

SPECIFICATIONS & NOTES (REFER TO PROJECT MANUAL FOR COMPLETE SPECIFICATION)

GENERAL REQUIREMENTS

- All Work shall be done in a safe and workmanlike manner and in strict accordance with the local governing Building Code, National Electric Code, and all applicable regulations and ordinances having jurisdiction.
- Each Subcontractor is responsible for having a thorough knowledge of all Drawings and Specifications in their related field. The failure to acquaint himself with this knowledge does not relieve him of any responsibility for performing his work properly. No additional compensation shall be allowed because of conditions that occur due to failure to familiarize workers with this knowledge.
- The Owner (Wal-Mart) shall occupy the building during construction and the Contractor shall coordinate with Wal-Mart all construction procedures which will interfere with the normal operation of the store. The Contractor shall obtain permission from Wal-Mart for all interruptions of utility services to the Existing Building. Accidental interruptions shall be remedied immediately with appropriate forces.
- The Existing Building shall be protected from moisture, dust, and debris. Install dust partitions or drapes as shown or as required to keep dust and moisture from the existing store premises. Consult Wal-Mart Construction Manager regarding the requirement of Security boxes at openings.
- Any damage to Wal-Mart's property which is damaged during the process of construction shall be repaired/replaced at no additional cost to Wal-Mart. This includes all damages. Contractor shall pay Wal-Mart the retail cost for all damaged merchandise.
- The Contractor shall maintain the integrity of the Existing Building security at all times. This includes keeping the building secure from persons, environmental elements, or hazards. The Contractor shall be responsible to maintain the integrity of all existing security systems. The Contractor shall obtain permission from Wal-Mart Store Manager prior to the modification of any existing security system for the opening (demolition) of any exterior wall.
- The Contractor shall keep the construction area clean and free of debris and remove trash and debris from construction area daily. No flammable materials/liquids may be stored in the Existing Building or the Addition. During construction, two UL listed 2A-20BC dry chemical extinguishers shall be accessible at all times to construction personnel within the affected construction areas.
- Remove any existing items, services, finishes or surfaces as required for the installation of new construction. Provide furring for conduits and piping, shown or not, and finish out furring to match adjacent existing finishes.
- Repair, re-route, and extend all services, piping, conduit of existing items and equipment as required during the construction process for the complete installation and operation of new equipment. This includes all items shown or not shown on the Drawings. Reset existing equipment or related items as required for proper operation.
- Where existing finishes are to remain, clean, repair, patch and repaint as necessary to blend into Work.
- The Contractor shall supply to the Wal-Mart Store Manager a written schedule of work in order that the Wal-Mart Store Manager may schedule his sales force around the construction activity. This schedule shall be updated weekly and as construction scheduling problems arise.
- The Contractor shall order materials in advance to prohibit delay of the construction of this Addition. It is the responsibility of the Contractor to coordinate delivery of materials in an expeditious manner. It is imperative that the roof framing, decking and roofing system be completed immediately upon the demolition of the exterior wall to eliminate potential water damage or moisture infiltration. The Contractor shall keep the building watertight at all times.

GENERAL REQUIREMENTS (SITE VERIFICATION)

- The Wal-Mart Construction Manager and/or the Architect has made field inspection of existing conditions and the Drawings indicate existing conditions found in the field. It, however, remains the responsibility of the General Contractor to verify all existing conditions prior to the submission of his bid and to the commencement of any Work.
- These Contract Documents have been designed and drawn assuming existing building conditions match the Original Drawings. The General Contractor, immediately upon arrival at the Site, shall verify all existing structural column dimensions, structural bearing members, existing elevations, top of masonry elevations, joint bearing elevations, and existing conditions (whether noted or not) prior to the fabrication of any structural items or the ordering of any materials. If discrepancies are found between what is shown on the Drawings and existing field conditions, contact the Wal-Mart Construction Manager and Architect immediately to determine what action should be taken to match existing conditions. The beginning of structural steel fabrication by the General Contractor or Vulcraft means acceptance of the existing conditions.
- All utility locations shown are approximate. The Contractor shall field verify the exact locations of all existing utilities (whether shown or not) prior to the submission of his bid or the commencement of construction. The Contractor shall notify the Wal-Mart Construction Manager/Architect of the discovery of existing utilities not shown or noted on the Drawings.
- The Contractor shall field locate and verify all property lines, easements, setbacks and restrictions. A Registered Surveyor shall establish all property lines and setbacks prior to the commencement of construction and clearly flag property lines and setbacks. It remains the responsibility of the Contractor to determine exact location of all said boundaries.
- The Contractor shall verify exact location and depths of underground utility services prior to any excavation.
- The Contractor shall verify all grades and proposed final grades. If ramps, stoops or stairs are installed, verify final grade surrounding the new construction and adjust the stair treads, ramp lengths, etc. to accommodate the required ramp slope or riser heights.
- The Contractor shall verify the existing finish floor elevation at all new openings of the existing building prior to establishing the finish floor elevation. The Contractor shall verify existing footing depths and match at new Addition to ensure proper block coursing. Report any discrepancies immediately and prior to construction.
- The Contractor shall establish the finish floor elevation to match the existing finish floor. The procedure to establish the finish floor shall be to remove a small portion of a block. The Contractor may not remove the total block in the proposed opening prior to the roof being watertight. Coordinate with the Wal-Mart Construction Manager and Store Manager prior to removing the masonry for the new opening.
- The General Contractor shall core the roof insulation to determine thickness prior to bidding. It is the Contractor's responsibility to match existing roof insulation thickness on the Addition.
- Report any discrepancies found in the field immediately to Wal-Mart Construction Manager and the Architect for clarification prior to making any modifications to the construction or the ordering of any materials.

