

# A SITE PLAN FOR WABASH INDUSTRIAL CENTER TWO TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI

## LANDSCAPE LEGEND

- ⊗ = 2" CALIPER BRADFORD PEAR (11)
- ⊗ = 6" HIGH SCOTCH PINE (5)
- ⊗ = 24" JUNIPER (20)



**APPROVED**  
Contingent upon  
Fire District Approval  
12/2/96 + Record Plat  
Colleen Krummel

**DELORA BECKERLE**  
129 DOUBLE EAGLE DRIVE  
ST. CHARLES, MO 63303  
PHONE: (314)946-9771

PREPARED FOR:

EXPLANATION OF RESPONSIBILITY  
I hereby certify that the documents included in this plan were prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Missouri. I am not responsible for any errors or omissions in this plan or for any consequences resulting therefrom, unless it is shown that I was negligent in the performance of my duties as a professional engineer in the State of Missouri.



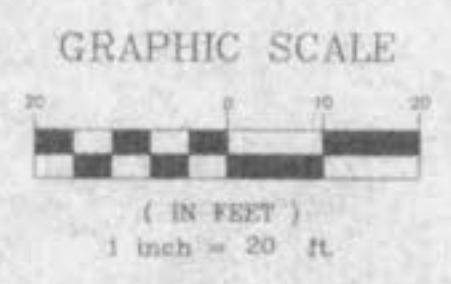
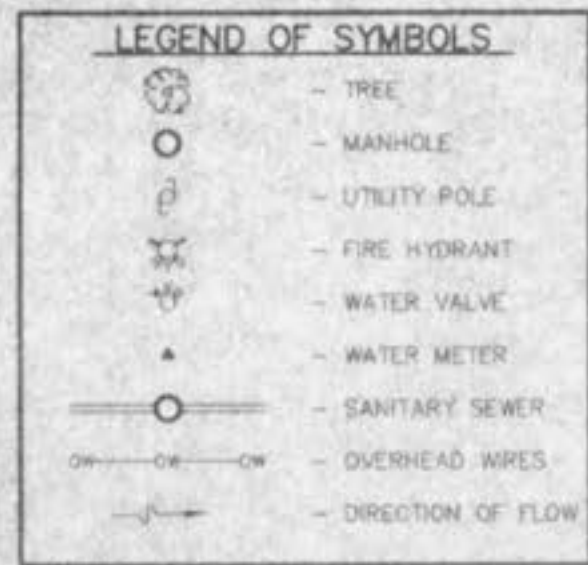
REVISIONS

NO.	DATE	DESCRIPTION
1	5-14-96	CITY COMMENTS
2	7-25-96	CITY COMMENTS

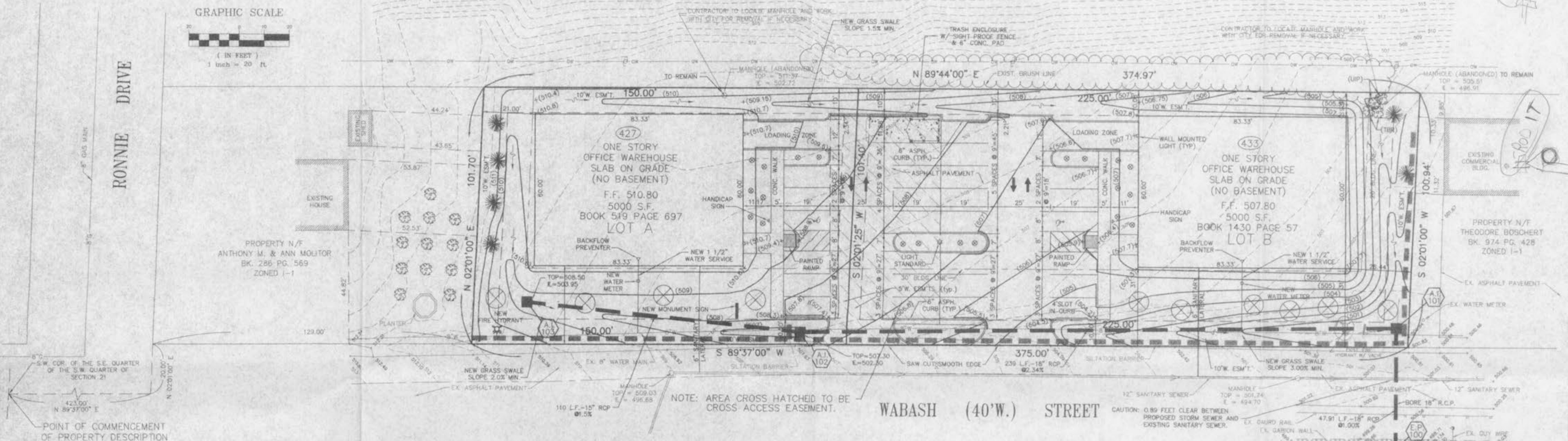


1052 South Cloverleaf Drive  
St. Peters, MO 63376-8445  
314-928-5662  
FAX 928-1718

9-3-1996  
DATE  
95-7726  
PROJECT NUMBER  
1 OF 3  
SHEET OF 21  
7726.DWG  
FILE NAME  
DJB RLF  
DRAWN CHECKED



RONNIE DRIVE



NOTE: AREA CROSS HATCHED TO BE CROSS-ACCESS EASEMENT.

