

SWPPP

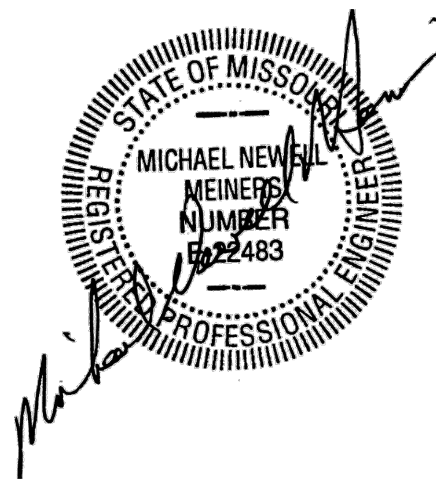
(Storm Water Pollution Prevention Plan)

THE VILLAGES AT MONTRACHET WEST COMMERCIAL S OUTER RD 364 & MONTRACHET DR O'FALLON, MO 63368

October 3, 2024

THE VILLAGES AT MONTRACHET
WEST COMMERCIAL
S OUTER RD 364 & MONTRACHET DR
O'FALLON, MO 63368

Reference Numbers:
SCES: 2024020



Prepared by:
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These documents, along with the plan sheets compose the Storm Water Pollution Prevention Plan (SWPPP). Items not specifically mentioned in this plan are to be completed as required in the NPDES permit.

Facility Name: The Villages at Montrachet West Commercial

Facility Address: S Outer Rd 364 & Montrachet Dr
O'Fallon, MO 63368

Developer Name and Address: Cissell Mueller Company, LLC
5530 Salt River Rd
St. Peters, MO 63376

Developer Contact: Dan Bargin
Phone: 636-399-8555
Email: dan.bargin@builtbycm.com

SITE DESCRIPTION

The project is located in The City of O'Fallon, St. Charles County, Missouri. The site is bounded by S Outer Road to the North, Montrachet Dr to the East, The Villages at Montrachet Subdivision to the South, Twin Chimneys Lee Ridge Village Subdivision to the West. The project is approximately 5.16 acres with 4.79 acres being disturbed.

WATERSHED CHARACTERISTICS

The existing runoff coefficient for this site would fall in the range 0.1-0.3 for undeveloped ground. The runoff coefficient for the development area would be increased to a range of 0.7-0.9 for commercial areas.

The runoff from this development exits the property to both the Southwest and Southeast corners of the property. Water exists to the southeast into the storm sewer system along Montrachet Dr. Water exits to the southwest into the storm sewer system that runs along the western property line. All water is eventually discharged into the Dardenne Creek.

SITE CHARACTERISTICS

The existing site has been found to contain no evidence of underground geological features such as sinkholes, springs, seeps, or other karst features.

There is also no evidence of endangered species or historic properties present on or near the site.

PERMITS

Locate and obtain all state and county land disturbance permits.

The site does not require 404/401 permits.

SEQUENCE OF ACTIVITIES

Construction sequence will generally be as follows:

1. Installation of 1 construction entrance; Temporary
2. Clearing and grubbing for those areas necessary for installation of perimeter control
3. Installation of perimeter control per plans; Temporary
4. Installation of sediment basins and traps per plans;
5. Remaining clearing and grubbing;
6. Site grading;
7. Utility installation;
8. Installation of BMPs to protect any storm drains installed; Temporary
9. Final seeding and stabilization.
10. All temporary BMP's may be removed once all construction is complete and final seeding and stabilization are established.

Changes to the sequence of construction operations may be modified by the person conducting the land disturbing activity or their representative and do not constitute a violation unless measures to control storm water runoff and sediment are not utilized.

EROSION & SEDIMENT CONTROLS

Silt fence, mulch rows, straw bale ditch checks and other measures either shown on the plan sheets or designated in the specifications shall be installed and maintained to the manufacturer's specifications.

All slopes should be roughened perpendicular to the slope with mechanical equipment.

Upon completion of storm sewer systems, if any, all inlets shall be protected with block and gravel, fabric drop, sod filter, or straw bales. All storm sewer outlets shall be protected with heavy stone revetment an adequate distance to reduce the peak runoff to a velocity that is non-erosive.

The above described BMPs are guidelines. If upon inspection and maintenance it is obvious that additional or alternative solutions are needed, the contractor shall do as necessary all work to comply with the NPDES permit.

TEMPORARY STABILIZATION

Top soil stock piles and disturbed portions of the site where construction activity temporarily ceases for at least 14 days will be stabilized with temporary seed and mulch. Temporary seeding shall be applied at the rates and times specified below.

If the slope is greater than 3:1 (3 feet horizontal to 1 foot vertical) or if the slope is greater than 3% and greater than 150 ft in length, temporary stabilization must be installed within 7 days of ceasing operations.

Allowances to the 7-day completion period may be made due to weather or equipment malfunctions.