GENERAL DEMOLITION NOTES

- All demolition shall be carried out in a safe manner and in strict accordance with OSHA regulations.
- The Contractor shall field verify the extent of demolition. The Work includes, but is not limited to, the demolition and removal of walls, doors, fixtures, plumbing, mechanical and electrical items including conduits and ductwork as shown on Drawing or as required for the installation of the new Work for a complete job.
- When utilities are removed, cap and seal a minimum of 8" below finish floor or a minimum of 6" above finish ceiling.
- When removing existing structural items, it is the Contractor's responsibility to provide adequate shoring, bracing and support systems to keep the existing structure intact and in a safe condition.
- The Contractor shall remove existing paving under the proposed Addition. If the top of paving is more than 18" below finish floor, the Architect may allow this paving to remain. Contact the Architect for permission for the specific Project.

SITE WORK

- The Contractor shall establish the final grade around the Addition to ensure positive drainage around the building Addition and the existing building. Under no circumstances will ponding be allowed on paved surface area.
- Remove all existing paving which interferes with the construction of the New Addition. At job's completion, replace all paving required for a complete job. Match existing paving material (asphalt or concrete) in thickness and in reinforcement. Provide 95% proctor density compacted sub-base under all new pavement.
- For concrete paving, provide expansion joints at 20'-0" o.c.e.w. All concrete paving shall have a minimum design strength of 3,000 psi at 28 days (3 sock mix).
- If existing soil or grass is disturbed during construction, provide a minimum of 4" top soil and reseed/grass or sod. If slope of disturbed grade is greater than 5%, provide solid grass sod to prohibit erosion. The Contractor shall be responsible for establishing the turf.

MASONRY

- Standard concrete blocks: ASTM C90 grade N, Type I, modular sizes complete with corners, bases and fillers to match and complement block units. Provide light-weight CMU above finish floor and normal-weight CMU below finish floor. Grout solid all CMU below finish floor.
- Masonry setting mortar: ASTM C270, Type S for load bearing and Type N for non-load bearing.
- Grout mix: ASTM C476 with minimum compressive strength of 2,500 psi at 28 days.
- In all ungrouted cells of new exterior masonry block walls, install loose fill masonry insulation (Zonolite or Perifoil). Foamed-in-place insulation may be installed in non-fire rated construction.
- Grout all cells which contain steel reinforcement. Grout masonry cells in accordance with SBC-Chapter 14.
- Install concrete masonry units in running bond with concrete tool joints to match existing building.

THERMAL AND MOISTURE PROTECTION

- New Roof: Single ply membrane system (Z2) Ref. Spec. 07531-22
- New rigid insulation shall match existing building insulation in thickness.
- Mechanically fasten roof insulation to deck in accordance with Factory Mutual and UL-1-90 requirements.
- All flashing shall be installed in strict accordance with SMACNA Architectural Sheet Metal Manual.
- New gutter and downspouts shall match profiles of existing and shall be 24 gauge. Relocation of downspouts and gutters only if shown on Drawings.
- The Contractor shall remove the existing gutter and downspouts at the new construction area. Provide temporary gutter and downspouts and water diversion as required during the construction process to prohibit water from entering the construction slab area. It is the Contractor's responsibility to divert water as necessary to prevent damage to the construction area. Coordinate with the Wal-Mart Construction Manager.
- Provide positive drainage from the existing roof onto the new roof. Notify the Wal-Mart Construction Manager if there is ponding on the existing roof.

WOOD/METALS

- All blocking and miscellaneous wood: PF20, S4S wolmanized Southern Pine or Douglas Fir.

