

	ROW Width	Pavement Width	Lane Width	No. of Drive Lanes	Utility Easement	Design Speed
Minor Arterial	64	60	12	5	10	40
Collector	60	39	12	3	10	35
Residential Collector	56	32**	N/A	2	10	25
Minor Residential Local Access	50	26	N/A	2	10	25*

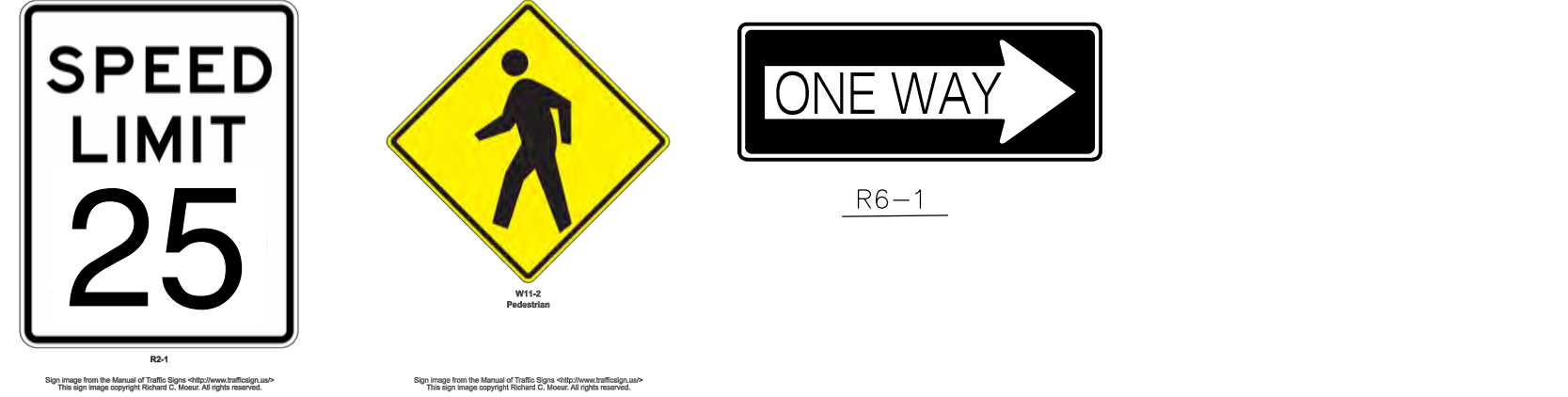
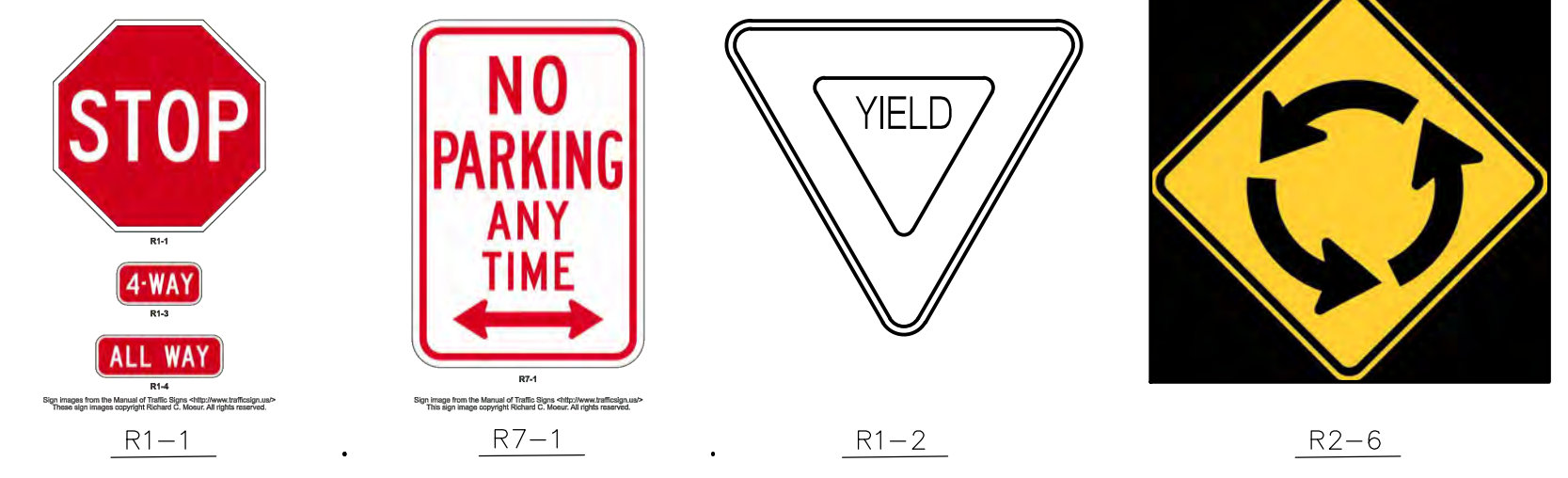
Notes: * = Can be varied with City Engineer's approval
 ** = Detail to match minor residential street with wider pavement
 - these requirements may be varied by other City ordinances
 - these standards are minimum standards
 - Parkway options can be provided as indicated above