WABASH (40' W.) STREET

### DEVELOPMENT NOTES: LOT A

- AREA OF TRACT: 0.349 AC.
- PRESENT ZONING: I-1 LIGHT INDUSTRIAL
- PROPOSED USE: OFFICE WAREHOUSE
- SITE IS LOCATED IN/SERVED BY:  
CITY OF OFALLON SEWER  
CITY OF OFALLON WATER  
GTE TELEPHONE  
UNION ELECTRIC COMPANY  
LACLEDE GAS COMPANY  
OFALLON FIRE PROTECTION DISTRICT
- MINIMUM BUILDING SETBACKS:  
FRONT YARD - 30'  
SIDE YARD - 20'  
REAR YARD - 0' PER ARTICLE 19.03-H OF THE CITY OF OFALLON ZONING ORDINANCE
- PARKING REQUIRED: 1 SPACE PER EMPLOYEE PLUS 1 SPACE PER 400 S.F. OF PUBLIC ACCESS FLOOR AREA  
10 EMPLOYEES PLUS 800 S.F./400 = 12 SPACES
- PROPOSED PARKING: FOR BOTH LOTS, 25 SPACES PLUS 2 HANDICAP SPACES = 27 SPACES
- ALL LANDSCAPING SHALL CONFORM TO THE CITY OF OFALLON TREE PRESERVATION ORDINANCE NO. 1689. NO EXISTING TREES ON-SITE
- TREE REQUIREMENTS:  
1 TREE FOR 40 FT. ROAD FRONTAGE  
150 FT. FRONTAGE/40 FT. = 4 TREES  
4 TREES REQUIRED  
1 TREE FOR 4000 SQ. FT. OPEN SPACE  
15,000 SQ. FT./4000 = 4 TREES  
4 TREES REQUIRED  
TOTAL 8 TREES PROPOSED
- PROPERTY OWNER/DEVELOPER: DELORA BECKERLE  
129 DOUBLE EAGLE DRIVE  
ST. CHARLES, MO 63303
- NO EXISTING EASEMENTS HAVE BEEN FOUND FROM AVAILABLE INFORMATION.
- SITE COVERAGE CALCULATIONS:  
BUILDING = .11 AC. (33%)  
PAVEMENT = .07 AC. (19%)  
GREEN SPACE = .17 AC. (49%)
- LOADING SPACES REQUIRED: 1 PER 5,000 S.F. OF GROSS FLOOR AREA  
5,000 S.F. PROPOSED BUILDING = 1 LOADING SPACE
- LOADING SPACES PROVIDED: 1 LOADING SPACE PROVIDED.

### DEVELOPMENT NOTES: LOT B

- AREA OF TRACT: 0.522 AC.
- PRESENT ZONING: I-1 LIGHT INDUSTRIAL
- PROPOSED USE: OFFICE WAREHOUSE
- SITE IS LOCATED IN/SERVED BY:  
CITY OF OFALLON SEWER  
CITY OF OFALLON WATER  
GTE TELEPHONE  
UNION ELECTRIC COMPANY  
LACLEDE GAS COMPANY  
OFALLON FIRE PROTECTION DISTRICT
- MINIMUM BUILDING SETBACKS:  
FRONT YARD - 30'  
SIDE YARD - 20'  
REAR YARD - 0' PER ARTICLE 19.03-H OF THE CITY OF OFALLON ZONING ORDINANCE
- PARKING REQUIRED: 1 SPACE PER EMPLOYEE PLUS 1 SPACE PER 400 S.F. OF PUBLIC ACCESS FLOOR AREA  
10 EMPLOYEES PLUS 800 S.F./400 = 12 SPACES
- PROPOSED PARKING: FOR BOTH LOTS, 25 SPACES PLUS 2 HANDICAP SPACES = 27 SPACES
- ALL LANDSCAPING SHALL CONFORM TO THE CITY OF OFALLON TREE PRESERVATION ORDINANCE NO. 1689. NO EXISTING TREES ON-SITE
- TREE REQUIREMENTS:  
2 TREES TO REMAIN ON-SITE (50% OF TREES TO REMAIN)
- TREE REQUIREMENTS:  
1 TREE FOR 40 FT. ROAD FRONTAGE  
225 FT. FRONTAGE/40 FT. = 6 TREES  
6 TREES REQUIRED  
1 TREE FOR 4000 SQ. FT. OPEN SPACE  
8698.5 SQ. FT./4000 = 2 TREES  
2 TREES REQUIRED  
TOTAL 8 TREES PROPOSED
- PROPERTY OWNER/DEVELOPER: DELORA BECKERLE  
129 DOUBLE EAGLE DRIVE  
ST. CHARLES, MO 63303
- NO EXISTING EASEMENTS HAVE BEEN FOUND FROM AVAILABLE INFORMATION.
- SITE COVERAGE CALCULATIONS:  
BUILDING = .11 AC. (22%)  
PAVEMENT = .21 AC. (40%)  
GREEN SPACE = .20 AC. (38%)
- LOADING SPACES REQUIRED: 1 PER 5,000 S.F. OF GROSS FLOOR AREA  
5,000 S.F. PROPOSED BUILDING = 1 LOADING SPACE
- LOADING SPACES PROVIDED: 1 LOADING SPACE PROVIDED.