DOORS

- DOORS 1.5 AND 8:** 3'-0"x7'-0"x1 3/4" thick hollow metal door hollow metal frame.
- HOLLOW METAL DOORS:** 18 ga. galv. steel constr. conforming to SDI-100. Fabricate head with inverted unperforated channel flange with top edge to exclude water. Core construction shall be one of the following: (a) 22 ga. vert. steel stiffeners with loose fill insulation between stiffeners, (b) polyurethane foam 20 psi strength, 1.8 pcf density, or (c) polystyrene foam, 1500 pcf compressive strength, 18 psi shear strength.
- HOLLOW METAL FRAMES:** Frames shall be 16 ga. galv. steel, mitered, and welded as one unit.
- EXIT DOORS:** All exit doors shall be painted on the inside on contrasting background in 1" high letters "THIS DOOR TO REMAIN UNLOCKED DURING OCCUPANCY".
- DOOR 2,3:** 7'-4"x8'-0" Overhead Sectional door with metal angle frame.
- DOOR 4:** 6'-0"x10'-0" Overhead Sectional door with metal angle frame.
- OVERHEAD SECTIONAL DOOR:** Fully weatherstripped sectional doors. Overhead Door Corporation Model Series 422. Other acceptable manufacturers: Atlas, Ceco/Windsor, Clopay, Roynor, and Wayne-Dalton.

FINISH HARDWARE

- Refer to Project Manual (Specifications) for Hardware sets.

FINISHES

- Floor: All exposed concrete floor in Stockroom Addition shall be sealed with Sonneborn Building Products, Kure-N-Seal, 3 coats - 2nd & 3rd coat installed at occupancy.
- Walls (Interior): 1st coat: Sherwin Williams Blockfiller 2nd coat: Pro Mar 400 Latex Eg-Shell (B20 Series)
- Walls (Exterior): 1st coat: Sherwin Williams Blockfiller 2nd coat: SW A-100 AB Series (as required to cover) 3rd coat: SW A-100 AB Series (as required to cover)
- Ceiling: Exposed roof structure and deck. 1st coat: PPG SpeedHide Inhibitive White Primer by Vulcraft 2nd coat: PPG SpeedHide Latex Dry Fog, Flat White. Point to cover.
- Exterior Ferrous Metal Surfaces: 1st coat: Kern Kromik Primer (B50 Series) 2nd coat: Industrial Enamel (B54 Series)
- Galvanized Steel Surfaces: 1st coat: Galvanized steel primer 2nd coat: Pro Mar 400 Alloy Semi-Gloss (B34 Series)

FIRE SPRINKLER SYSTEM

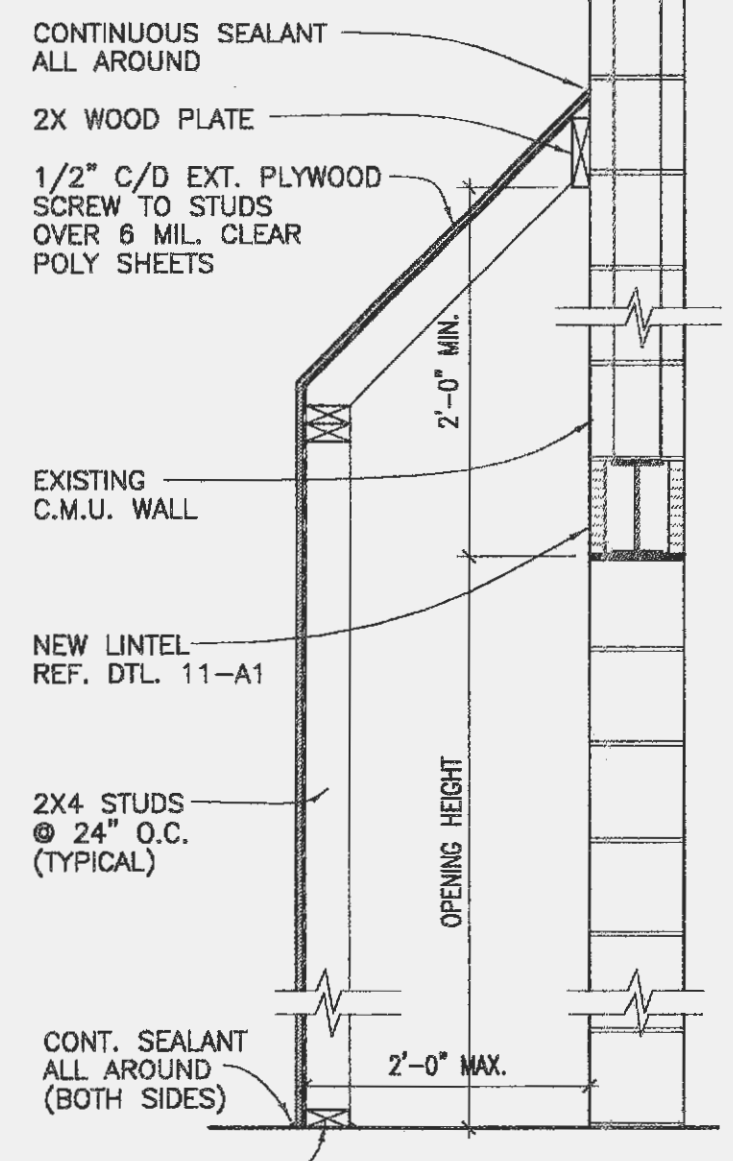
- The Sprinkler System Sub-Contractor shall prepare a complete proposal, complete with Drawings indicating location and spacing of heads, pipe sizes, service pipe size and routing to existing water service for existing sprinkler system. Hydraulic calculations shall include piping from the top of the riser. Water test information shall also be provided with the Drawings.
- All plans and Specifications of sprinkler proposal shall be submitted to A.I.E. Inc., Attn: Ms. Susan Warmann, Alternatives in Engineering, 1314 Highway DD, Defiance, MO 63341, (314) 398-5288, for approval before being submitted, with approval stamp and signature, to Wal-Mart prior to installation of sprinkler system. Allow 30 days for review of submittal.

