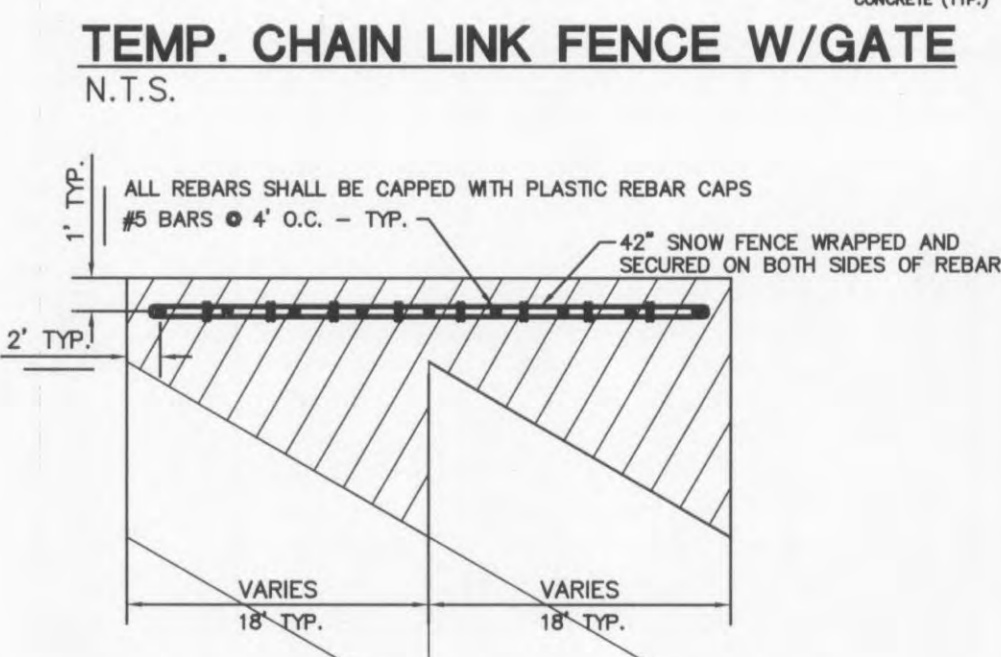
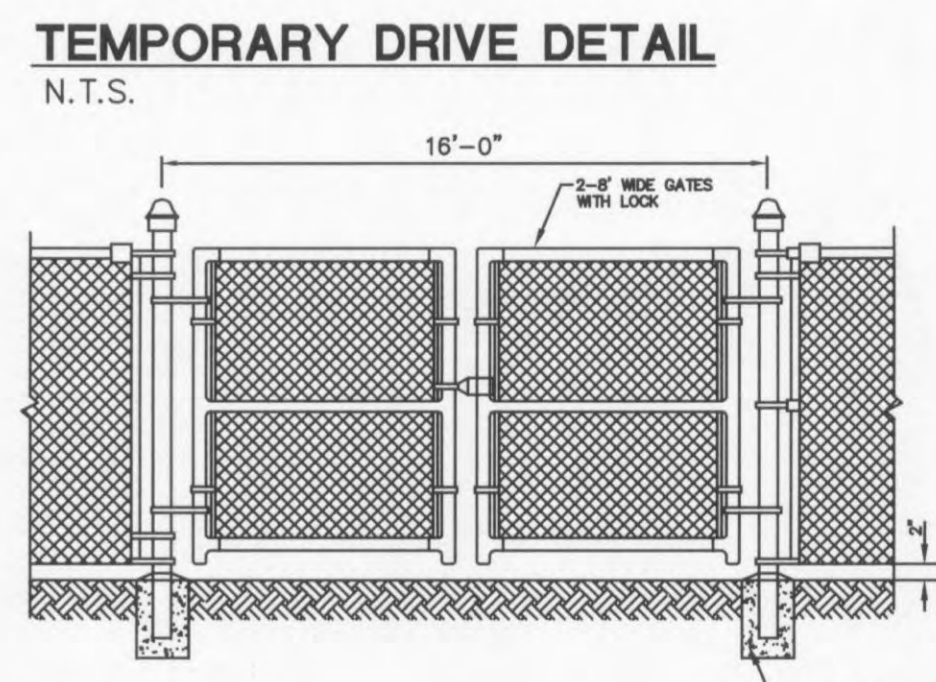