** NOTE: CITY OF O'FALLON TO COVER ALL COSTS ASSOCIATED WITH UPGRADING THE PAVEMENT THICKNESS FROM 6" NON-REINFORCED TO 7" REINFORCED PAVEMENT

Designer will provide roadway cross section and joint locations in a separate detail drawing.

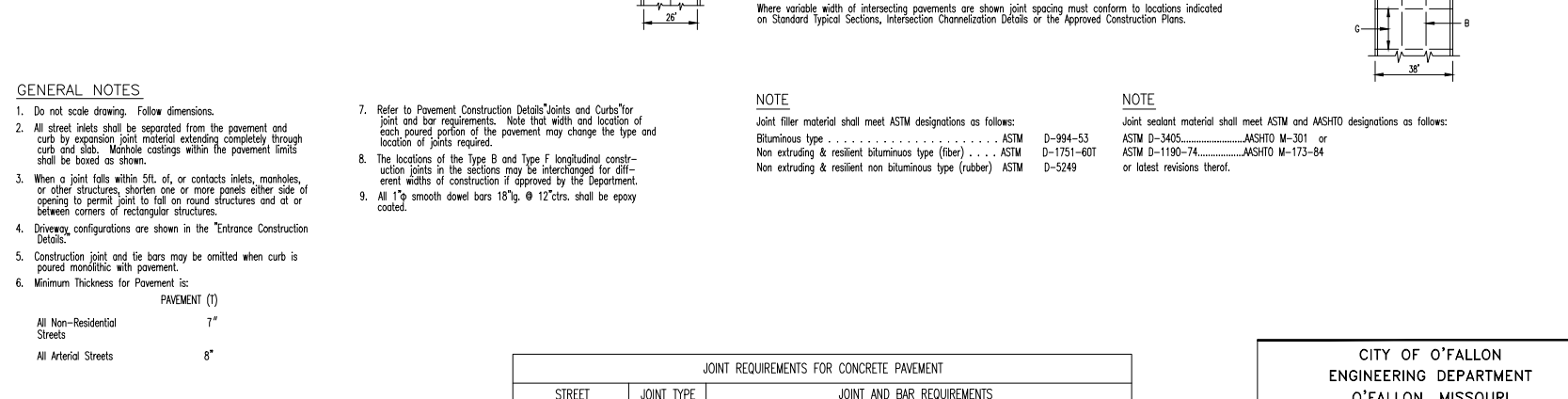
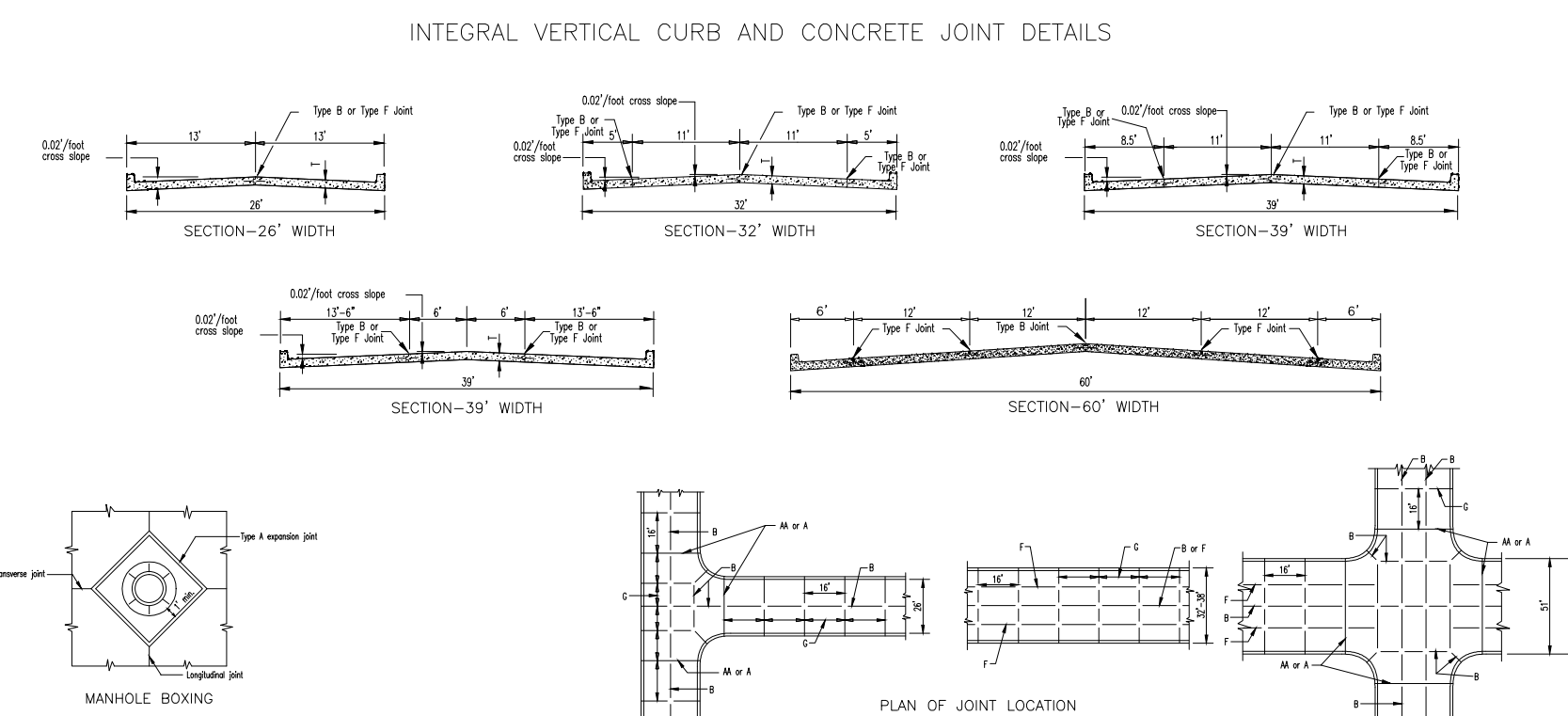
CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