### GENERAL NOTES: LOT A & B

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL MANHOLES AND INLET TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- STORM SEWERS MUST BE A.S.T.M. C-76 CLASS III
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO 1-180 COMPACTION TEST" (A.S.T.M. D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO 1-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO WORK OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO 1-180 COMPACTION TEST" (A.S.T.M. D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF OFALLON STANDARDS.
- ALL GRADING PERFORMED SHALL BE DONE IN COMPLIANCE WITH CITY OF OFALLON.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL UTILITIES TO BE LOCATED UNDERGROUND.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- CONTRACTOR TO NOTIFY THE CITY OF OFALLON 48 HOURS PRIOR TO ANY CONSTRUCTION IN OR OUT OF THE RIGHT-OF-WAY.
- PRIOR TO CONSTRUCTION PLAN APPROVAL, OWNER AND CONTRACTOR TO PROVIDE APPROPRIATE LIGHTING INFORMATION SUCH AS DOWNCASTING, WATTAGE, SPREAD AND TYPE OF SCREENING.
- ALL PEDESTRIAN WALKWAYS TO BE HANDICAPPED ACCESSIBLE.
- BENCHMARK: U.S.G.S. STANDARD DISK MARKED F149 1935, NEAR THE S.W. CORNER OF ST. MARY INSTITUTE, U.S.G.S. ELEV. = 542.88  
SITE BENCHMARK: IRON PIPE 150' EAST OF THE S.W. CORNER OF PROPERTY, ELEV. = 508.60
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OR OBTAINING A SOILS ANALYSIS.
- THIS SITE CONTAINS AREAS WITHIN THE ZONE-X 500 YEAR FLOOD PLAIN. THIS SITE IS NOT LOCATED WITHIN THE ZONE-A SPECIAL FLOOD HAZARD AREA PER F.L.R.M. 2918300237E, DATED AUGUST 2, 1996.
- ALL EXISTING UTILITIES ON-SITE TO REMAIN AND ADJUSTED TO GRADE.
- DEVELOPER SHALL COMPLY WITH ARTICLE 26 OF THE CITY OF OFALLON ZONING ORDINANCE.
- DEVELOPER SHALL COMPLY WITH CITY OF OFALLON COMPREHENSIVE PLAN
- LOTS A & B REQUIRE NO DETENTION PER ARTICLE 311.2-A.2 OF THE CITY OF OFALLON SUBDIVISION ORDINANCE.  
PRE-DEVELOPED: 0.871 AC. @ 1.87 = 1.63 C.F.S.  
POST-DEVELOPED: 0.500 AC. @ 3.85 = 1.93 C.F.S.  
0.371 AC. @ 1.97 = 0.69 C.F.S.  
TOTAL = 2.62 C.F.S.  
2.62 C.F.S.(POST-DEV.) - 1.63 C.F.S. (PRE-DEV.) = 0.99 ADDITIONAL C.F.S. (LESS THAN 1.00 C.F.S. ADDITIONAL Q)

