

A SET OF CONSTRUCTION PLANS FOR THE VILLAS AT KEATON WOODS

THREE TRACTS OF LAND BEING PART OF
 LOT 1 AND LOT 2 OF "THE OLD DARDENNE TRACT" AND ALL OF ADJUSTED PARCEL 1 OF
 "KEATON CORPORATE PARK PLAT 3 BOUNDARY ADJUSTMENT PART OF LOT 6 ADJUSTED"
 PLAT BOOK 48, PAGES 102-103
 WITHIN U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 3 EAST
 OF THE FIFTH PRINCIPAL MERIDIAN,
 CITY OF O'FALLON,
 ST. CHARLES COUNTY, MISSOURI

DEVELOPMENT NOTES

- Existing Zoning: R-2, Two Family Residential (City of O'Fallon)
- Proposed Uses: Attached and Detached Villas
- Number of Lots Proposed: 66 Lots (50 units detached, 16 units attached)
 Board of Adjustment Variance BA-V-15-14 allow 80% of units to be detached.
- Property Owners:
 Faith Chapel Assembly of God, Inc.
 6747 Keats Road
 O'Fallon, MO 63368
 Mary Beth Rowles Revocable Living Trust
 13100 Manchester Road, Suite 65
 St. Louis, MO 63161
- Per Flood Insurance Rate Map Panel Number 29183C0430G Dated January 20, 2016. This site is partially Zoned X, described as areas outside the 500-year floodplain and partially Zoned AE, described as areas with Base flood elevations determined.
- All streets are to be public and constructed per St. Charles County specifications except as modified by City of O'Fallon.
- Topographic information is per aerial topography by Surdex Corporation on U.S.G.S. Datum.
- Boundary information is per survey as compiled by Box Engineering during June, 2016.
- One tree shall be planted for every lot. Two trees for corner lots. Tree placement shall be per Section 402 of the City Code.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- The developer shall comply with current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23 of the City of O'Fallon Zoning Ordinances.
- Additional lighting may be required by the City of O'Fallon.
- Detention for this development to be provided by the basin within the common ground area. Detention requirements shall be for the 100year/20 minute storm and shall be provided with the initial phase of the development.
- All existing creeks, streams, and drainage swales will have an associated storm water easement that will be provided on the Record Plat.
- All new utilities will be located underground.
- A ten (10) foot wide general utility easement is required along all public right-of-ways.
- Street trees requirements:
 1 Tree per lot, 2 Trees per corner lot
 67 Lots = 67 Trees
 3 Corner Lots = 3 Trees
 Total Trees Required = 70
 Total Trees Provided = 70
- Density Calculations:
 Total Site = 23.23 Acres
 Right-of-way = 3.08 Acres
 Common Ground = 6.63 Acres
 Lots = 13.52 Acres
- Minimum low floor elevation for any unit will be 509.0 and flood elevation is 495.0.
- Sanitary sewers closer than 10 feet to the pavement edge or the pavement is within the 1:1 shear plane of the trench will require granular backfill within the trench.
- All retaining walls will have 15 foot easement at base and an easement to cover backfill area for maintenance.
- Retaining wall within right-of-way will require City Engineer approval prior to construction.
- Lots/homes will be served by public water system approved by P.W.S.D. No. 2.
- Public Water Supply District #2 requires 1 week notice before construction begins.
- All water mains, valves, fittings, hydrants, and related items are to be installed in accordance with the current P.W.S.D. No. 2 of St. Charles County Guidelines and Specifications as approved by MS&NR Review No. 6050B05-13.
- Street lights will be private, controlled and maintained by the Home Owners Association.

Utility Contacts

Sanitary Sewers
 Duckett Creek Sanitary District
 3550 Highway K
 O'Fallon, MO. 63368
 636-441-1244

Water

Public Water Supply District No. 2
 P.O. Box 967
 O'Fallon, MO. 63366
 636-561-3737 Ext. 131

Storm Sewer

City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 636-281-2858

Electric

Ameren UE
 200 Callahan Road
 Wentzville, MO. 63385
 636-831-8312

Gas

Laclede Gas Company
 6400 Graham Road
 St. Louis, MO. 63134
 314-522-2297

Telephone

Telephone
 AT&T
 402 North Third Street
 St. Charles, MO 63301

Fire District

Cottleville Fire Protection District
 1385 Motherhood Rd.
 St. Charles, MO. 63304
 636-447-6655

Cable TV

Charter Communications
 941 Charter Commons
 Town & Country, MO 63017
 1-888-438-2427

School District

Francis Howell School District
 4545 Central School Road
 St. Charles, MO 63304
 636-851-4000

PROJECT TITLE:

THE VILLAS AT
 KEATON WOODS

Box Project # 15-16469 Issue Date: 03/25/2016

ENGINEERING
 PLANNING
 SURVEYING



DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or projects.

