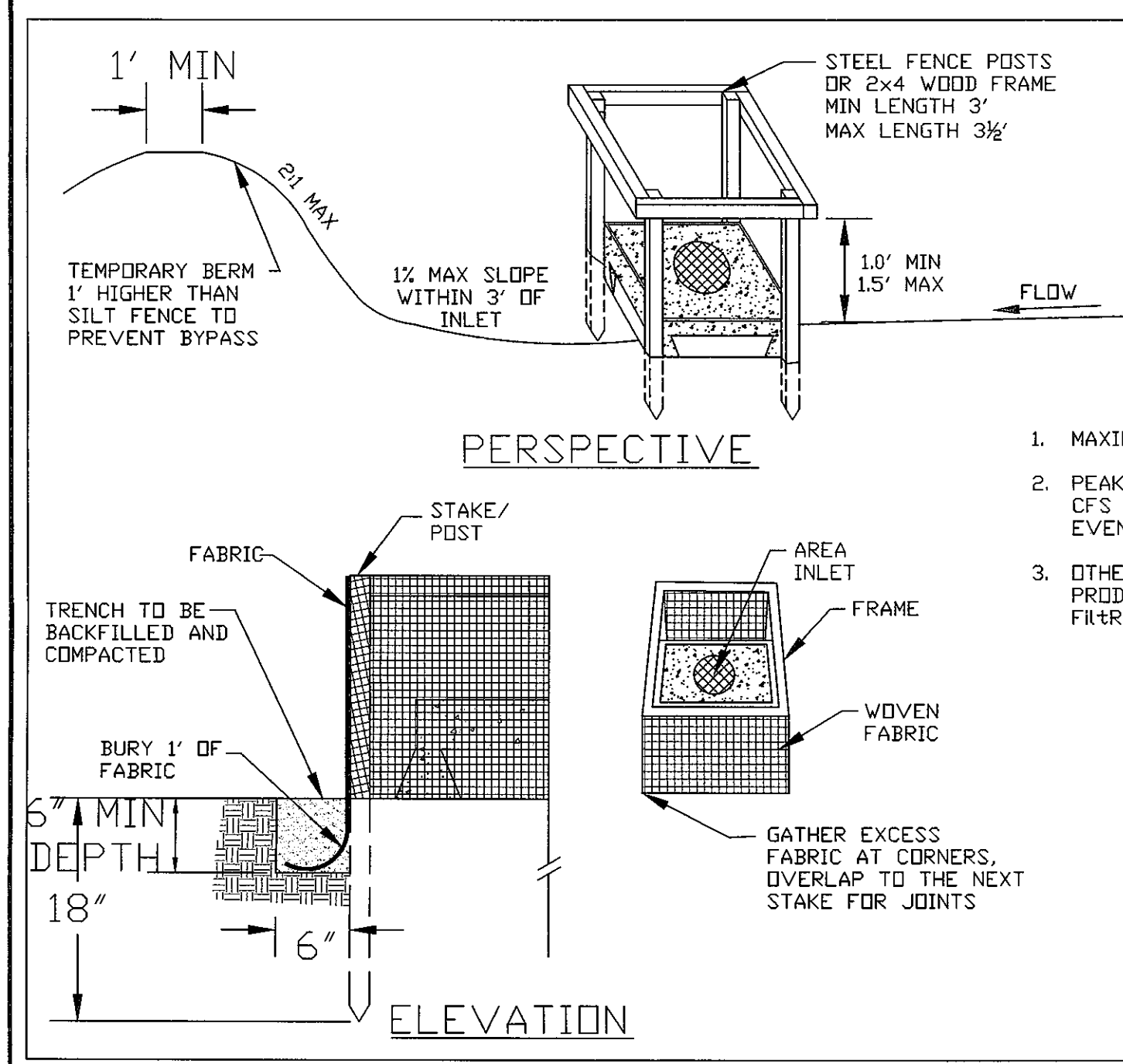