SPECIALTIES

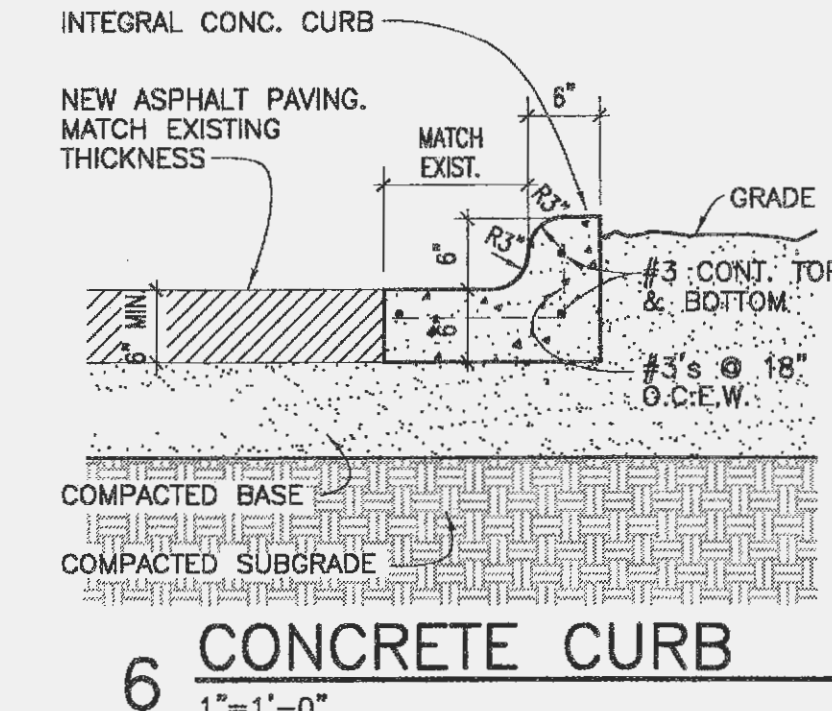
- Joint sealants for interior saw cut concrete joints shall be MM-80.
- Vertical masonry or sloped horizontal joints shall be Sonoborn "Sonoelastic NP2" (2 part).
- Horizontal joints in paving and at building shall be Sonoborn "Sonoelastic SL1" (1 part).
- Relocate photocells and temperature sensors directly across the Stockroom to the new exterior wall if affected by the new construction. These sensors, when relocated, shall face in the same direction prior to the relocation.
- Soil Poison (Termite Control): Toxicant Chemical: Water based emulsion, uniform composition, synthetic dye to permit visual identification of treated soil, of the generic chemical Durban. Dilute and mix toxicant chemical to manufacturer's instructions.
- Wal-Mart will furnish and install warehouse racks in the Stockroom Addition. The Contractor shall anchor racks to the floor. Coordinate with Wal-Mart Store Manager for proper construction sequencing. Install and anchor racks prior to the final two coats of Kure-N-Seal application and possession by Wal-Mart.
- The Contractor will be responsible for relocating the trash compactor, providing the exterior opening, and providing electrical service to the unit. Modification to the chute configuration shall be by Others. Prior to relocation of compactor or ballers, contact Mr. Ron Lucas (501) 273-4481 at Wal-Mart for coordination. Allow a minimum of eight weeks notice prior to the reinstallation of the trash compactor or baller.
- New truck dock guardrail/fence: End & Line Post: Galv. 1.67 a.d. schedule 40 pipe, Top & Bottom Rail: Galv. 1.67 a.d. schedule 40 pipe, Fabric: One piece chain link fabric of 9 gauge Class 1. Knuckle at top and bottom selvaige.