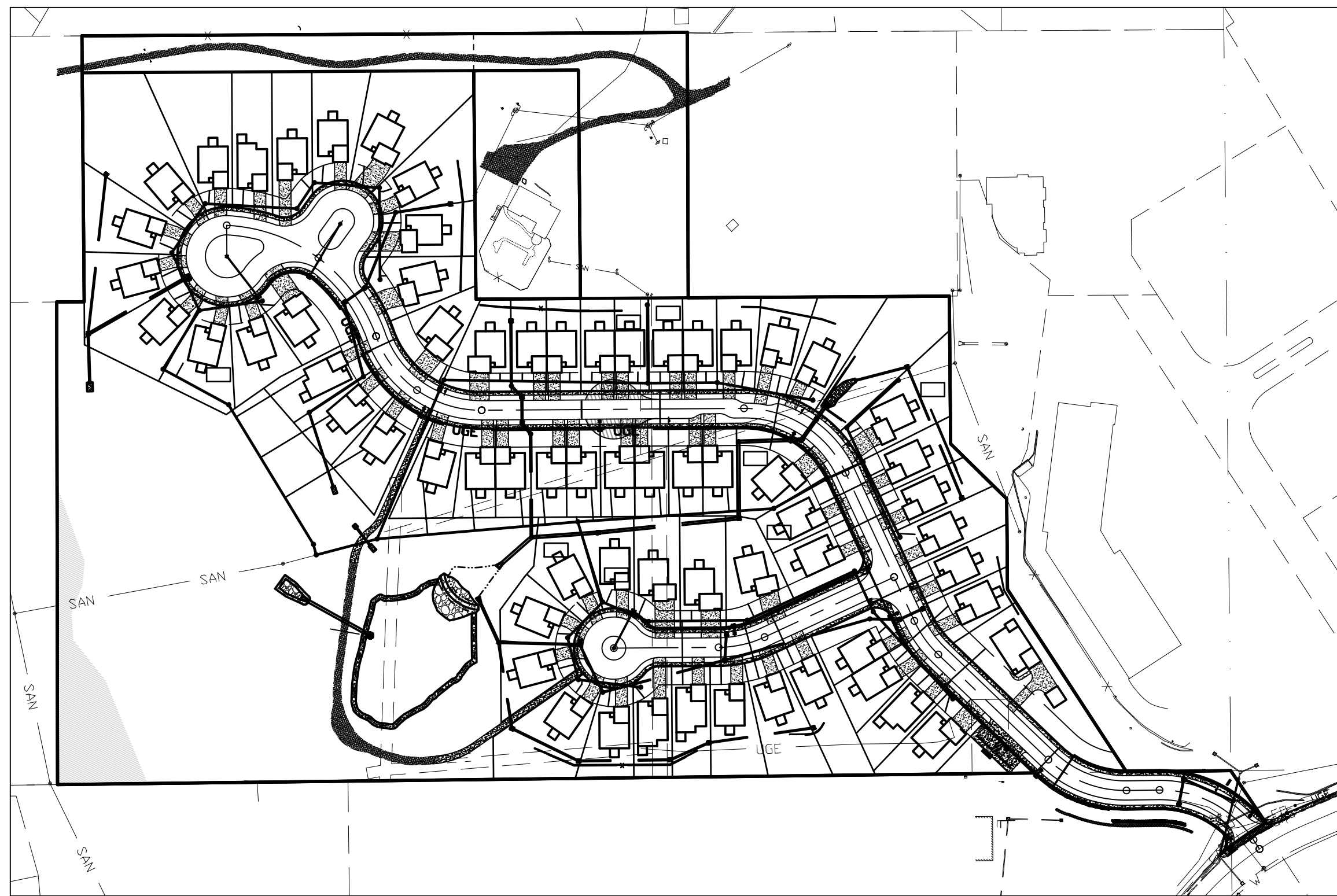


Clifford L. Heitmann
 Civil Engineer
 E29817

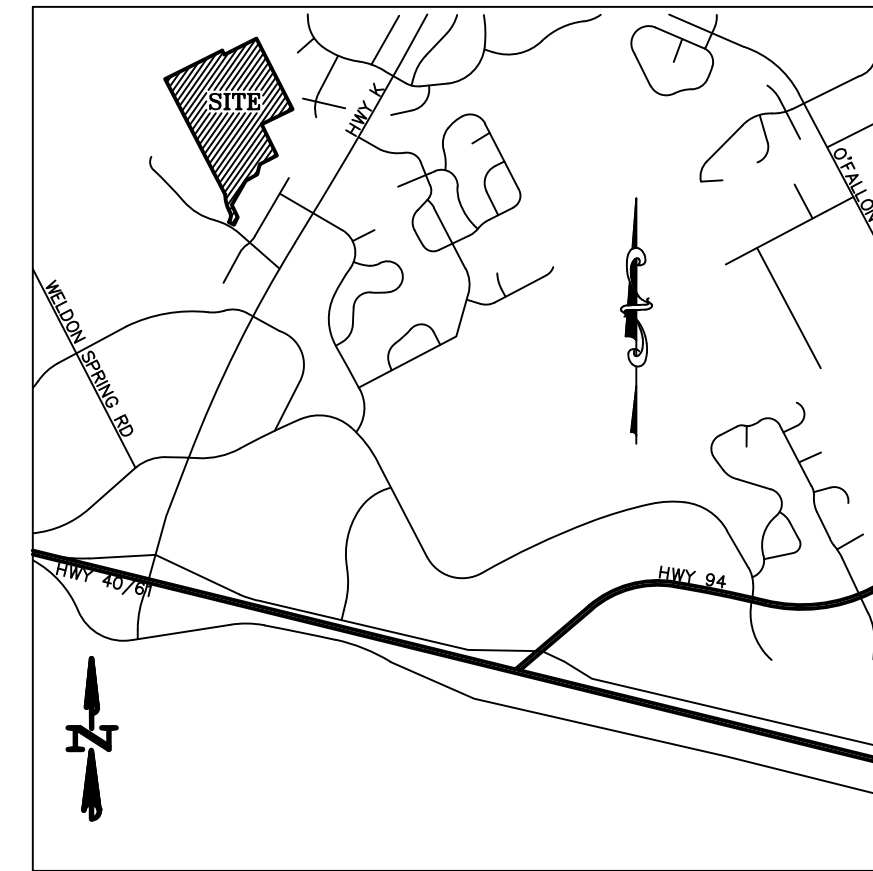
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 Engineering Authority No. 000655
 Surveying Authority No. 000144
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REVISIONS

DATE	CITY COMMENTS
02/20/17	CITY COMMENTS
03/17/17	CITY COMMENTS
09/20/18	CITY COMMENTS
11/06/18	CITY COMMENTS
12/14/18	CITY COMMENTS
12/28/18	CITY COMMENTS
06/11/21	CLIENT COMMENTS
03/01/22	CITY COMMENTS



Plan View



Locator Map

Drawing Index

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- WARPINGS AND INTERSECTION DETAILS
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- PRE-DEVELOPED DRAINAGE AREA MAP
- POST-DEVELOPED DRAINAGE AREA MAP
- DETAILS

Benchmarks Project

BENCHMARK:
 REFERENCE BENCHMARK F-149 PIDJ02647 - ELEVATION 542.80 (DATUM NAVD83)
