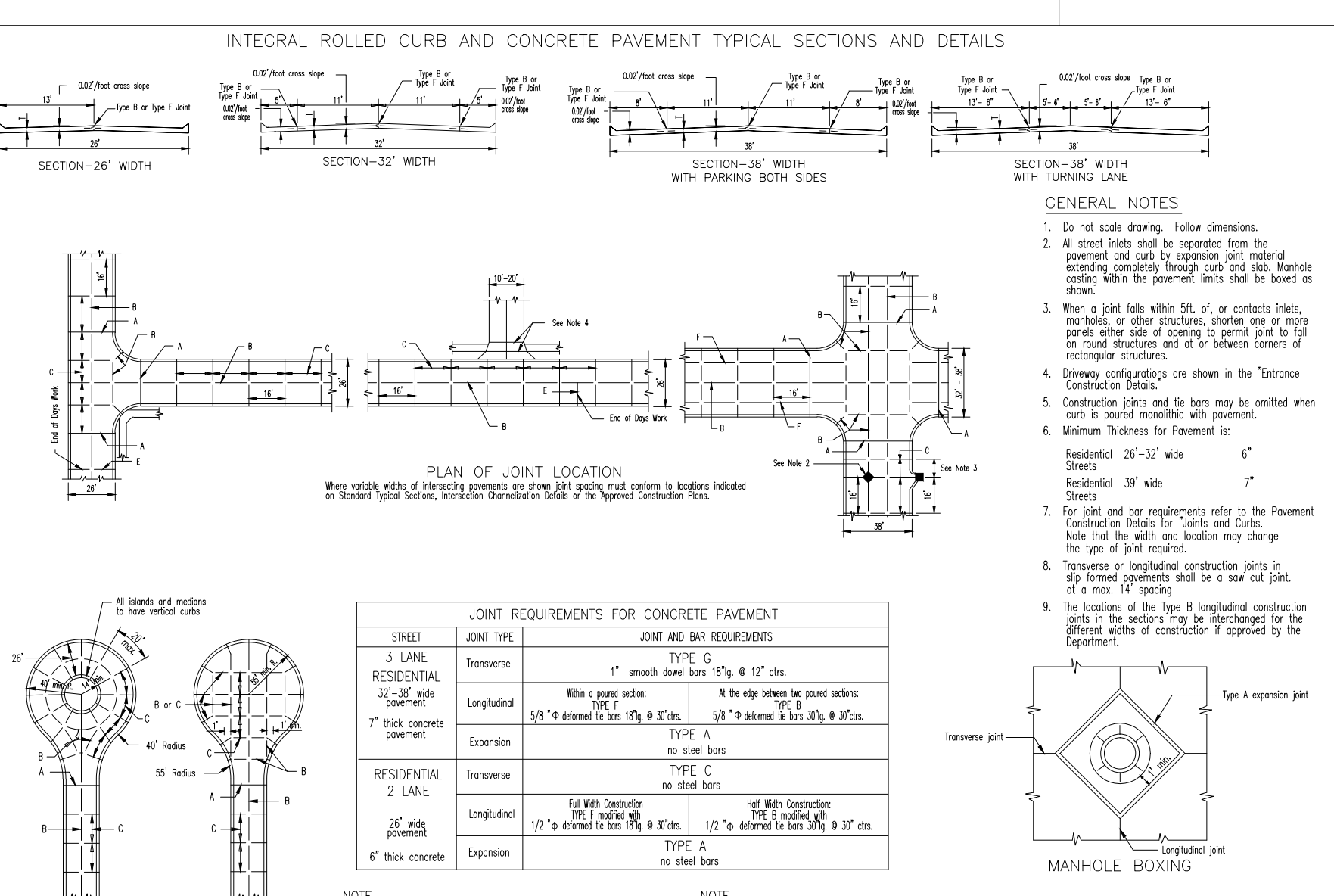
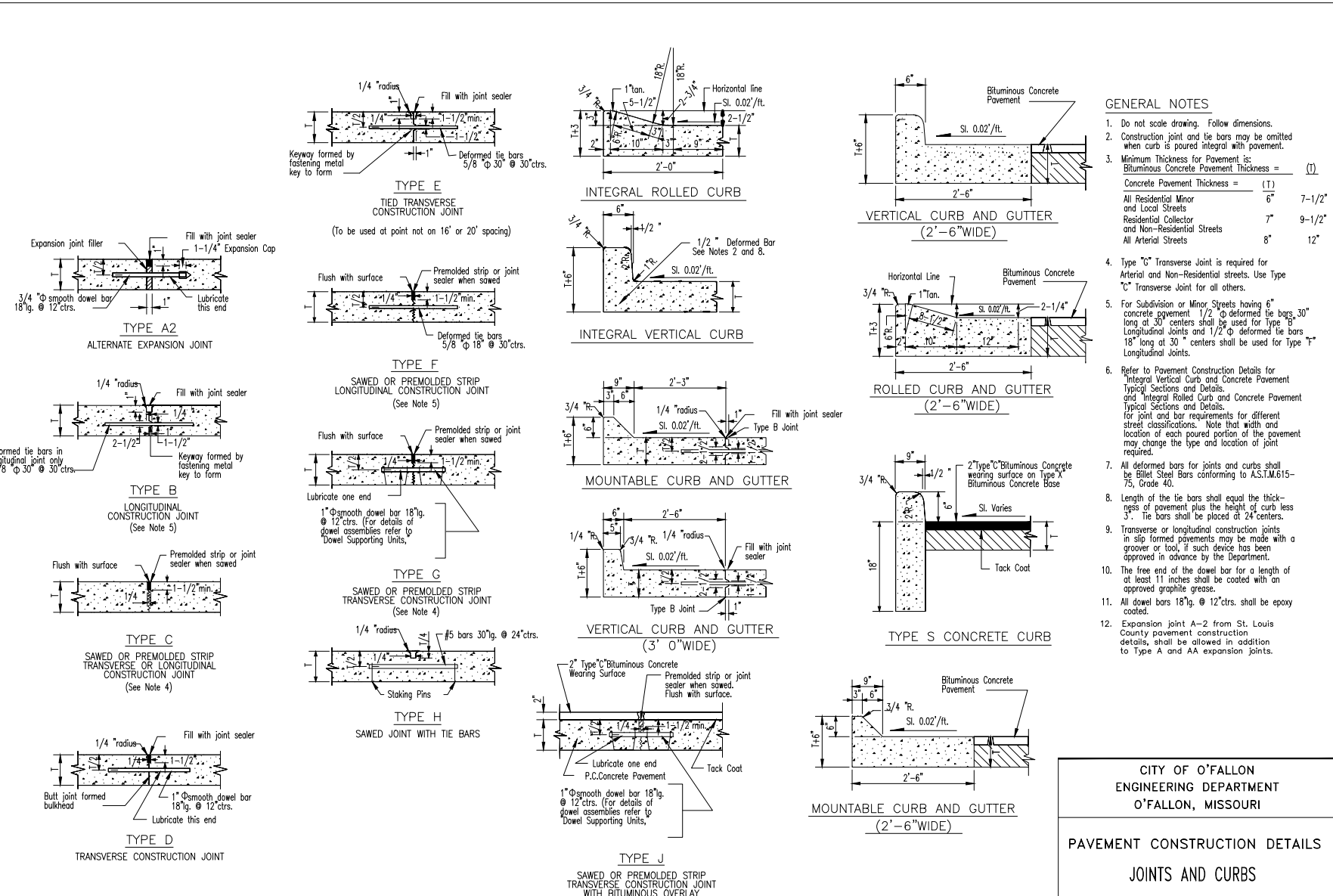
STREET	JOINT TYPE	JOINT AND BAR REQUIREMENTS
All Arterial, Non-Residential	Transverse	TYPE C 1 1/2" smooth down lap 18" @ 12" cts.
26'-51' wide pavement	Longitudinal	TYPE F 1 1/2" smooth down lap 18" @ 12" cts.
7'-6" thick concrete	Expansion	TYPE A or Type A Modified