Typical Pavement Design
 SECTION NO. 405370

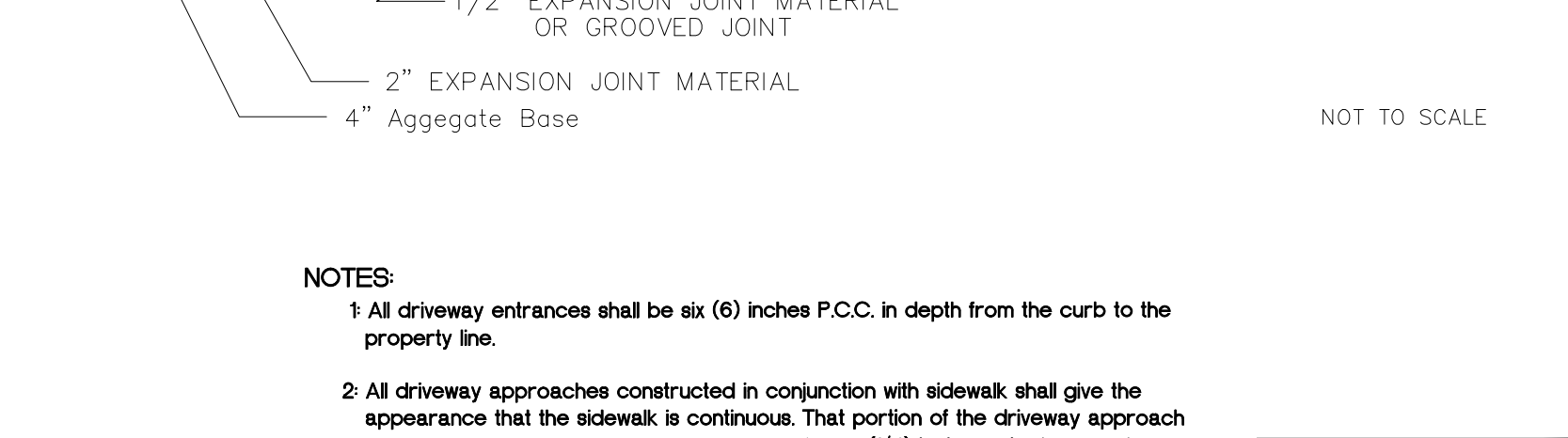
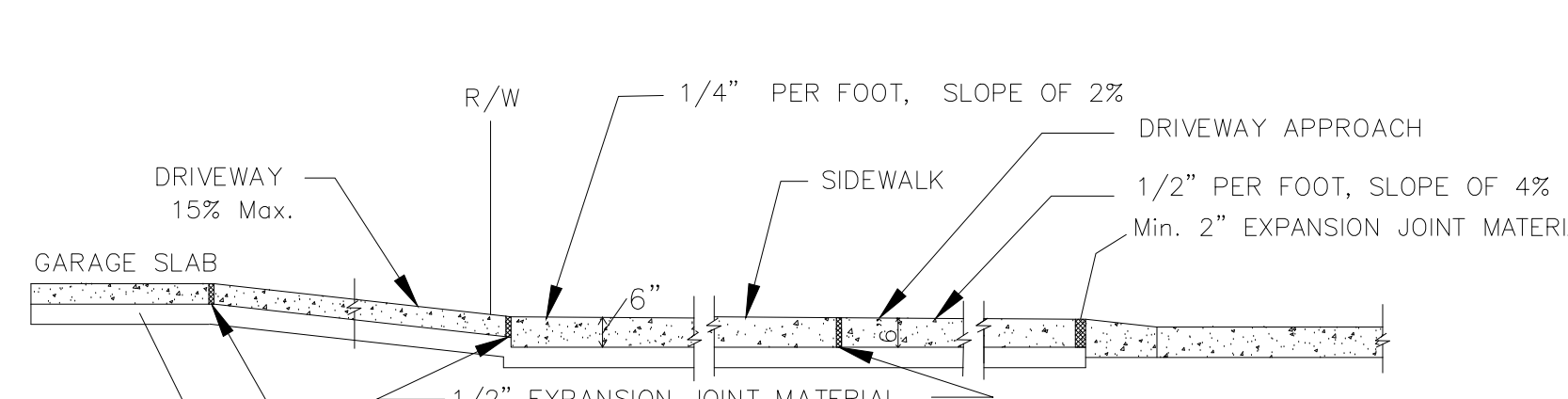


SIGNS (NOT TO SCALE)

NOTES:
 1. ALL SIGNS SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
 2. ALL SPEED LIMIT SIGNS SHALL BE 25 MPH.
 3. EXACT LOCATION OF SIGN SHALL BE DETERMINED IN THE FIELD.