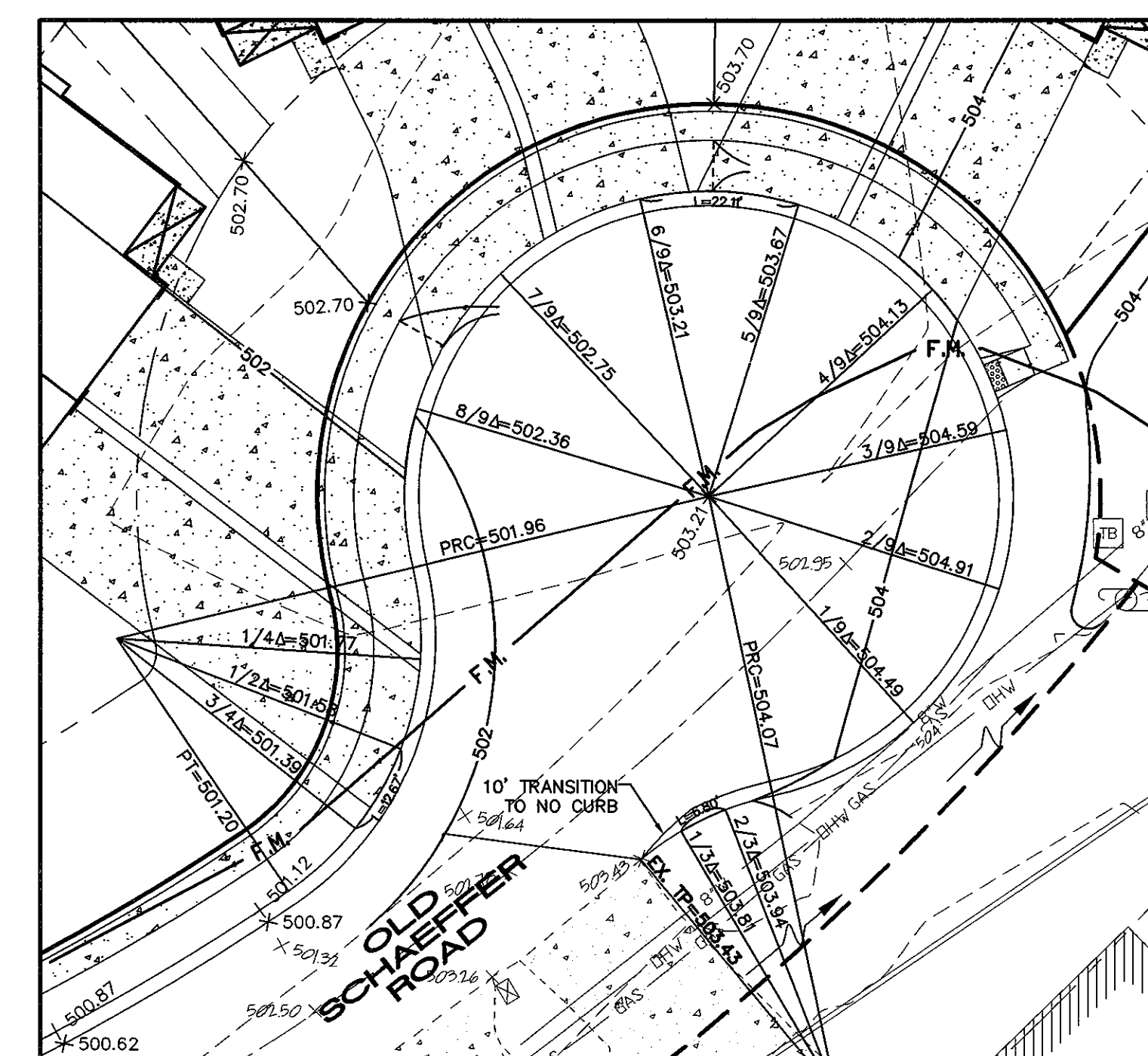