COORDINATE INSTALLATION AND REMOVAL OF WALL WITH THE STORE MANAGER THREE (3) DAYS PRIOR TO CONSTRUCTION OR DEMOLITION

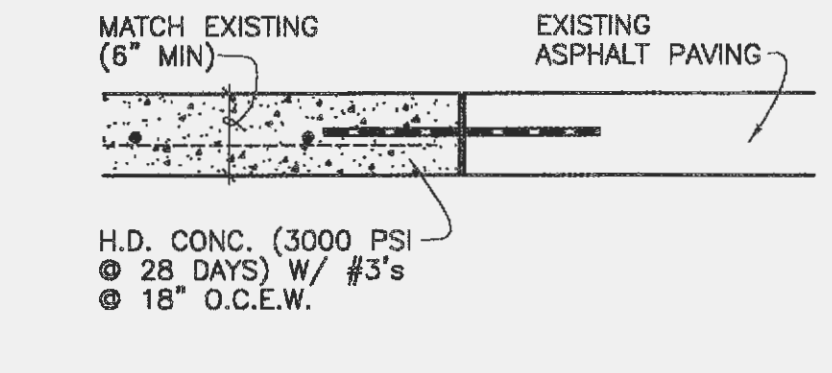
THE GENERAL CONTRACTOR SHALL REPAIR/ REPLACE ANY DAMAGED FLOOR TILE DUE TO INSTALLATION OR REMOVAL OF TEMPORARY SECURITY ENCLOSURE



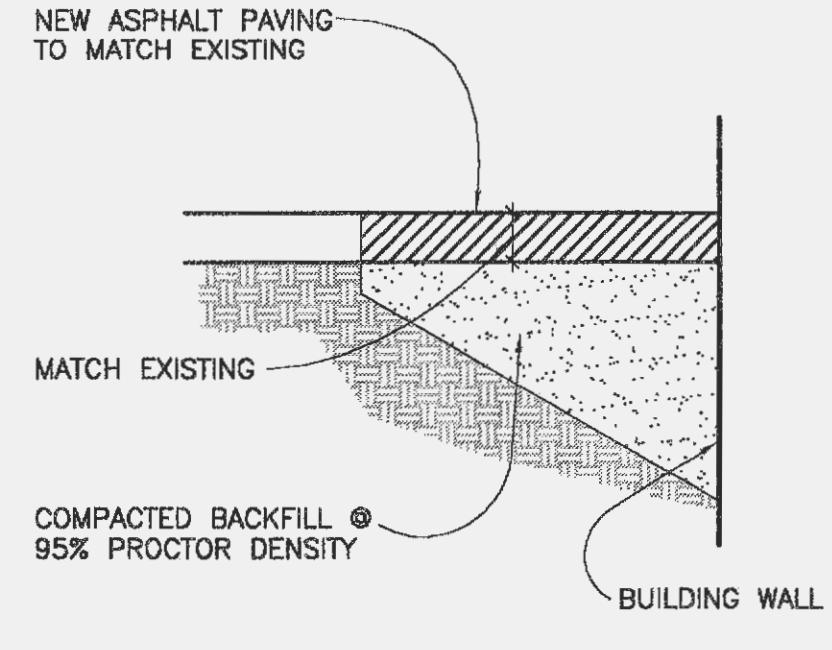
10 SECURITY ENCLOS.
3/4"=1'-0"