 DESCRIBED IN 2003 BY NGS AS BEING LOCATED IN THE CITY OF O'FALLON, MO.
 APPROXIMATELY 12 MILES WEST OF THE CITY OF SAINT CHARLES AND 7.5 MI EAST OF
 WENTZVILLE AND IN FRONT OF THE CITY OF O'FALLON MUNICIPAL CENTER, TO REACH THE
 STATION FROM THE INTERSECTION OF THE I-70 BRIDGE OVER CR-KSR-M (MAIN STREET), GO
 NORTH 0.6 MI ON MAIN STREET TO THE STATION ON THE RIGHT AT THE SOUTHEAST CORNER
 OF THE ENTRANCE TO THE CITY OF O'FALLON MUNICIPAL BUILDING. THE STATION IS A
 STANDARD CGS DISK STAMPED-F 149 1935-AND SET IN A 4-INCH SQUARE CONCRETE
 MONUMENT PROJECTING 3 INCHES ABOVE THE GROUND. THE STATION IS 78.4 FEET SOUTH OF
 THE BRICK CITY OF O'FALLON MUNICIPAL BUILDING ENTRANCE SIGN, 61.2 FEET SOUTHWEST
 OF A STOP SIGN, 45.0 FEET NORTH OF THE NORTH RAIL OF THE NORFOLK AND SOUTHERN
 RAILROAD TRACKS, 28.6 FEET SOUTHWEST OF A LIGHT STANDARD, AND 25.7 FEET NORTHEAST
 OF A LIGHT STANDARD.