WETPOND PERIMETER RIPRAP
NOT TO SCALE



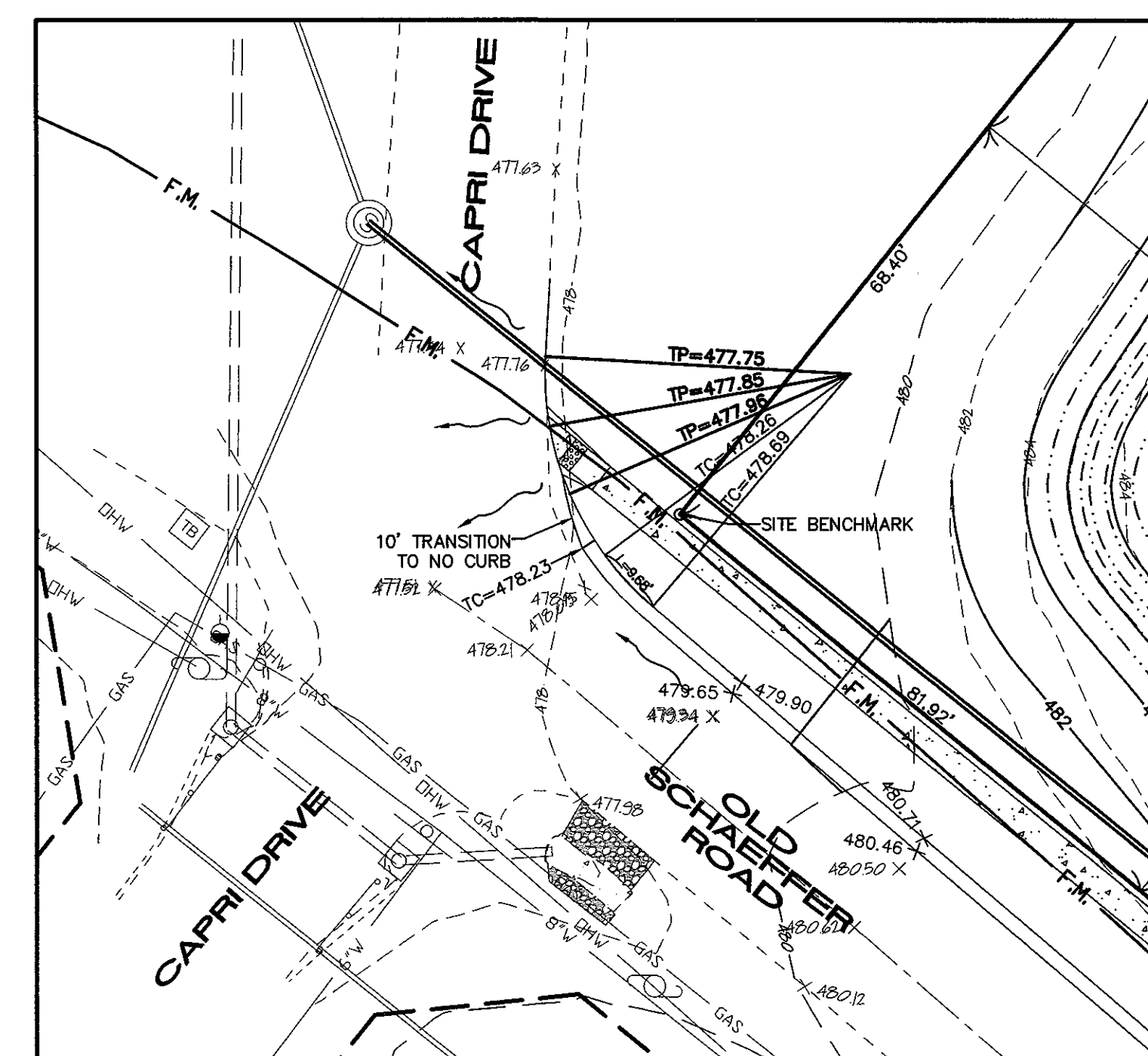
- DESIGN CRITERIA**
1. MAXIMUM DRAINAGE AREA - 1 ACRE.
 2. PEAK RUNOFF SHALL NOT EXCEED 2 CFS BASED ON A 6-MONTH STORM EVENT.
 3. OTHER SEDIMENT PROTECTION PRODUCTS MAY BE USED, SUCH AS FILTER FENCE.