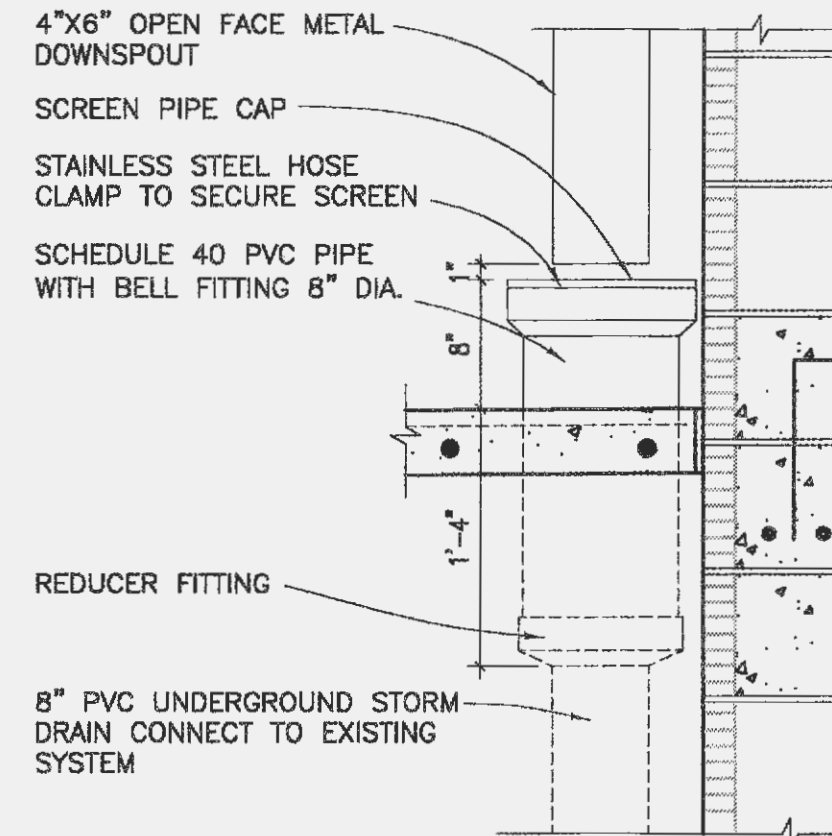
6 CONCRETE CURB
1"=1'-0"



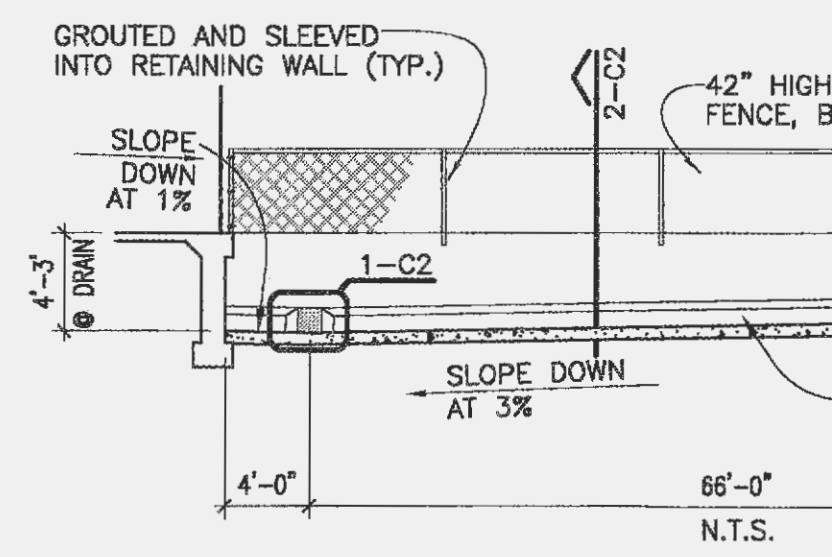
7 PAVING JOINT
1/2"=1'-0"



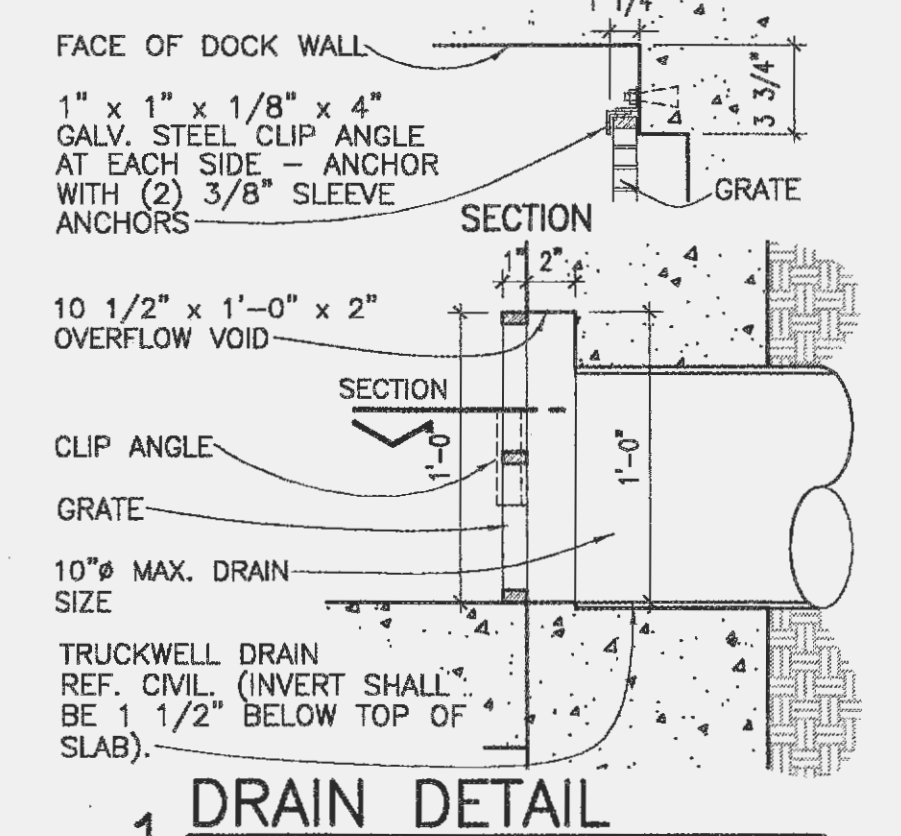
8 PAVING @ BUILDING
1/2"=1'-0"



