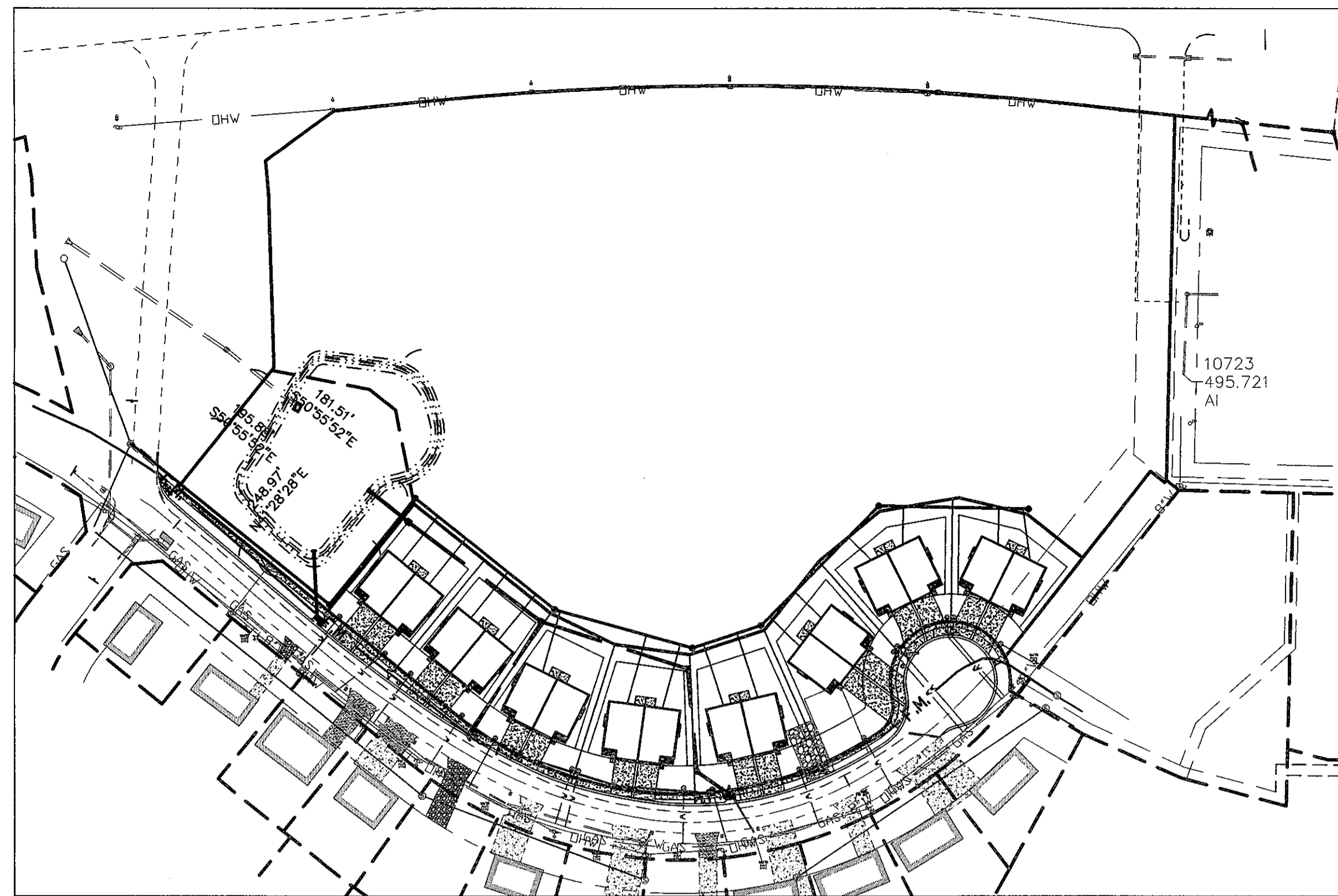
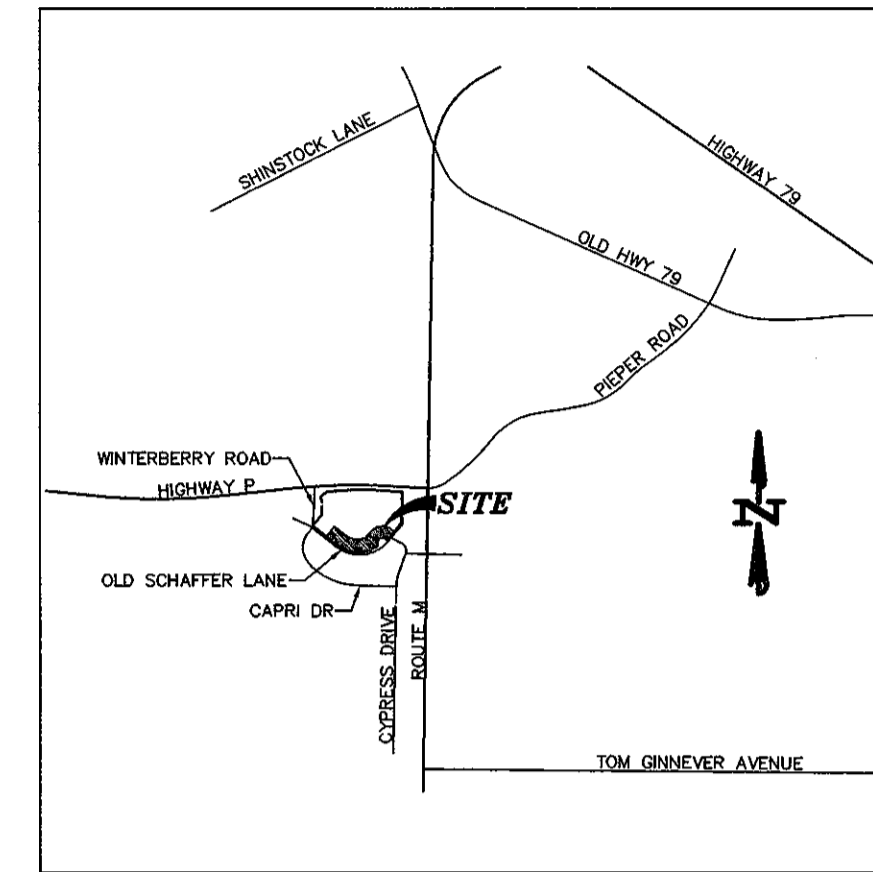