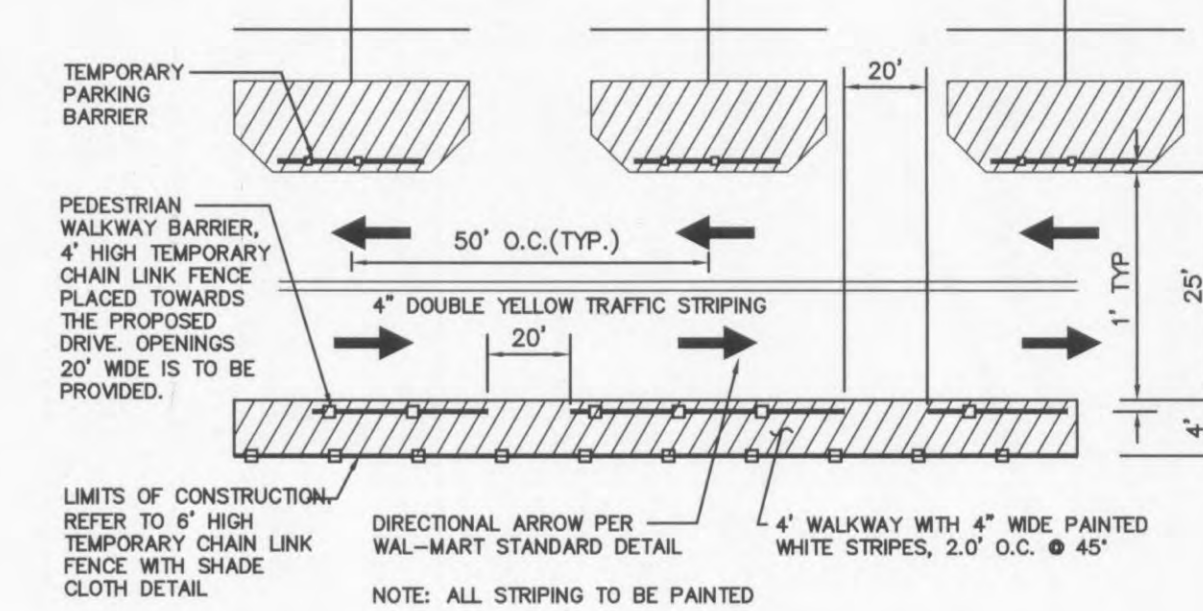
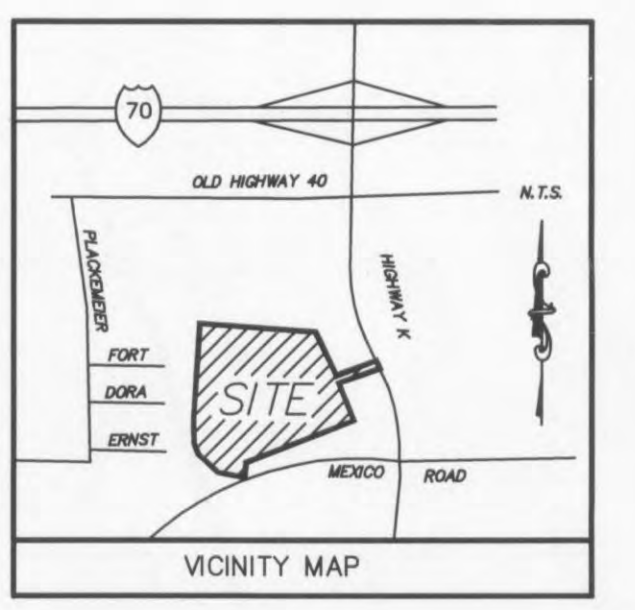