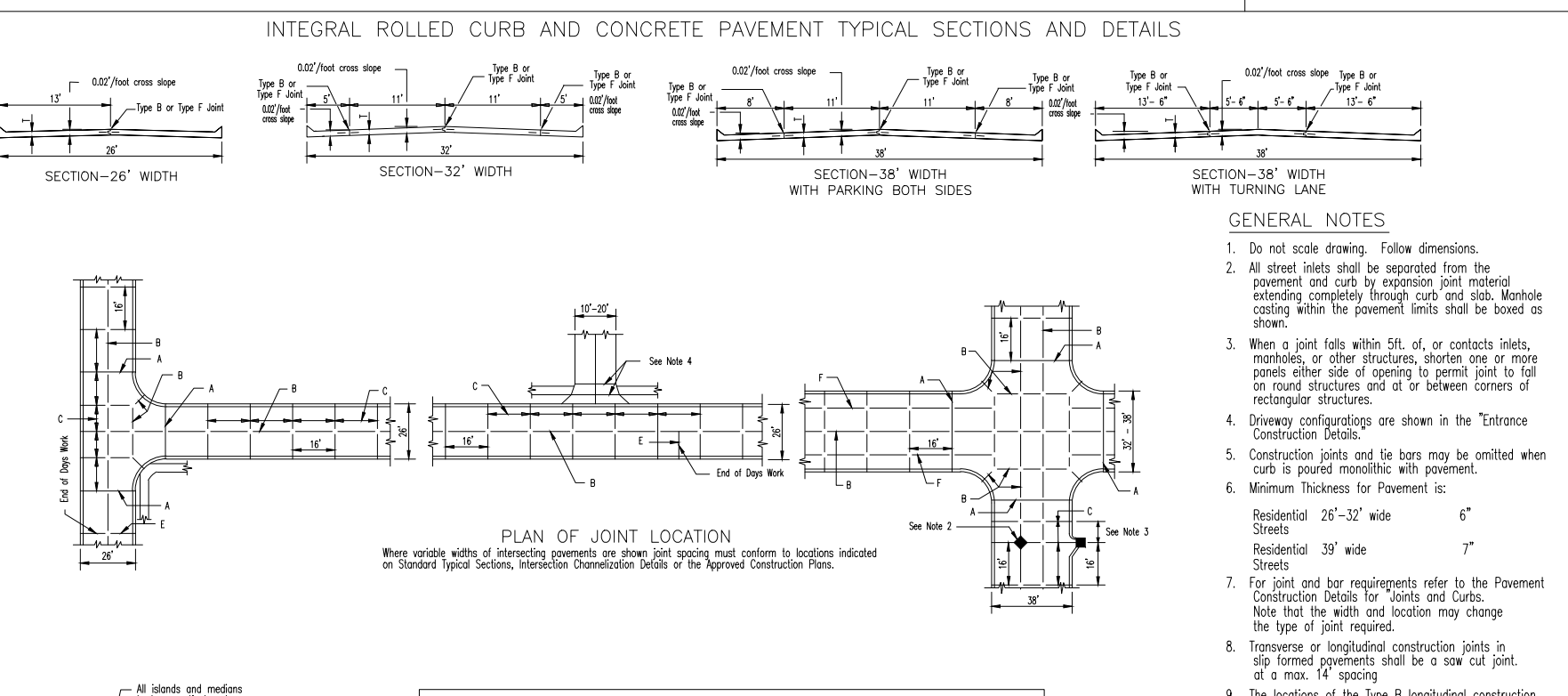
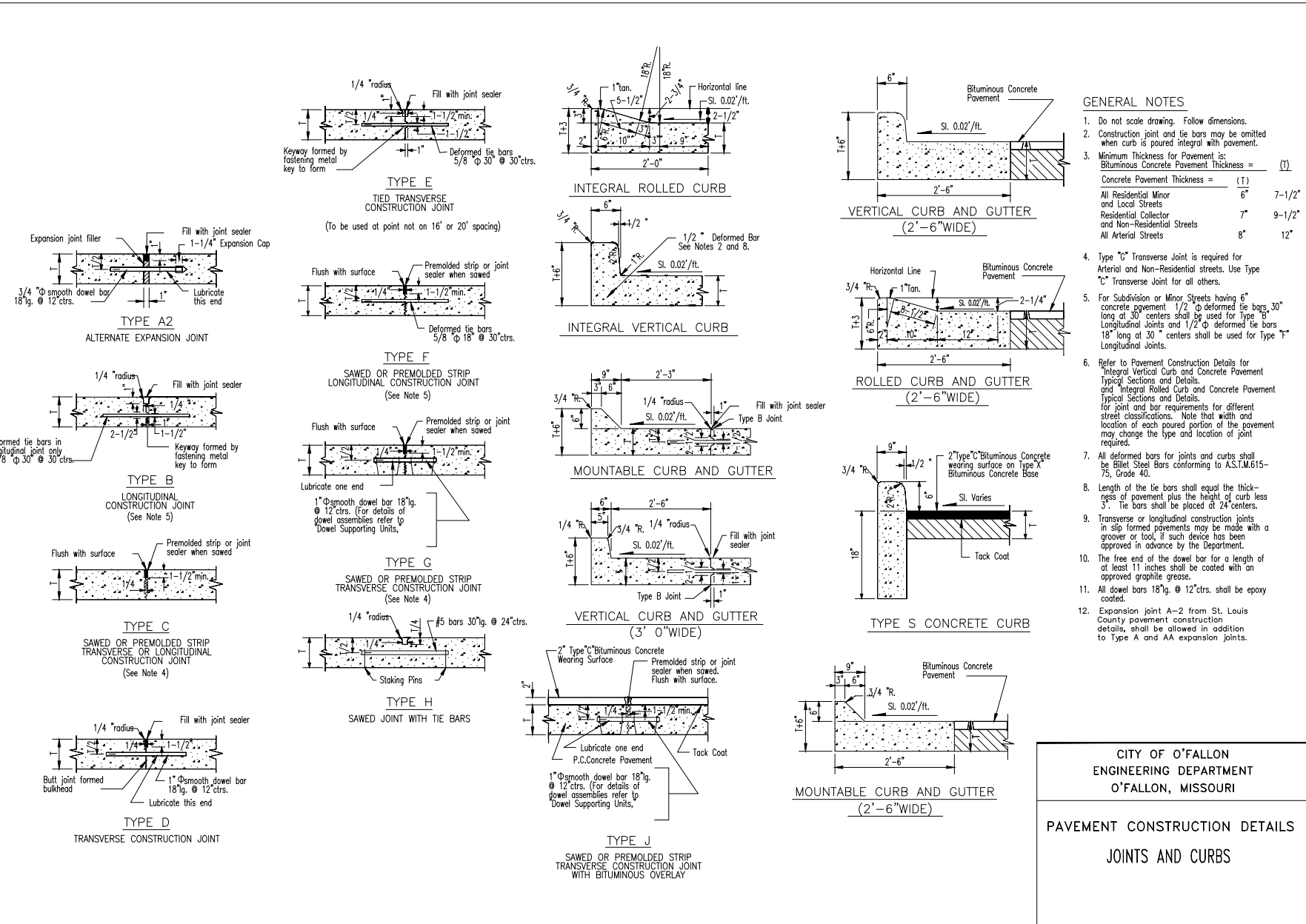
SHEET	JOINT TYPE	JOINT AND BAR REQUIREMENTS
All Arterial, Non-Residential	Transverse	TYPE C 1 1/2" smooth dowel bars 18" @ 12" cts.
26'-51" wide pavement	Longitudinal	TYPE F 5/8" x 12" spaced at 30" @ 30" cts.
7'-6" thick concrete	Expansion	TYPE A or Type A Modified