**LEGEND OF SYMBOLS**

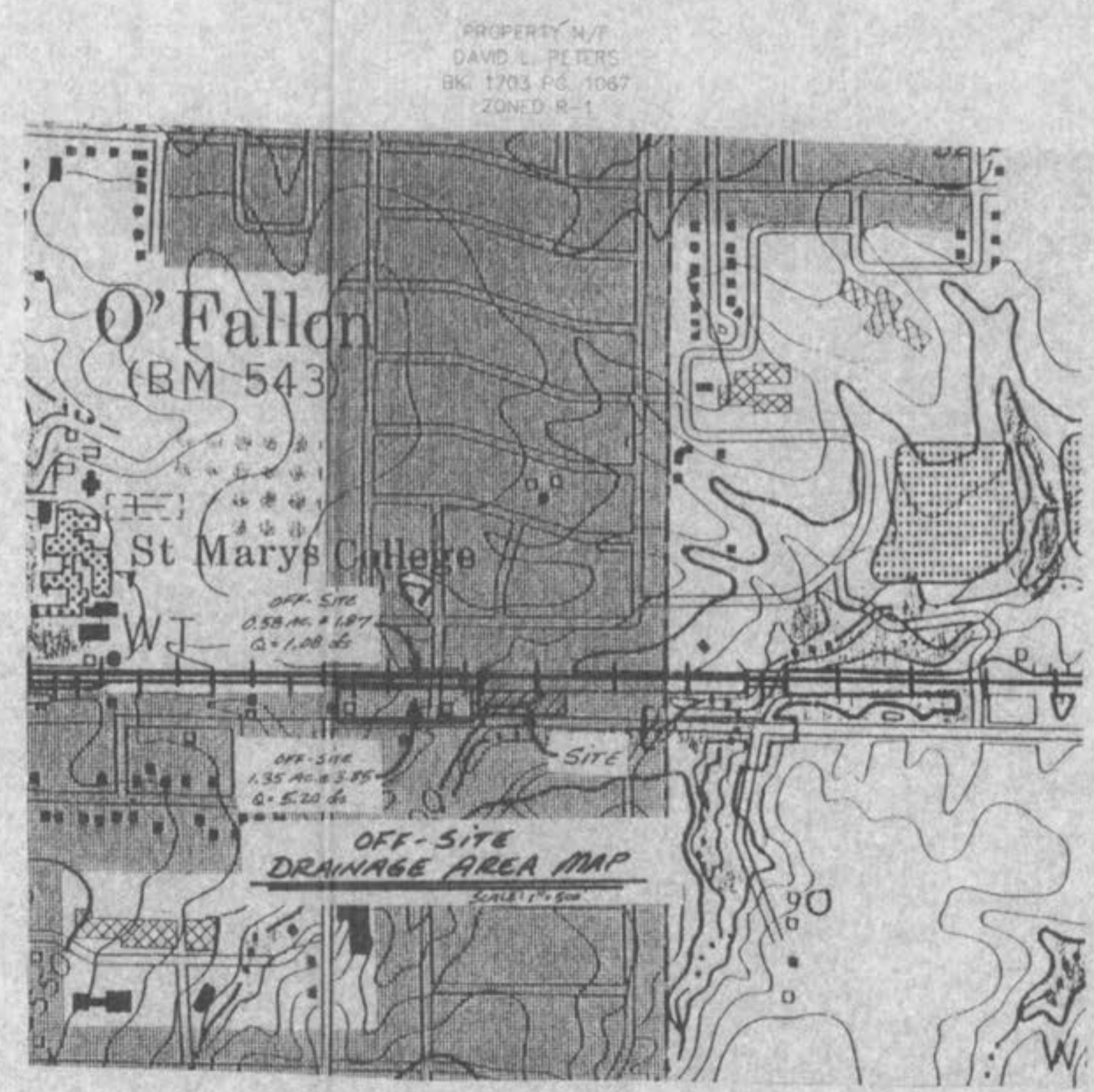
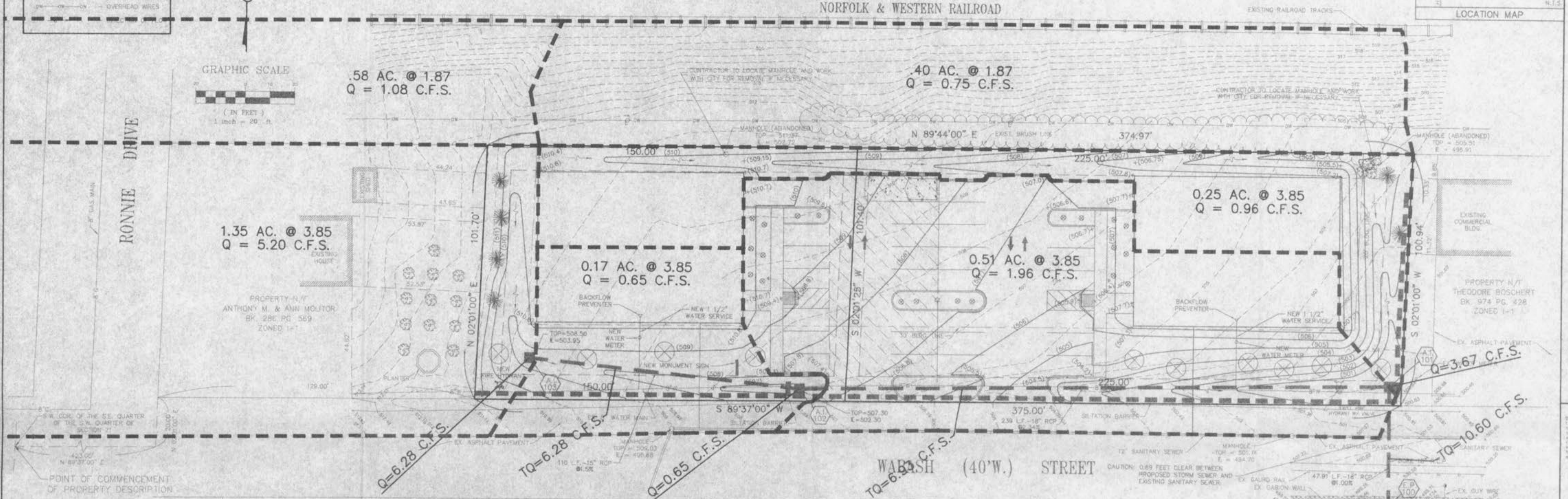
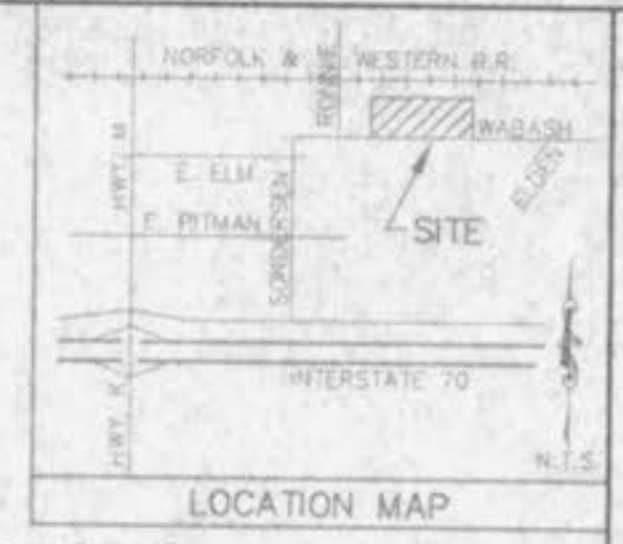
	TREE
	MANHOLE
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	SANITARY SEWER
	OVERHEAD WIRES