CONTRACTOR IS TO COORDINATE WITH O'FALLON FIRE PROTECTION DISTRICT TO ALLOW 24 HOUR ACCESS WITHIN THE CONSTRUCTION FENCED AREAS. FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION (FDC) ARE TO BE ACCESSIBLE AT ALL TIMES DURING ALL PHASES OF CONSTRUCTION.

ALL UTILITY RELOCATIONS TO BE COORDINATED WITH STORE MANAGER & CONSTRUCTION MANAGER. INTERRUPTIONS TO BE KEPT TO A MINIMUM FOR STORE AND ADJACENT TENANT.

SEE SHEETS D-1, D-1A, D-1B, C-1, C-1A, C-1B, C-2, C-2A, C-2B, C-3, C-3A, & C-3B FOR COMPLETE DETAILS/FORMATION OF UTILITIES AND STORM DRAINAGE THAT IS TO BE INSTALLED AS A PART OF THIS PHASE.

CONTRACTOR SHALL IMPLEMENT AND MAINTAIN TRAFFIC CONTROL DEVICES DURING ALL PHASES OF CONSTRUCTION IN ORDER TO MAINTAIN VEHICULAR CIRCULATION AND SAFE PEDESTRIAN ACCESS.



REFER TO PLANS BY CBB FOR TRAFFIC CONTROL IN HWY K R.O.W.

REFER TO PLANS BY CBB FOR TRAFFIC CONTROL IN HWY K R.O.W.

REFER TO PLAN SHEETS ES-2, ES-2A, ES-2B, ES-3, ES-3A, & ES-3B FOR BMP PLACEMENT DURING THIS PHASE OF CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN ACCESS TO CUSTOMER ENTRANCE AT ALL TIMES.

WHEN CONSTRUCTION AREA SHOWN IS COMPLETE, CONTRACTOR SHALL ERADICATE TEMPORARY STRIPING AND RESTORE LOT PER THE SITE PLAN.

EXISTING WAL-MART
(TO REMAIN)

CONTRACTOR TO ONE STORY CONCRETE MAINTAIN ACCESS TO LOCK BUILDING EXISTING TRUCK DOCK AT ALL TIMES THROUGHOUT CONSTRUCTION

ADJACENT TENANT BUILDING DEMOLITION SHALL NOT COMMENCE PRIOR TO 10/01/2008

CONTRACTOR SHALL MAINTAIN 18' WIDE ALL WEATHER ACCESS ROAD AT ALL TIMES

BUILDING DEMOLITION

EXISTING SHOPS
(TO REMAIN)

EXISTING MINI ANCHOR
(TO REMAIN)

UPON COMPLETION OF UNDERGROUND DETENTION INSTALLATION CONTRACTOR SHALL PUT DOWN 1.5" ASPHALT BINDER OVER EXPOSED AREA AND RESTRIPE TEMPORARY PARKING

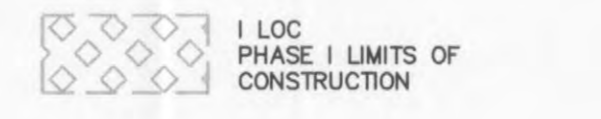
GENERAL CONTRACTOR SHALL LOCATE JOB TRAILER IN A LOCATION WHERE WATER IS READILY ACCESSIBLE

EXISTING DETENTION POND SHALL REMAIN FUNCTIONAL AND WITHOUT ANY FILL MATERIAL, UNTIL PROPOSED UNDERGROUND DETENTION SYSTEM IS COMPLETED AND IN SERVICE.

ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING SITE SHALL USE THIS ENTRANCE

LIMITS OF CONSTRUCTION

SEE EROSION, SEDIMENT & POLLUTION CONTROL PLAN FOR ACTIVITIES TO OCCUR WITHIN EACH STAGE



OWNER-
THE O'FALLON DEVELOPMENT, L.L.C.
2127 INNERBELT BUSINESS CENTER DR.
SUITE 200
ST. LOUIS, MISSOURI 63114
CONTACT: MR. DARREN RIDENHOUR
(314) 428-0900
(314) 428-0899