Temporary Fall Seeding

Plant Species	Rate ¹ (lb/acre)	Seeding Times
Side-Oats	65	8/16-9/30
Winter Rye	50	8/01-10/15
Winter Wheat	60	8/01-10/15
Orchard Grass	120	8/01-10/15
Perennial Ryegrass	80	8/01-10/15
Tall Fescue, Smooth Brome	80	8/01-10/15
K-31 Fescue	120	9/01-11/15
Ladino Clover	2 ²	8/15-9/15
Crimson Clover	6 ²	8/15-9/15
Orchard Grass and Oats or Rye	15 ² 40 ²	8/15-9/15

¹If using arial or other broadcast method to apply seed without rolling or culti-packing, increase seeding rates by 50 percent.

²Pure Live Seed (PLS)

Temporary Spring Seeding

Plant Species	Rate (lb/acre)	Seeding Dates
Winter Rye	50	3/15-5/31
Spring Oats	65	3/15-5/31
Annual Ryegrass	4 ²	3/15-6/15
Sudangrass	16 ²	4/15-6/15
K-31 Fescue	30 ²	3/15-5/31
Red Clover	2 ²	3/15-5/31
& Oats	30 ²	

¹If using arial or other broadcast method to apply seed without rolling or culti-packing, increase seeding rates by 50 percent.

²Pure Live Seed (PLS)

PERMANENT STABILIZATION

Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed no later than 7 days after the last construction activity. Allowances to the 7-day completion period may be made due to weather or equipment malfunctions. Seeding and mulching are to follow the specifications listed on the plan sheets.

DUST CONTROL

In the event of dry conditions dust will be managed through a combination of mulching, for long term effective dust control, and/or the use of a water truck equipped with a sprayer for high traffic areas.

MAINTENANCE & INSPECTION

All control measures shall be inspected weekly and within twenty-four (24) hours after any storm event of one-half of one inch of rain.

Any necessary repairs shall be made within twenty-four (24) hours of the inspection report.

A maintenance report shall be completed after each repair.

The inspection and maintenance reports shall be safely stored and accessible for three (3) years after final completion of the project.

Silt fence should be inspected to the depth of sediment, tears, and to see if the fabric is attached securely to the posts. Built-up sediment should be removed from the silt fence when it has reached one-third (1/3) of the height of the fence.

Seeding shall be inspected for bar spots, washouts, and health growth.

Refer to O & M Manual for complete and in depth maintenance instructions.

CONSTRUCTION ENTRANCE & STABILATION

A gravel area adjacent to the existing highway/street shall be installed and used for construction entrance and storage. This area shall be maintained to reduce the tracking of sediments from the site.

Parking on non-surface areas shall be prohibited to eliminate the condition whereby mud from construction and employee vehicles is tracked onto pavement causing hazardous roadway and driving conditions. A parking and wash-down area has been designed on the plans. The parking and wash-down area shall be installed prior to construction or as soon as practical. The contractor shall keep roads clear of mud and debris at all times.

SPILL PREVENTION

The contractor is expected to follow accepted practices in limiting the risk of spills. An effort should be made to store only enough products required to complete the job. Materials stored onsite will be stored in a neat, orderly manner in appropriate containers. When possible, all of the product shall be used before disposing of the container. The contractor to follow the manufacturer's recommended methods for use, disposal, and spill clean up. Any spills shall be cleaned-up immediately after discovery.

In the event of any loss of sediment or pollutants. All loss will be documented and reported to the special inspector. The area of BMP failure will then be repaired and reinforced to ensure there will be no future failure.

RUNOFF CONTAMINATION

To limit the risk of runoff contamination. There are to be no industrial activities located onsite. Including but not limited to concrete batch plant, asphalt batch plant, etc.

The developer will also be responsible for ensuring that all non-storm water discharges, will be diverted through a BMP filter before it is allowed to flow off-site. Potential sources of non-storm water discharges are the designated wash down area, as well as other washing of equipment and materials.

INDUSTRIAL ACTIVITIES

To limit the risk of runoff contamination. There are to be no industrial activities located onsite. Including but not limited to concrete batch plant, asphalt batch plant, etc.

DEVELOPER'S CERTIFICATION

I certify under penalty of law that this Storm Water Pollution Prevention Plan (SWPPP) has been prepared in accordance with the requirements and regulations of St. Charles County and the Missouri Department of Natural Resources. To the best of my knowledge and belief, the information contained in this plan is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for known violations.

Signed: _____ Date: _____

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

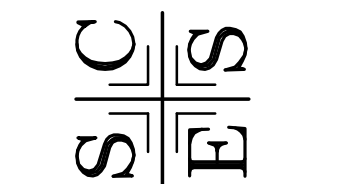
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MISSOURI ONE-CALL SYSTEM, INC.



ENGINEER'S AUTHENTICATION
THE RESPONSIBILITY FOR THE PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE AND DATE HEREUNDER ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS INVOLVED IN THE PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.

IMPROVEMENT PLAN
THE VILLAGES AT MONTRACHET
WEST COMMERCIAL
SWPPP DOCUMENT

ST. CHARLES ENGINEERING & SURVEYING, INC.
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ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATE OF AUTHORITY - 001647 & 000379



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DATE
08/25/2025

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