AREA INLET PROTECTION FABRIC DROP



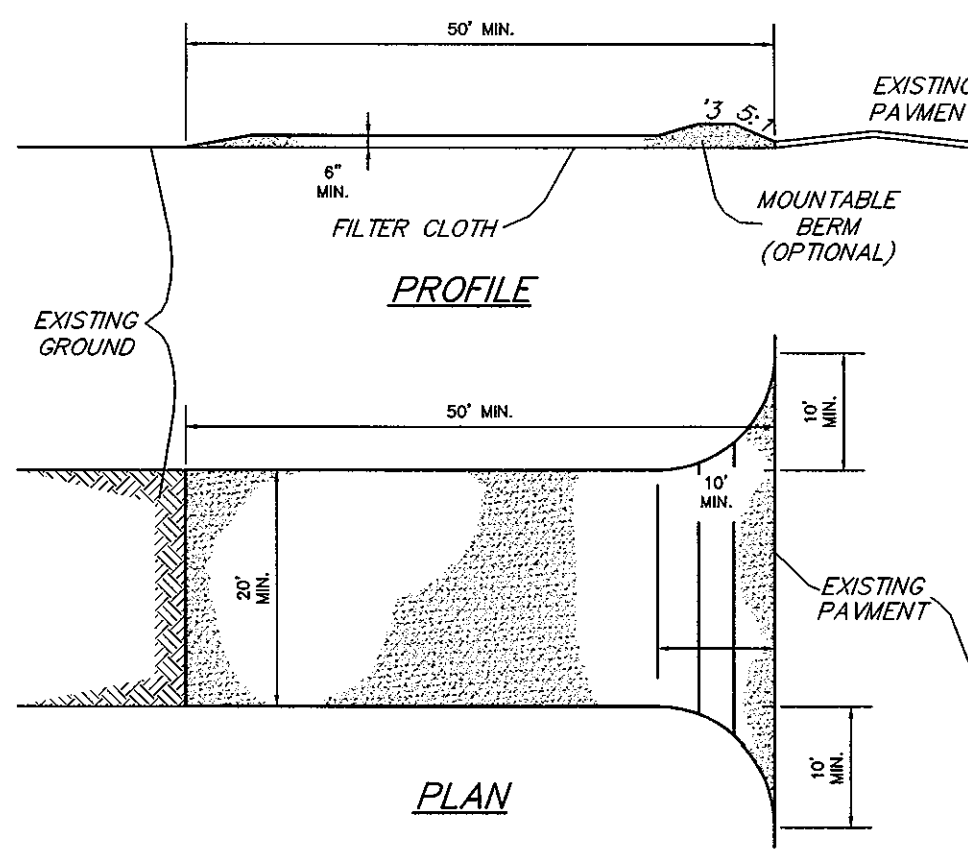
WARPING DETAIL
SCALE: 1" = 20'

NOTE:
ALL ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
TP=TOP OF PAVEMENT



INTERSECTION DETAIL
SCALE: 1" = 20'

NOTE:
ALL ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
TP=TOP OF PAVEMENT