NOTES:
 1 All driveway entrances shall be six (6) inches P.C.C. in depth from the curb to the property line.
 2 All driveway approaches constructed in conjunction with sidewalk shall give the appearance that the sidewalk is continuous. That portion of the driveway approach that doubles as a sidewalk shall have a one-fourth (1/4) inch per foot cross slope the same as the abutting sidewalk.
 3 A two (2) inch expansion joint is required between the street and driveway approach. One (1) additional two (2) inch expansion joint is required between the garage floor and the termination of the driveway.

CITY OF O'FALLON
ENGINEERING DEPARTMENT
O'FALLON, MISSOURI

Integral Curb Detail
"B" at Driveway
SECTION NO. 505.080



NOTE: ALL NON-REINFORCED CONCRETE SHALL BE 4,000 p.s.i. AT 28 DAYS.

PROJECT TITLE
**IMPROVEMENT PLANS
 THE VILLAGES AT
 MONTRACHET**
 DETAILS

DEVELOPER / OWNER INFORMATION
PICKETT, RAY & SILVER INC.
 CIVIL ENGINEERING, LAND SURVEYING,
 AND NATURAL RESOURCES SERVICES
 St. Peters
 22 Richmond Center Court
 St. Peters, MO 63376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prsinc.com 1-800-708-3918

ENGINEER'S AUTHENTICATION
 THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE, AND DATE HEREON ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS PROVIDED IN THIS PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.
PICKETT, RAY & SILVER, INC. MO. LICENSE #000336
 KARL ANTHONY SCHOENIKE
 PROFESSIONAL ENGINEER
 RE-2003015039
 KARL A. SCHOENIKE, P.E.
 PROFESSIONAL ENGINEER LICENSE 2003015039

DEVELOPER / OWNER INFORMATION
MONTRACHET DEVELOPMENT LLC
 218 Chesterfield Towne Centre
 Chesterfield, Missouri 63005
 Phone: 636-550-6900

P+Z No. 15-15.01
 City No. 15-742-SP
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 DETAILS

CITY OF O'FALLON
ENGINEERING DEPARTMENT
O'FALLON, MISSOURI

DCSD APPROVED 11/30/15 PERMIT NUMBER 2015-2-005 PWS# #2 APPROVED 12/30/15