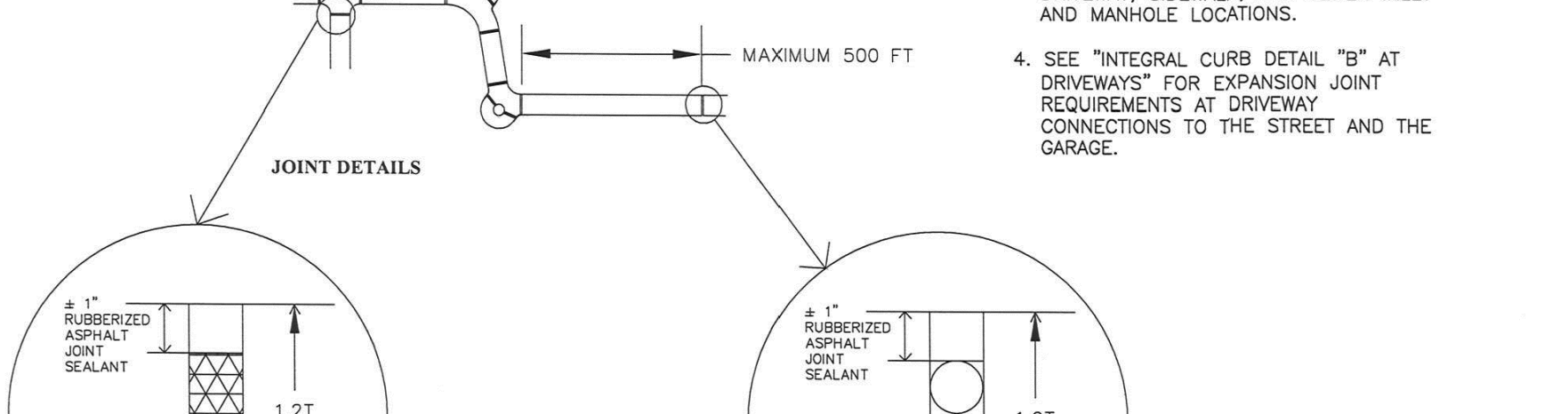
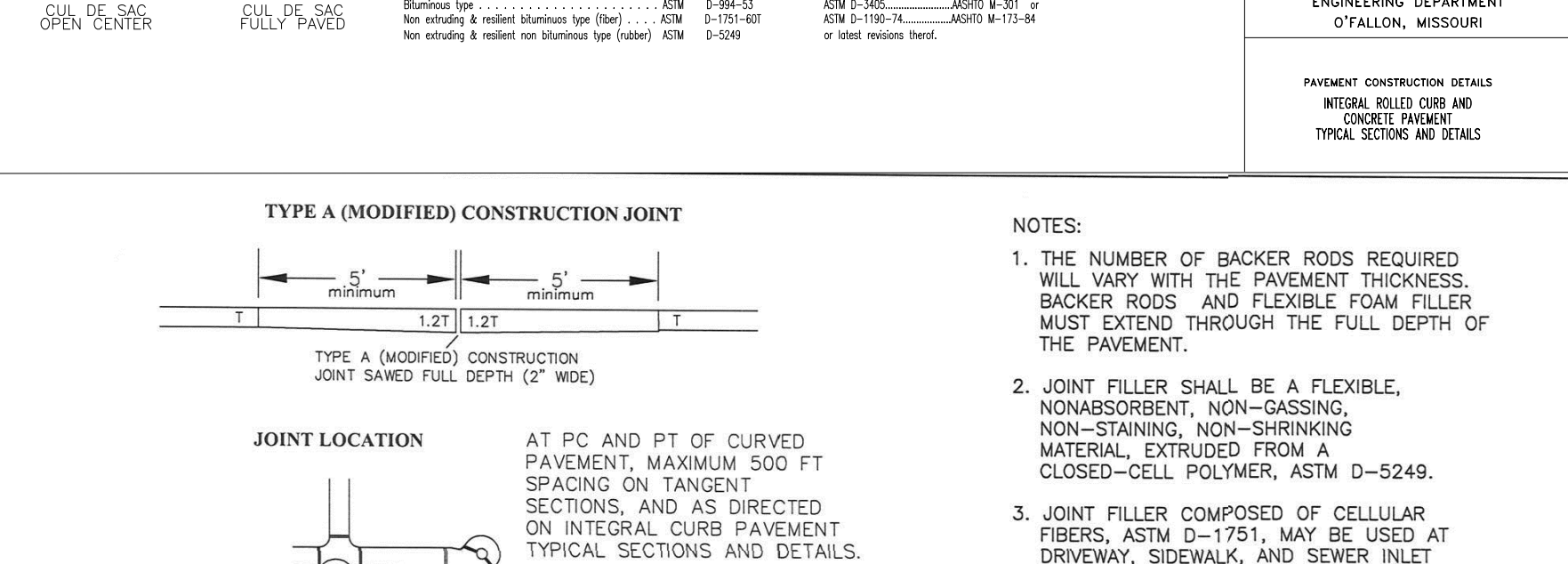
NOTES:
 1 All driveway entrances shall be six (6) inches P.C.C. in depth from the curb to the property line.
 2 All driveway approaches constructed in conjunction with sidewalk shall give the appearance that the sidewalk is continuous. That portion of the driveway approach that doubles as a sidewalk shall have a one-fourth (1/4) inch per foot cross slope the same as the abutting sidewalk.
 3 A two (2) inch expansion joint is required between the street and driveway approach. One (1) additional two (2) inch expansion joint is required between the garage floor and the termination of the driveway.