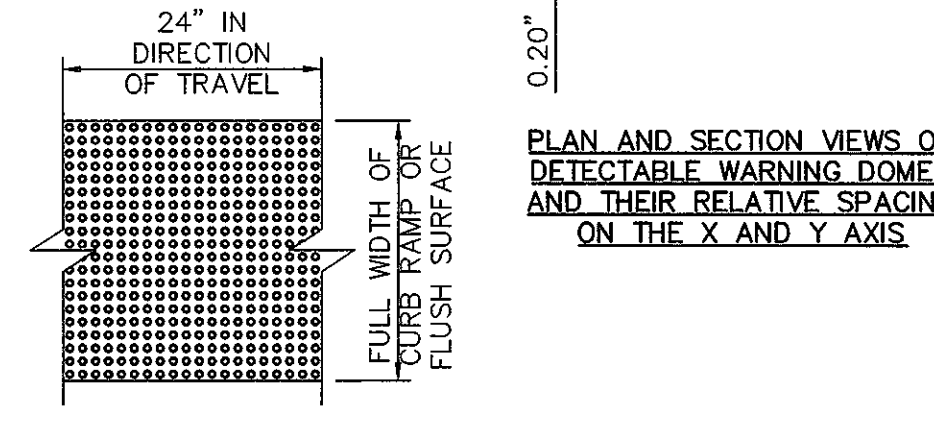
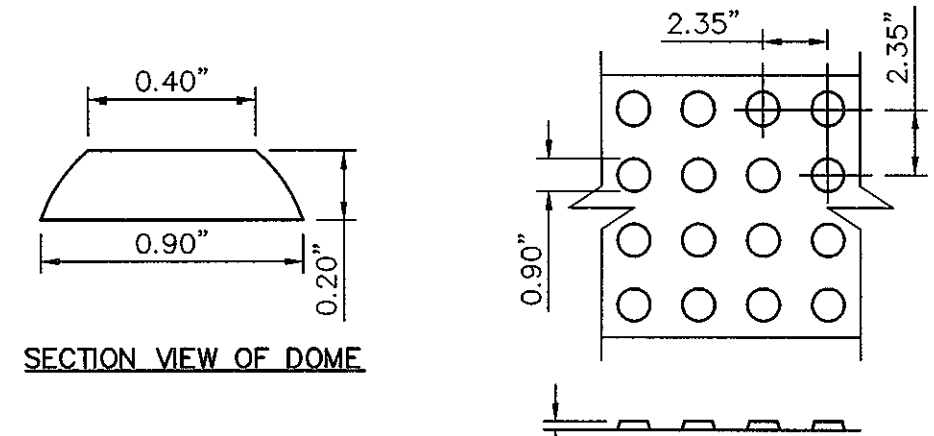


CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

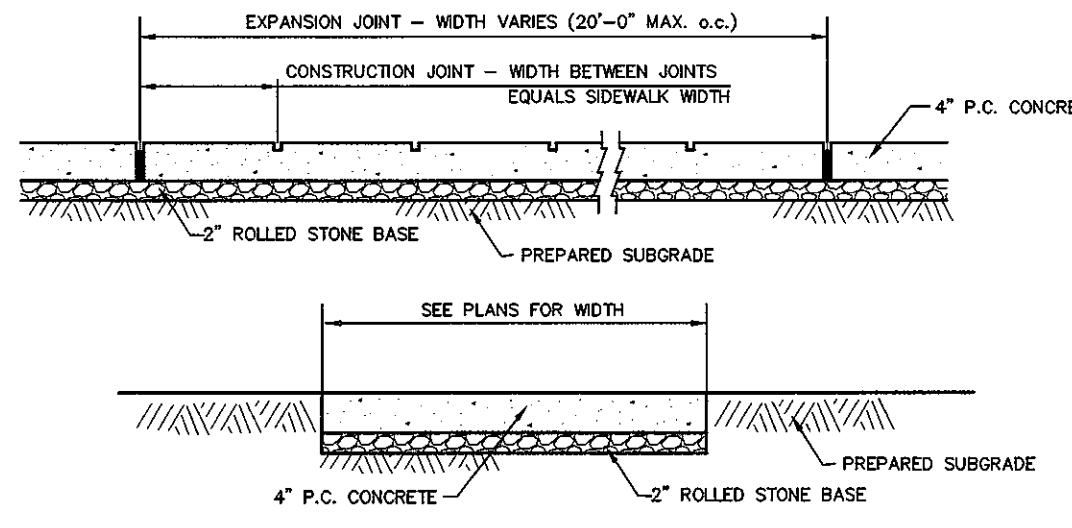
STABILIZED CONSTRUCTION ENTRANCE/WASHDOWN AREA
NOT TO SCALE

!!!WARNING!!! 15" FORCEMAIN PRESENT!!!
ALL CONTRACTORS WORKING IN AND OR AROUND THE EXISTING 15" SANITARY FORCEMAIN SHALL TAKE ALL PRECAUTIONS AND CARE WHEN WORKING AROUND IT TO PREVENT HITTING OR DAMAGING IT. IF IT IS HIT OR DAMAGED THE CONTRACTOR NEEDS TO BE PREPARED TO RESOLVE ANY DAMAGE THEY CAUSE. ALSO, THE CONTRACTOR SHALL CONTACT THE CITY IMMEDIATELY TO REPORT ANY DAMAGE AND GET DIRECTION FOR REPAIRING SUCH DAMAGE.



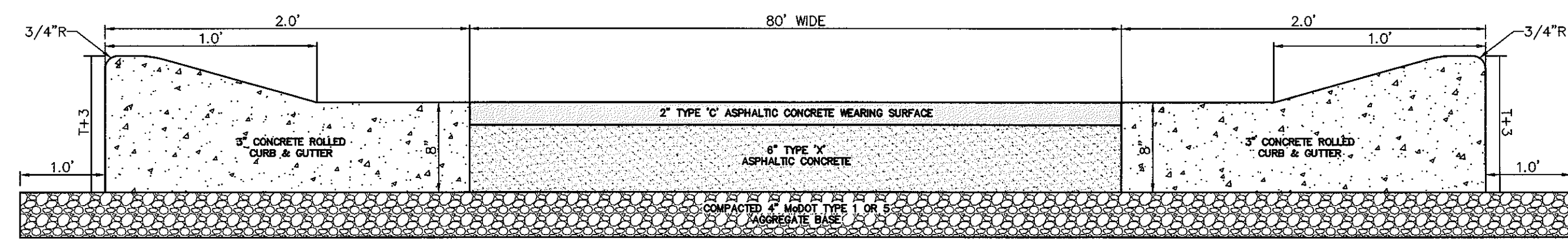
PLAN VIEW OF A DETECTABLE WARNING SURFACE SHOWING DOMES ALIGNED IN ROWS, NOT SKEWED DIAGONALLY.