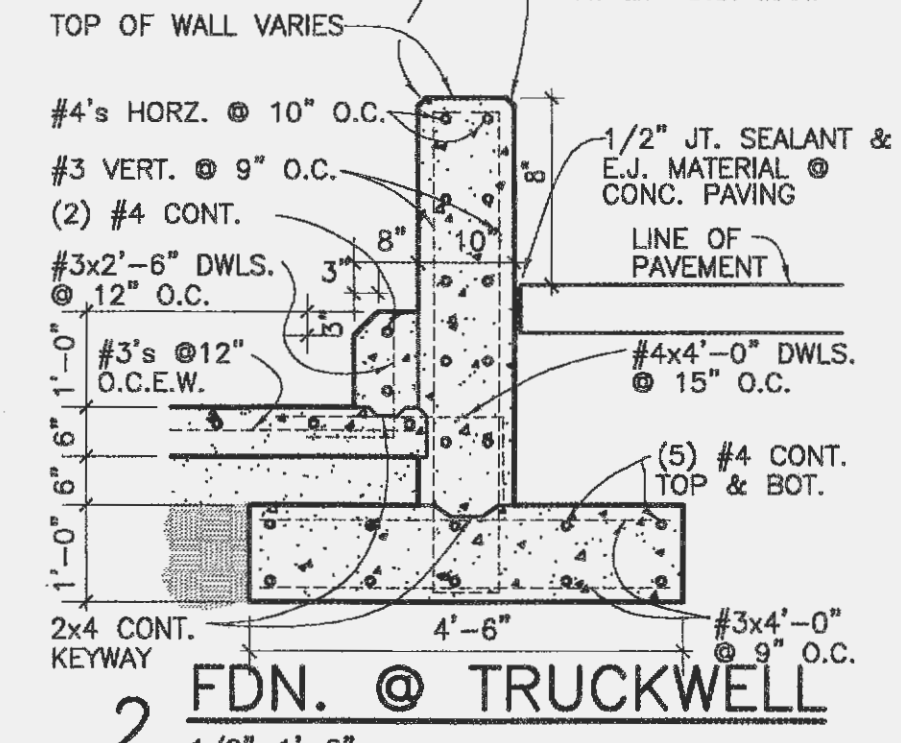
9 DOWNSPOUT BOOT DETAIL
1"=1'-0"



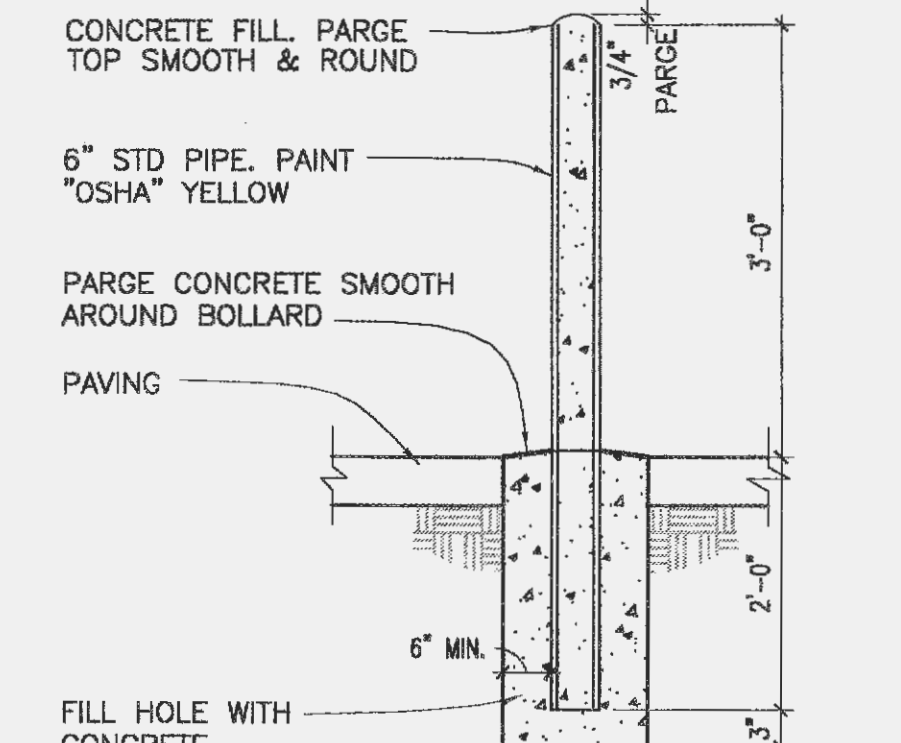
5 TRUCKWELL DETAIL
1/8"=1'-0"