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

Integral Curb Detail
 SECTION NO. 505.080



STREET	JOINT TYPE	JOINT AND BAR REQUIREMENTS
3 LANE RESIDENTIAL 32'-36" wide	Transverse	TYPE C 1" smooth dowel bars 18" @ 12" cts.
7' thick concrete residential	Expansion	TYPE A no steel bars
2 LANE RESIDENTIAL 26' wide pavement	Longitudinal	TYPE F 5/8" x 12" spaced at 30" @ 30" cts.
6" thick concrete	Expansion	TYPE A no steel bars



NOTES:
 1. THE NUMBER OF BACKER RODS REQUIRED WILL VARY WITH THE PAVEMENT THICKNESS. BACKER RODS AND FLEXIBLE FOAM FILLER MUST EXTEND THROUGH THE FULL DEPTH OF THE PAVEMENT.
 2. JOINT FILLER SHALL BE A FLEXIBLE, NONABSORBENT, NON-GASSING, NON-STAINING, NON-SHRINKING MATERIAL. EXTRUDED FROM A CLOSED-CELL POLYMER, ASTM D-5249.
 3. JOINT FILLER COMPOSED OF CELLULAR FIBERS, ASTM D-1751, MAY BE USED AT DRIVEWAY, SIDEWALK, AND SEWER INLET AND MANHOLE LOCATIONS.
 4. SEE "INTEGRAL CURB DETAIL "B" AT DRIVEWAYS" FOR EXPANSION JOINT REQUIREMENTS AT DRIVEWAY CONNECTIONS TO THE STREET AND THE GARAGE.

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

PAVEMENT CONSTRUCTION DETAIL

PROJECT TITLE
 IMPROVEMENT PLANS
 THE VILLAGES AT
 MONTRACHET (REVISED)

DETAILS

PFS No. 14055MCH00R
 TASK 017 FIELD BOOK 1476

PICKETT, RAY & SILVER INC
 CIVIL ENGINEERING, LAND SURVEYING,
 AND NATURAL RESOURCES SERVICES

22 Richmond Center Court
 St. Peters, MO 63276

Phone (636) 397-1211 Fax (636) 397-1104
 www.prsinc.com 1-800-708-3918

ENGINEERS AUTHORIZATION
 THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS RESERVED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE, AND DATE HEREON ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS PROVIDED IN THIS PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.

PICKETT, RAY & SILVER, INC. MO LICENSE #000336

KARL ANTHONY SCHOENKE
 PROFESSIONAL ENGINEER
 09/28/16

KARL A. SCHOENKE, P.E.
 PROFESSIONAL ENGINEER LICENSE 2003015039

DEVELOPER / OWNER INFORMATION
MONTRACHET DEVELOPMENT LLC
 218 Chesterfield Towne Centre
 Chesterfield, Missouri 63005
 Phone: 636-550-6900

NOTE: ALL NON-REINFORCED CONCRETE SHALL BE 4,000 p.s.i. AT 28 DAYS.

P+Z No. 15-15.01

City No. 15-742-SP

Page No. 51 of 63

DETAILS

CITY OF O'FALLON Standard Subdivision Notes and Details - June 2010