**A DRAINAGE AREA MAP FOR  
WABASH INDUSTRIAL CENTER**  
TWO TRACT OF LAND IN THE  
SOUTHWEST QUARTER OF SECTION 21,  
TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE  
FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI

**LANDSCAPE LEGEND**

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- = 6" HIGH SCOTCH PINE (5)
- = 24" JUNIPER (20)



PREPARED FOR:  
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129 DOUBLE EAGLE DRIVE  
ST. CHARLES, MO 63303  
PHONE: (314)946-9771

PREPARED FOR:

STATEMENT OF RESPONSIBILITY  
I hereby certify that the documents identified  
in the title block are the work of me or under  
my direct supervision and that I am a duly  
licensed professional engineer in the State  
of Missouri. I am not providing any services  
in this project which require the services  
of a professional engineer in Missouri. I  
am not providing any services in Missouri  
for any part or parts of the work of an  
engineering professional in Missouri.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	05-14-96	CITY COMMENTS
2	05-14-96	CITY COMMENTS

**B4+**  
ENGINEERING  
PLANNING  
SURVEYING

1052 South Cloverleaf Drive  
St. Peters, MO 63376-0445  
314-828-5552  
FAX 828-1718

9-3-1996  
DATE

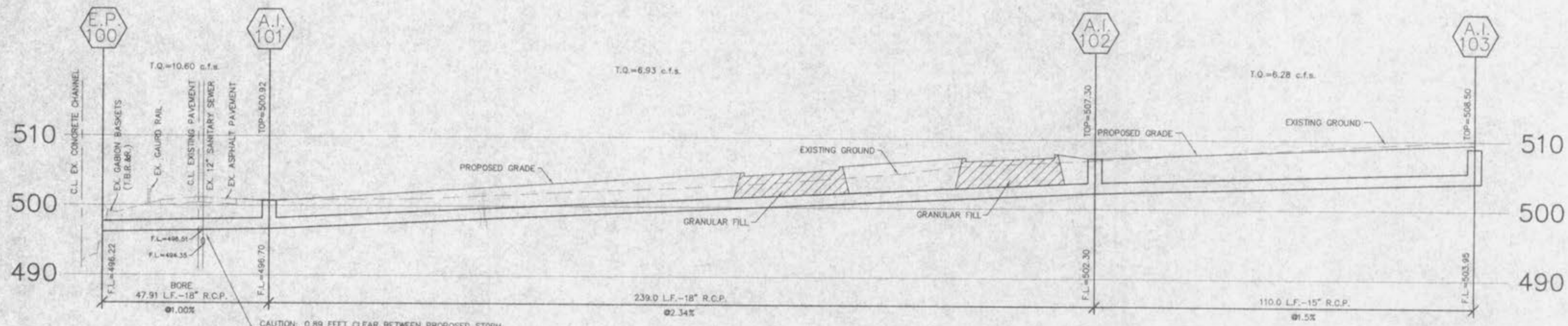
95-7726  
PROJECT NUMBER

2 OF 3  
SHEET OF

7726 DWG  
FILE NAME

DJB RLF  
DRAWN CHECKED

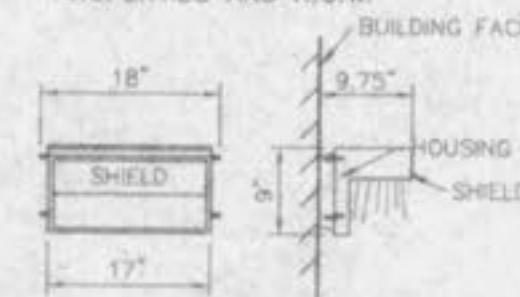
"THIS SHEET FOR DRAINAGE AREAS ONLY, NOT TO BE USED AS CONSTRUCTION PLANS."



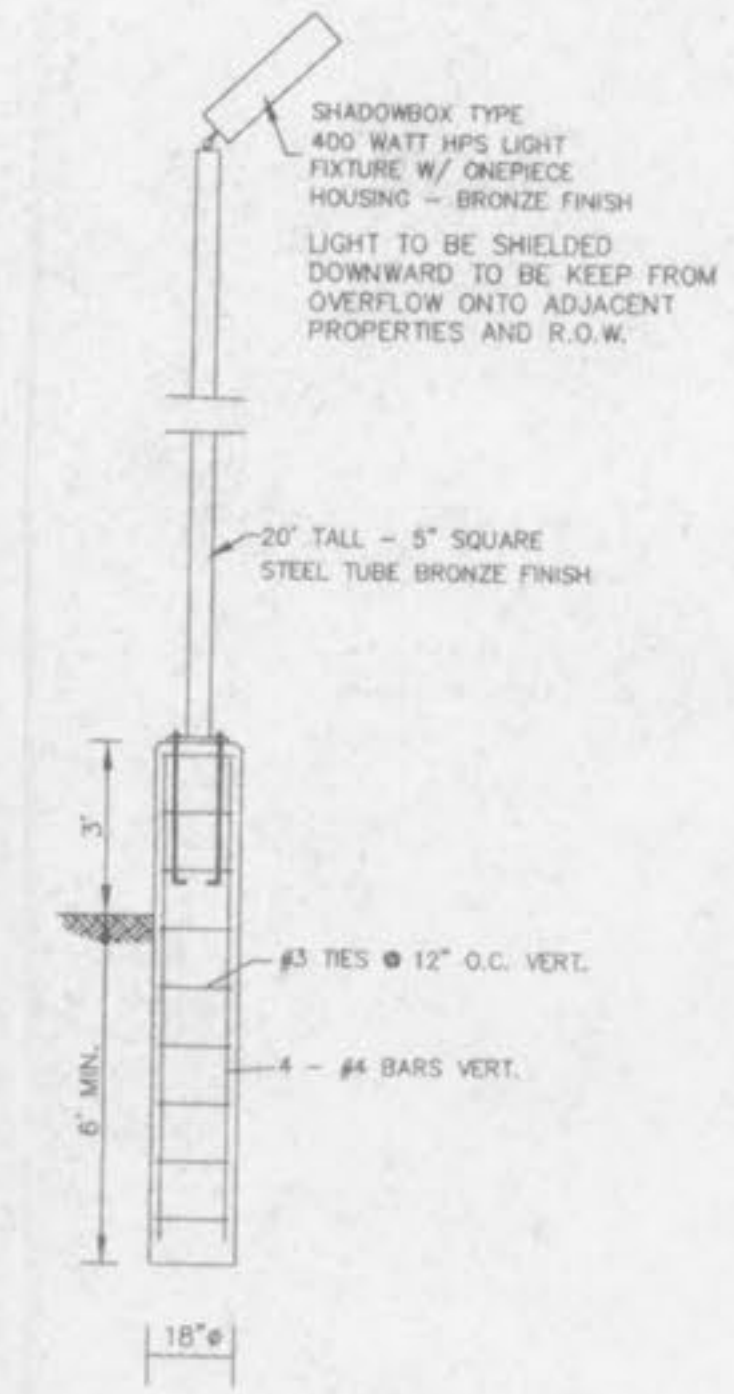
**STORM SEWER PROFILE**

SCALE: HORIZ.-1"=20'  
VERT.-1"=10'