TYPICAL DETAIL OF DETECTABLE WARNING SURFACE
NOT TO SCALE



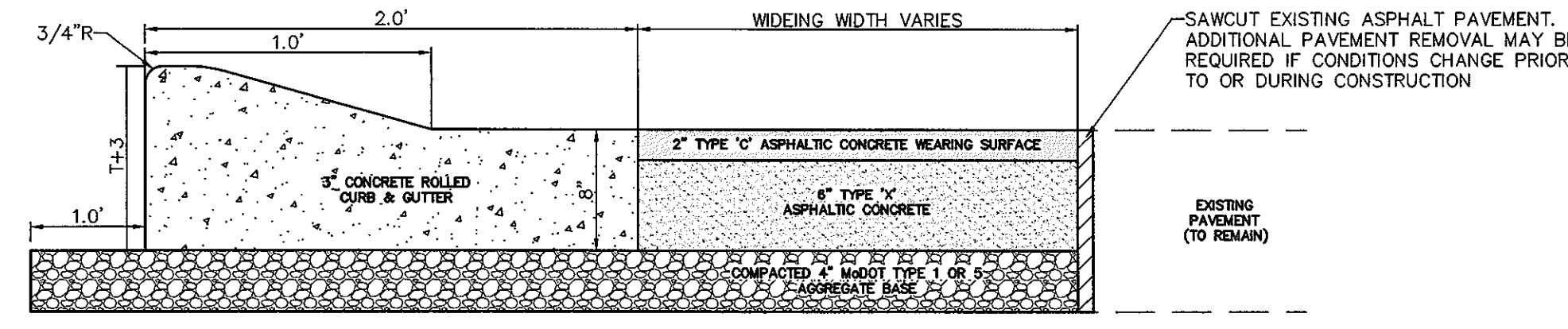
CONCRETE SIDEWALK DETAIL
NOT TO SCALE

* ALL GRANULAR ROLLED STONE BASE UNDER PROPOSED CONCRETE MUST BE COMPACTED TO 100% OF THE MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI @ 28 DAYS.



CUL-DE-SAC PAVEMENT SECTION DETAIL
NOT TO SCALE

- NOTES:
1. ALL NON-REINFORCED CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
 2. THE ASPHALT SURFACE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY.
 3. THE PROPOSED PAVEMENT WIDENING SHALL MATCH THE EX. PAVEMENT THICKNESS OF OLD SCHAEFFER ROAD BUT SHALL NOT BE LESS THAN THE PAVEMENT THICKNESS SHOWN.

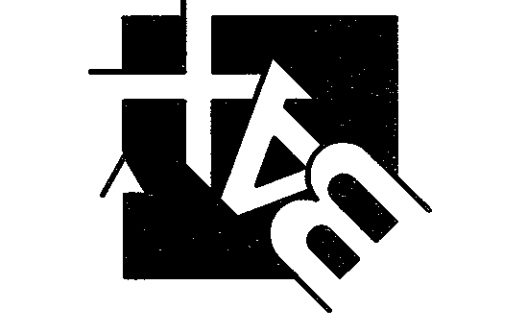


OLD SCHAEFFER LANE PAVEMENT SECTION WIDENING DETAIL
NOT TO SCALE

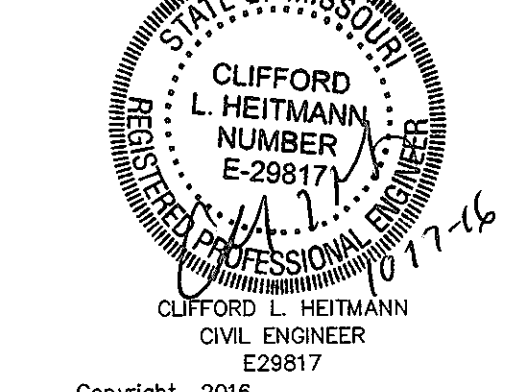
- NOTES:
1. ALL NON-REINFORCED CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
 2. THE ASPHALT SURFACE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY.
 3. THE PROPOSED PAVEMENT WIDENING SHALL MATCH THE EX. PAVEMENT THICKNESS OF OLD SCHAEFFER ROAD BUT SHALL NOT BE LESS THAN THE PAVEMENT THICKNESS SHOWN.

PROJECT TITLE:
VILLAS OF CAPRI
Issue Date: 07/06/2016

ENGINEERING
PLANNING
SURVEYING
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St. Charles, MO 63301
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REVISIONS

DATE	REVISION
09/01/16	CITY COMMENTS
09/30/16	CITY COMMENTS
10/17/16	CITY COMMENTS

Developer / Owner:
Twenty Seven Hundred Forty-365 Group, L.L.C.
429 North Main Street
O'Fallon, MO 63366
636-240-0930

P+Z No. #04-16.03
March 3, 2016
City No. #

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CONSTRUCTION DETAILS