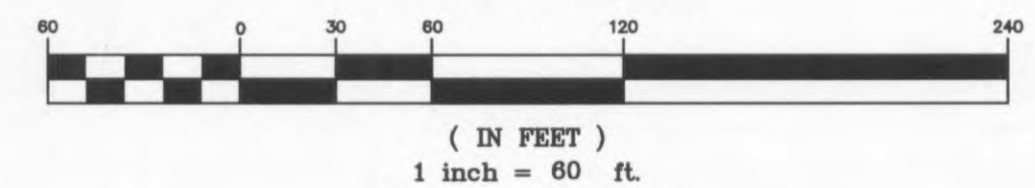
PHASE I DESCRIPTION

- DURING THIS PHASE OF CONSTRUCTION THE UNDERGROUND DETENTION SYSTEM WILL BE INSTALLED. THE RETAINING WALLS WILL BE CONSTRUCTED. PART OF THE EXISTING DETENTION POND WILL BE FILLED IN. THE EXISTING UTILITIES IN THE EXPANSION AREA WILL BE RELOCATED. HIGHWAY K ROAD IMPROVEMENTS WILL BE CONSTRUCTED. PORTIONS OF THE PARKING LOT WILL BE REHABILITATED. THE NEW GENERAL MERCHANDISE (GM) VESTIBULE WILL BE CONSTRUCTED. THE GARDEN CENTER WILL BE REMODELED. THE AREA BETWEEN THE TLE AND THE GARDEN CENTER WILL BE CONSTRUCTED AND THE EXISTING SHOPS BUILDING WILL BE DEMOLISHED.
- EXISTING SHOPS BUILDING SHALL NOT BE DEMOLISHED PRIOR TO WRITTEN APPROVAL FROM THE PROPERTY OWNER (ANTICIPATED DATE IS 10/01/08).
- PERMANENT AND/OR TEMPORARY UTILITY SERVICES FOR THE EXISTING SHOPS TO REMAIN MUST BE IN PLACE AND OPERATIONAL PRIOR TO DEMOLITION OF EXISTING BUILDING AND UTILITY LINES WITHIN THE EXPANSION AREA. CONTRACTOR SHALL CONSTRUCT NEW SANITARY SEWER SERVICE LINE AND CONNECT TO LATERAL STUB PROVIDED BY OWNER'S GENERAL CONTRACTOR PRIOR TO DEMOLITION OF EXISTING SHOPS SANITARY SEWER SERVICE.
- UNDERGROUND DETENTION SHALL BE CONSTRUCTED PRIOR TO PLACING ANY FILL MATERIAL IN THE EXISTING DETENTION POND.
- PHASE I SITE PAVING SHALL BE COMPLETED IN STAGES AFTER COMPLETION OF PHASE I SITE WORK. MAIN DRIVE AISLE SHALL NOT BE CLOSED UNTIL ALTERNATIVE DRIVE AISLE IS COMPLETED. CONTRACTOR SHALL PERFORM FINAL SURFACE COURSE APPLICATION FOR THE SITE AS SHOWN ON THIS PHASE AND FINAL PAVEMENT STRIPING FOR THE FINISH SURFACE AREAS.
- CONTRACTOR SHALL PHASE ALL DEMOLITION AND CONSTRUCTION IN ORDER TO MINIMIZE THE DISRUPTION TO EXISTING TENANTS TO REMAIN. PHASING OF THE PARKING LOT IMPROVEMENTS CAN AND SHALL BE ADJUSTED AS NEEDED TO ACCOMMODATE THE NEEDS OF THE EXISTING TENANTS, PROPERTY OWNER, CONSTRUCTION MANAGER AND STORE MANAGER.
- CONSTRUCTION DURING THIS PHASE OF SITE WORK GENERALLY CORRESPONDS TO PHASES 1A, 4A, 6A, AND 6B OF THE BUILDING CONSTRUCTION SEQUENCING PLAN.

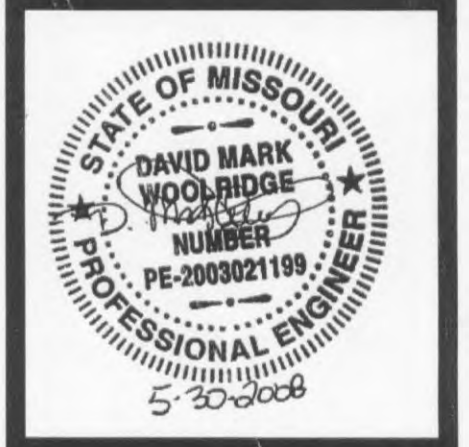
PLANNING AND DEV. DEPT. FILE NO.: 00-109.02
DATE OF PLANNING APPROVAL: 09/06/2007

PHASE I PHASING PLAN

GRAPHIC SCALE



Wolverton & Associates
Consulting Engineers + Land Surveyors
6745 Sugarloaf Parkway • Suite 100 • Duluth, Georgia 30097
Phone: (770) 447-8699 • Fax: (770) 447-9070
www.wolverton-assoc.com



PROPOSED EXPANSION TO WAL-MART #2616-04
O'FALLON POINTE CENTRE
O'FALLON, MISSOURI 63366
BY: WAL-MART REAL ESTATE BUSINESS TRUST
BENTONVILLE, AR.

REVISIONS	BY
ADDENDUM 6 6/16/08	CER

DRAWN BY	CER
CHECKED BY	DMW
DATE	05/30/2008
SCALE	1" = 60'
JOB No.	06-107
SHEET NUMBER	

PH-1
EDDS • 6065