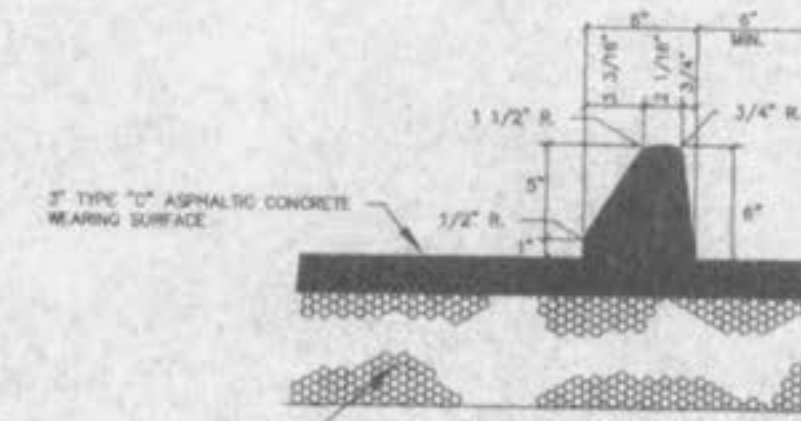
LIGHT TO BE SHIELDED DOWNWARD TO BE KEEP FROM OVERFLOW ONTO ADJACENT PROPERTIES AND R.O.W.



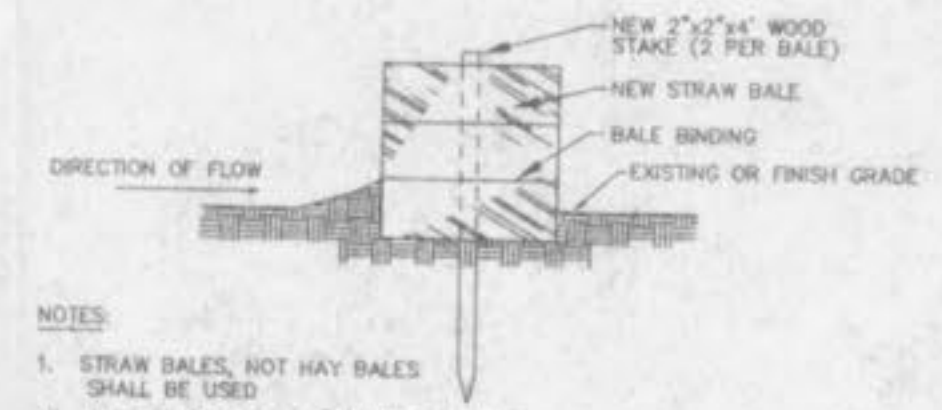
SPECIFICATIONS  
HIGH IMPACT, HEAT RESISTANT PRISMATIC BOROSILICATE GLASS DIFFUSER HOUSED IN A DIE CAST ALUMINUM LENS FRAME.  
250 WATT HIGH PRESSURE SODIUM LAMP SEALED WEATHER RESISTANT HOUSING.  
**BUILDING MOUNTED LIGHT**



**LIGHT POLE & BASE**  
NO SCALE

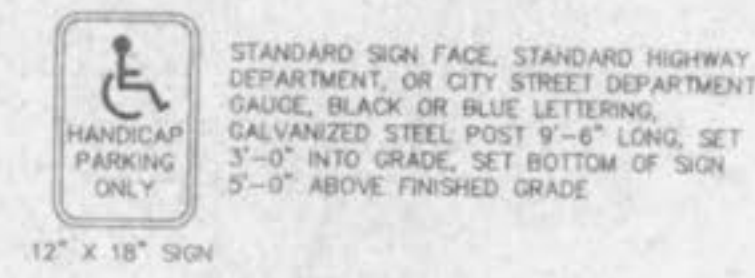


**ASPHALT CURB & PAVEMENT DETAIL**  
N.T.S.

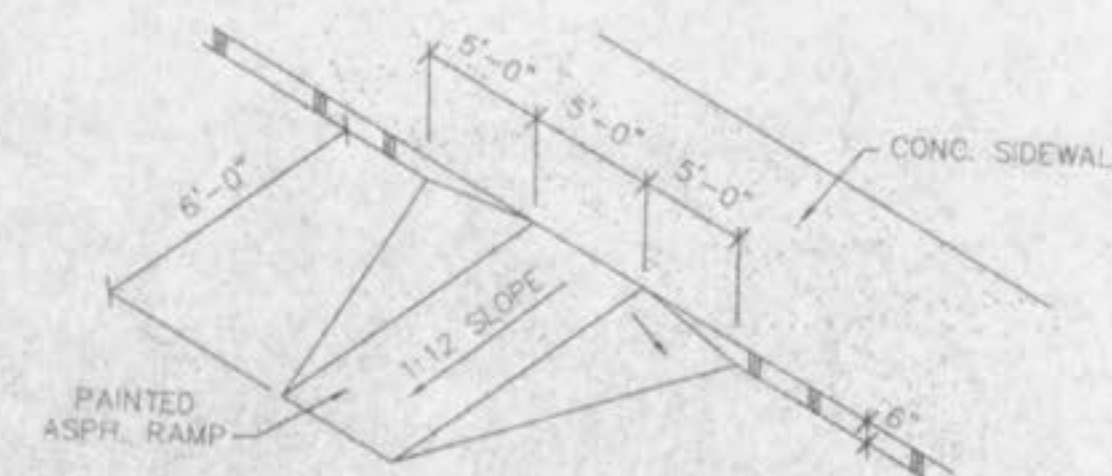


- NOTES:
1. STRAW BALES, NOT HAY BALES SHALL BE USED.
  2. BUTT ENDS OF BALES TIGHTLY TOGETHER.
  3. INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
  4. FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.