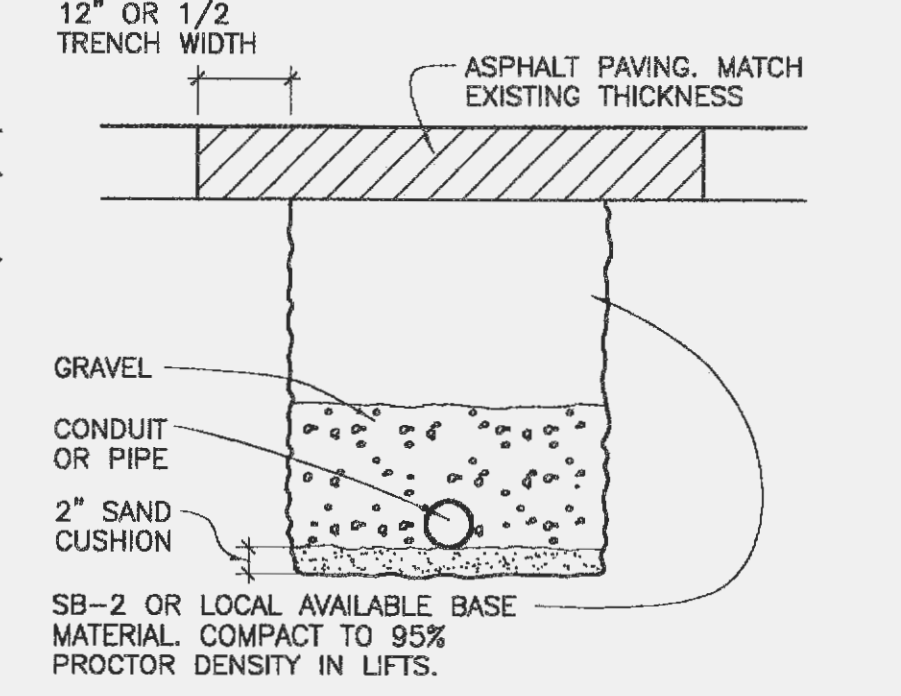
1 DRAIN DETAIL
1/2"=1'-0"



2 FDN. @ TRUCKWELL
1/2"=1'-0"



3 EXTERIOR BOLLARD
3/4"=1'-0"



4 TRENCHING DETAIL
1/2"=1'-0"

STATE OF MISSOURI
REGISTERED ARCHITECT
Raymond H. Harris
NUMBER A-5696

Raymond H. Harris AIA Architect
211 N. Record St. Suite 222
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STATE OF MISSOURI
REGISTERED ARCHITECT
Raymond H. Harris
NUMBER A-5696

8,039 S.F.
WAL-MART
STOCKROOM ADDITION

STORE # 2616

O'FALLON,
MO

WAL-MART STORES, INC.
CONSTRUCTION DEPT. 8702
2001 SOUTHEAST 10th STREET
BENTONVILLE, AR 72712-6489

Sheet Contents:
SITE DETAILS AND SPECIFICATIONS

Drawn By: BB/HL
Checked By: RH

ALL QUESTIONS FROM GENERAL CONTRACTORS RELATED TO THE RECORD OF THIS PROJECT OR THE WORK INVOLVED SHALL BE DIRECTED TO:
WAL-MART STORES, INC.
CONSTRUCTION DEPT. 8702
2001 SOUTHEAST 10th STREET
BENTONVILLE, AR 72712-6489
TELEPHONE: (501) 273-4884

Project Number: 00615
Date: 30 JUNE 2000
Sheet: 3 of 17 sheets

C2