A SET OF CONSTRUCTION PLANS FOR VILLAS OF CAPRI

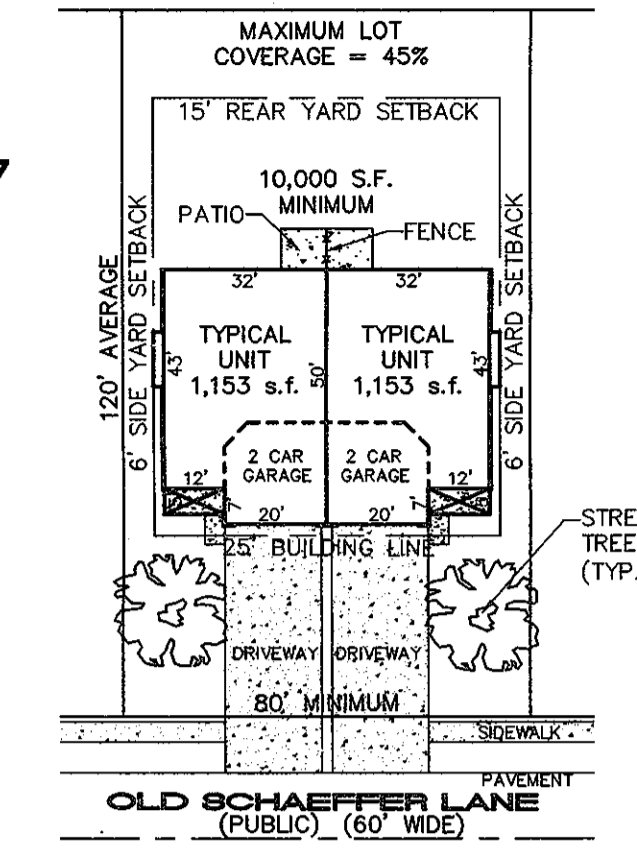
A TRACT OF LAND BEING PART OF THE FUTURE DEVELOPMENT OF "MOBILE ON THE GO" PLAT BOOK 38 PAGE 389 BEING PART OF SOUTHEAST QUARTER OF FRACTIONAL SECTION 17 TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map