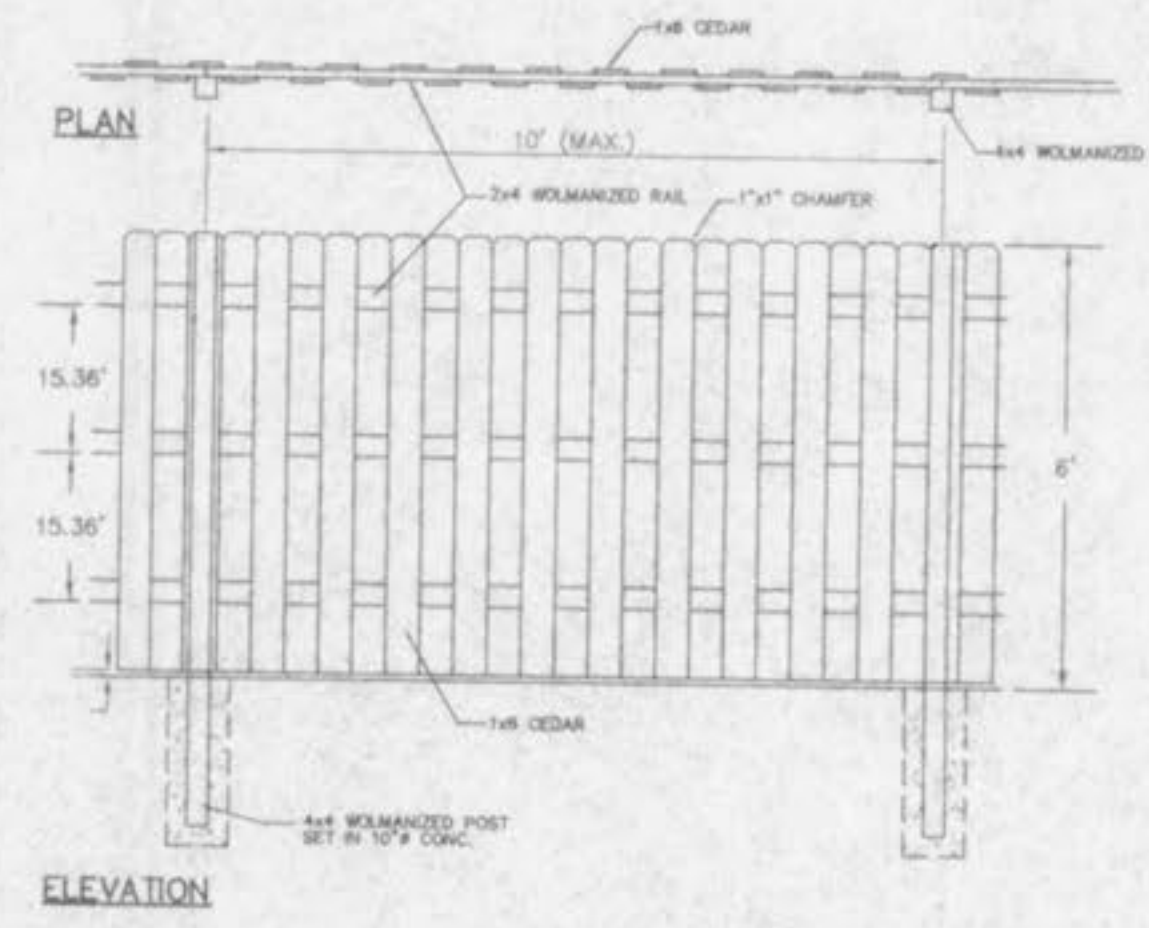
**SEDIMENT BARRIER**  
NO SCALE



**HANDICAP PARKING SIGN**



**HANDICAPPED RAMP DETAIL**  
NOT TO SCALE



**SCREEN FENCE DETAIL**  
SCALE: 1" = 20' HORIZ.

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PHONE: (314)946-9771

PREPARED FOR:

DISCLAIMER OF RESPONSIBILITY  
I hereby certify that the documents herein are the work of my firm and are not to be used for any other project, specification, or contract without the written consent of the engineer or architect.

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REVISIONS

NO.	DATE	DESCRIPTION
5-14-98		CITY COMMENTS
7-20-98		CITY COMMENTS

**BAE**  
ENGINEERING  
PLANNING  
SURVEYING  
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