Site

BENCHMARK:
 SANITARY MANHOLE - ELEVATION 538.86
 LOCATED NEAR THE SOUTHERN CORNER OF THE SUBJECT PROPERTY, APPROXIMATELY 14
 FEET NORTHEAST OF A CURB INLET, 27 FEET SOUTHWEST OF AN ELECTRIC TRANSFORMER,
 AND 26 FEET WEST OF A CABLE TV BOX.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:	
PERMANENT:	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.
TEMPORARY:	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Brome	March 1 to June 1
Wheat or Rye	August 1 to October 1
Oats	March 15 to November 1
MULCH RATES:	
	100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

Legend

600.00	EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	EXIST. AREA INLET
CI	SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	PROPOSED AREA INLET
AI	AREA INLET	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI	GRATE INLET	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	PROPOSED MANHOLE
MH	MANHOLE	POWER POLE
FE	FLARED END SECTION	GUY WIRE
EP	END PIPE	LIGHT STANDARD
CP	CONCRETE PIPE	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	WATER METER
CMP	CORRUGATED METAL PIPE	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	TELEPHONE PEDESTAL
CO	CLEAN OUT	TREE
.....	SLOPE LIMITS	
---	DRAINAGE SWALE	
---	EXISTING STORM SEWER	
---	EXISTING SANITARY SEWER	
---	EXISTING WATER LINE	
---	EXISTING FIBER OPTIC LINE	
---	EXISTING GAS LINE	
---	EXISTING UNDERGROUND ELECTRIC	
---	EXISTING OVERHEAD ELECTRIC	
---	EXISTING CABLE TV LINE	
---	EXISTING TELEPHONE LINE	
---	PROPOSED STORM SEWER	
---	PROPOSED SANITARY SEWER	
---	FENCE LINE	
---	SAWCUT LINE	

COTLEVILLE FIRE PROTECTION DISTRICT NOTES:

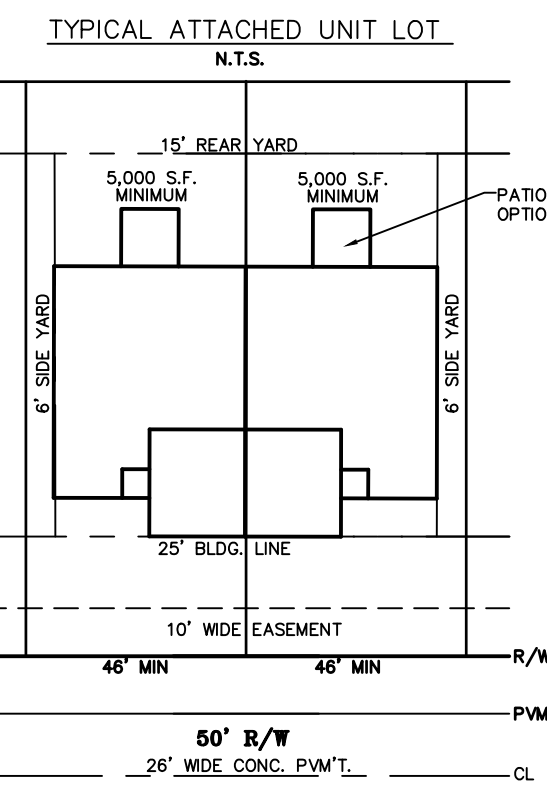
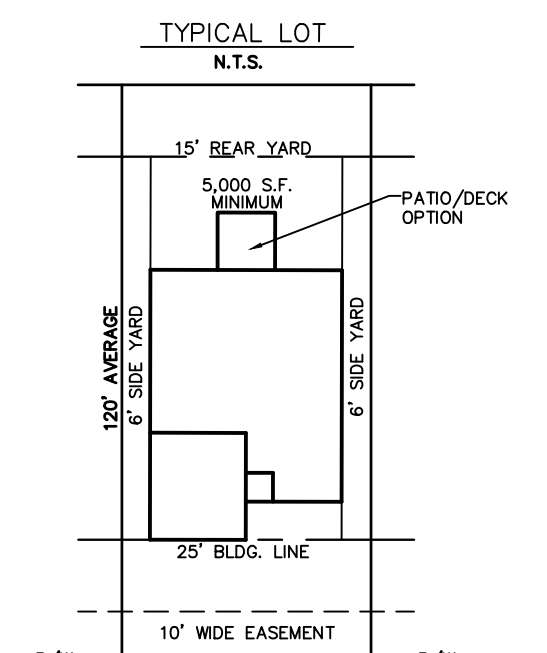
- The minimum required fire flow from the fire hydrant shall be in accordance with Section B105 of the 2009 International Fire Code.
- A permit will be required through the Cottleville Fire Department for the installation of the private fire service mains.
- Each fire hydrant shall not have less than two 2-1/2 inch outlets and one 4-1/2 inch outlet, a 5-1/4 inch valve, a 6 inch barrel and shall be of the breakaway design, frost free with chain, left hand open design and have national standard threads.
- Fire hydrant shall be provided with a control valve in the hydrant connection such that the hydrant can be removed from service without shutting off water supply to other fire hydrants.
- In setting hydrants, due regard shall be given to final grade line. The center of a hose nozzle outlet shall not be less than (18) inches above grade and the outlets must face the street or access drive.
- There shall be no obstruction, i.e. planting, bushes, trees, signs, light standards, mailboxes, etc. within six (6) feet of any fire hydrant, and/or fire department connection to an automatic sprinkler system.
- A fire hydrant is required to be within 150 feet of a fire department connection to an automatic fire suppression systems, if such a system is required or installed.
- All tees, plugs, bends and hydrant branches shall be restrained against movement in accordance with Section 8-6 of the NFPA 24.
- The flushing and testing of the underground piping, etc. shall comply with Chapter 9 of NFPA 24 and shall be witnessed by a representative from the Cottleville Fire Protection District.
- Underground piping for private fire service mains shall be listed for fire protection service and shall comply with AWWA standards.
- A control valve shall be provided at the connection from the private fire service main to the building. Valves shall be either a Post Indicator Valve (Section 3-3 of NFPA 24) Valves in Pits (Section 3-4), or a listed non-indicating valve with approved roadway box, along with this valve a 1-wrench shall be provided in a clearly identified and readily accessible location of the premises.
- Identification signs shall be provided at each valve for private fire service mains to indicate its function and what it controls.

CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

- Due to development on Keaton Corporate Parkway, traffic volume will necessitate a turn lane off of Highway K. Property owners have contributed to the fund for the lane construction as the properties have developed in the past. This development shall contribute to the Highway K deceleration/exit lane as agreed to by City Staff.
- Provide sidewalk from the entrance to Keaton Crossing Blvd.
- Any structure on Lot 1 shall meet City setback requirements.
- The Municipal Codes listed in this report shall be met before Construction Plan approval.
- Provide sidewalk and mailbox kiosk.

RE-APPROVED CONSTRUCTION PLANS

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: DATE **March 7, 2022**
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN



* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. To 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 23.23 Acres.
 The area of land disturbance is 16.21 Acres.

Number of proposed lots is 66
 Building setback information. Front 25'
 Side 6'
 Rear 15'

* The estimated sanitary flow in gallons per day is 24,055 GPD

* Tree preservation calculations:
 Existing Trees = 19.77 Acres
 Trees Removed = 14.85 Acres
 Trees Saved = 4.92 Acres
 Tree Preservation trees to be retained:
 19.77 Acres x 20% = 3.95 Acres
 3.95 Acres - 4.92 Acres (Saved) = 0.97 Acres
 4.92 Acres > 3.95 Acres (No new trees required)

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.
 All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.
 Lighting values will be reviewed on site prior to the final occupancy inspection.

Developer / Owner:
 Bridgewater Communities, Inc.
 P.O. Box 4607
 Chesterfield, Missouri 63005
 636-294-6020

COVER SHEET

P+Z No. 18-003986
 June 7, 2018
 City No. #18-009384
 Permit #RSP18-000006

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