TYPICAL LOT NOT TO SCALE

DEVELOPMENT NOTES

- Existing Zoning: R-2 (Two Family Residential)
- Per Flood Insurance Rate Map Panel Number 29183C0230G, dated January 20, 2016. This site is lies within Zone X - Areas determined to be outside of the 2% annual chance flood plain.
- Topographic information is per Topographic Survey by Box Engineering during November, 2015.
- Boundary information is per survey as compiled by Box Engineering during November, 2015.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- The new street lighting installed by the developer of the residential subdivision along Old Schaeffer Road shall meet the cities spacing requirements but will be city owned. The specifications will generally adhere to Ameren's specifications. The developer shall install LED based and shutoff boxes for each new light. The new street lights shall be paced a minimum distance of 3' feet behind proposed new curb.
- All existing creeks, streams, and drainage swales will have an associated storm water easement that will be provided on the Record Plat.
- All proposed utilities and/or utility relocations shall be located underground.
- Sanitary sewers closer than 10 feet to the pavement edge or the pavement is within the 1:1 shear plane of the trench will require granular backfill within the trench.
- The existing detention basin and the proposed improvements to the detention basin shall be maintained by the commercial property owners and the residential property owners as a shared expense. The detention basin will be designed to detain the 100 year, 20 minute storm event and shall be functioning during the initial stage of development.
- Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
- All grades shall be within 0.2 feet of those shown on the grading plan.
- No slope shall be steeper than 3:1. All slopes shall be sodded or seeded and mulched.
- All construction and materials used shall conform to current City of O'Fallon Standards.
- The existing easements and utilities located on the vacated portion of Old Schaeffer Lane will be vacated and relocated to new easements.
- The developer shall be responsible for documenting the existing condition of Old Schaeffer Lane and establish an escrow with the city for any repairs that may be needed due to construction traffic using this road.
- The developer will be required to make widening improvements on the north side of Old Schaeffer Lane to include adding concrete rolled curb & gutter and asphalt pavement widening to achieve a 26' foot wide two way road and constructing a cul-de-sac turnaround at the east end of road as shown on plan. No road improvements are planned along the south side of Old Schaeffer Lane.
- All sidewalks and handicap ramps shall be constructed in accordance with the current approved American Disabilities Act Accessibility Guidelines. All sidewalks shall be constructed using a maximum 2% cross slope especially within driveways.
- All street trees shown are based on one street tree per lot if lots are subdivided or one street tree per unit if lots are not subdivided.
- All onsite utility easements required for this development will be shown on the Record Plat.
- All construction methods and practices to conform with OSHA Standards.
- All water service lines will be bored under existing Old Schaeffer Road to make connection to existing water main on South side of existing Old Schaeffer Road.

Utility Contacts

Sanitary Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
Contact: 636-281-2858

Water
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
Contact: 636-281-2858

Storm Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
636-281-2858

Electric
Ameren UE
200 Callahan Road
Wentzville, MO 63385
636-639-8312

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

Charter Communications
941 Charter Commons
Town & Country, MO 63017
1-888-438-2427

School District:
Fort Zumwalt School District
555 East Terra Lane
O'Fallon, MO 63366
636-240-2072

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO 63366
636-272-3493

Benchmarks Project

BENCHMARK:
ELEVATION 542.80 (DATUM NAVD88) ESTABLISHED BY COAST AND GEODETIC SURVEY 1936, A STANDARD BRASS DISK, STAMPED F 149 1936 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 3 INCHES ABOVE GROUND, FURTHER DESCRIBED IN 2003 AS BEING LOCATED IN THE CITY OF O'FALLON, MO. APPROXIMATELY 12 MILES WEST OF THE CITY OF SAINT CHARLES AND 7.5 MI EAST OF WENTZVILLE AND IN FRONT OF THE CITY OF O'FALLON MUNICIPAL CENTER. THE STATION IS A STANDARD CGS DISK STAMPED-F 149 1936-AND SET IN A 4-INCH SQUARE CONCRETE MONUMENT PROJECTING 3 INCHES ABOVE THE GROUND. THE STATION IS 78.4 FEET SOUTH OF THE BRICK CITY OF O'FALLON MUNICIPAL BUILDING ENTRANCE SIGN, 61.2 FEET SOUTHWEST OF A STOP SIGN, 45.0 FEET NORTH OF THE NORTH RAIL OF THE NORFOLK AND SOUTHERN RAILROAD TRACKS, 28.6 FEET SOUTHWEST OF A LIGHT STANDARD, AND 25.7 FEET NORTHEAST OF A LIGHT STANDARD.

BENCHMARK:
ELEVATION 478.40; TOP FOUND IRON PIPE AT THE MOST SOUTHWEST CORNER OF EXISTING DETENTION BASIN SITE.

Site

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
SEEDING RATES:	
PERMANENT:	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.
TEMPORARY:	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Brome	March 1 to June 1
	August 1 to October 1
Wheat or Rye	March 15 to November 1
Oats	March 15 to September 15
MULCH RATES:	
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)	
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

Drawing Index

- COVER SHEET
- NOTES
- DEMO PLAN
- SITE PLAN
- GRADING PLAN
- WATER PLAN
- STORM WATER POLLUTION PREVENTION PLAN
- SEWER PROFILES
- PRE-DEVELOPED DRAINAGE AREA MAP
- POST-DEVELOPED DRAINAGE AREA MAP
- 11-15 DETAILS

Legend

600.00	EXISTING LABELS	[Symbol]	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	[Symbol]	EXIST. AREA INLET
CI	SINGLE CURB INLET	[Symbol]	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	[Symbol]	PROPOSED AREA INLET
AI	AREA INLET	[Symbol]	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	[Symbol]	EXIST. SANITARY MANHOLE
GI	GRATE INLET	[Symbol]	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	[Symbol]	PROPOSED MANHOLE
MH	MANHOLE	[Symbol]	POWER POLE
FE	FLARED END SECTION	[Symbol]	GUY WIRE
EP	END PIPE	[Symbol]	LIGHT STANDARD
CP	CONCRETE PIPE	[Symbol]	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	[Symbol]	WATER METER
CMP	CORRUGATED METAL PIPE	[Symbol]	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	[Symbol]	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	[Symbol]	TELEPHONE PEDESTAL
CO	CLEAN OUT	[Symbol]	SIGN
-----	SLOPE LIMITS	[Symbol]	ADDRESS
-----	DRAINAGE SWALE	[Symbol]	TREE
--- STM ---	EXISTING STORM SEWER	[Symbol]	
--- SAN ---	EXISTING SANITARY SEWER	[Symbol]	
--- W ---	EXISTING WATER LINE	[Symbol]	
--- FO ---	EXISTING FIBER OPTIC LINE	[Symbol]	
--- GAS ---	EXISTING GAS LINE	[Symbol]	
--- UGE ---	EXISTING UNDERGROUND ELECTRIC	[Symbol]	
--- OHW ---	EXISTING OVERHEAD ELECTRIC	[Symbol]	
--- CTV ---	EXISTING CABLE TV LINE	[Symbol]	
--- T ---	EXISTING TELEPHONE LINE	[Symbol]	
--- ---	PROPOSED STORM SEWER	[Symbol]	
--- ---	PROPOSED SANITARY SEWER	[Symbol]	
--- X ---	FENCE LINE	[Symbol]	
--- ---	SAWCUT LINE	[Symbol]	

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 2.02 Acres
The area of land disturbance is 3.23 Acres
Number of proposed lots is 8 Villa Lots (16 units)

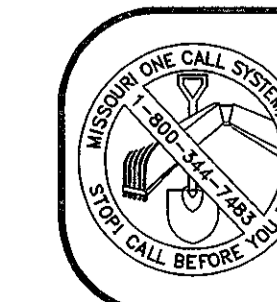
Building setback information. Front 25'
Side 6'
Rear 25'

* The estimated sanitary flow in gallons per day is 5,920 GPD

Conditions of Approval From Planning and Zoning

- The developer of the residential portion of the plat shall provide a letter that states that the Villas of Capri has permission to use the existing detention basin on the commercial portion of the plat. If permission is granted, a maintenance agreement shall be submitted prior to approval of the Record Plat.
- The condition of Old Schaeffer Lane shall be documented and an escrow shall be established to repair any damage resulting from construction traffic.
- The petitioner shall work with staff on the installation of City-owned street lights that meet City spacing requirements. These lights shall be LED based with shutoff boxes for each light.
- Provide an easement five (5) feet in width along the Southeast property line on Lot 8 for a future trail connection to the commercial property.
- If these lots are to be separately sold in the future, the Zoning requirements for two-family units located on separately platted lots shall be met. The Building requirements for Condominiums shall be met. A new Preliminary Plat shall be required.
- The applicant shall abide by the Municipal Code Requirements before Construction Plan approval.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: DATE **November 2, 2016**
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

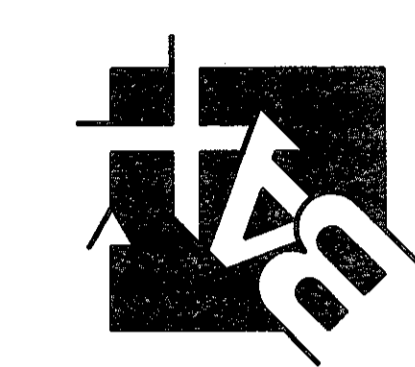


Call BEFORE you DIG
TOLL FREE
1-800-DIG-RITE
MISSOURI ONE-CALL SYSTEM, INC.

PROJECT TITLE:

VILLAS OF CAPRI

ENGINEERING
DRAWING
SURVEYING
221 Park West Blvd.
St. Charles, MO 63301
636-920-5602
FAX 969-1718



DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part of the project of the architectural or engineering project.

CLIFFORD L. HEITMANN
REGISTERED PROFESSIONAL ENGINEER
No. 00655
E-29817
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Authority No. 00655
All Rights Reserved

REVISIONS	
09/01/16	CITY COMMENTS
09/30/16	CITY COMMENTS
10/17/16	CITY COMMENTS

Developer / Owner:
Twenty Seven Hundred Forty-365 Group, L.L.C.
429 North Main Street
O'Fallon, MO 63366
636-240-0930

P+Z No. #04-16.03
March 3, 2016
City No. #

Page No.
1 of 15

Box Project # 96-7689F Issue Date: 07/08/2016

COVER SHEET