

A SET OF CONSTRUCTION PLANS FOR WALNUT GRILL PARKING LOT AND BUILDING MODIFICATIONS

A TRACT OF LAND BEING LOT 3 OF KEATON CORPORATE PARK #2
IN U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE
FIFTH PRINCIPAL MERIDIAN, CITY OF O'FALLON, ST. CHARLES
COUNTY, MISSOURI

Conditions of Approval From Planning and Zoning

The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:

- All signage shall be reviewed and approved through a separate permitting process.
- Provide a 12 x 20 concrete pad in front of the trash enclosure.
- Remove the parking spaces shown in the throat area of the southern entrance. The location of the spaces violate the Traffic Management Policy.
- Accessible spaces shall be 9 x19 in size. Revise the plans as needed.

Please Note:

- The Site Plan Approval shall expire, and be of no effect, one (1) year after the date of issuance thereof, unless within such time Construction Plans or Building Permits for any proposed work authorized under the said site plan approval has been issued.
- Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by City Staff. A checklist outlining the Construction Site Plan process and application are available on the City's website via www.ofallon.mo.us (City, Departments, Public Works, Engineering), or by request.
- The appropriate Fire District will need to review and approve the development.
- Any signage to be placed on the subject property requires a separate Sign Permit.
- Any business occupying the site requires approval of a Business License.
- All Conditions of Approval shall be noted on the Construction Site Plans.

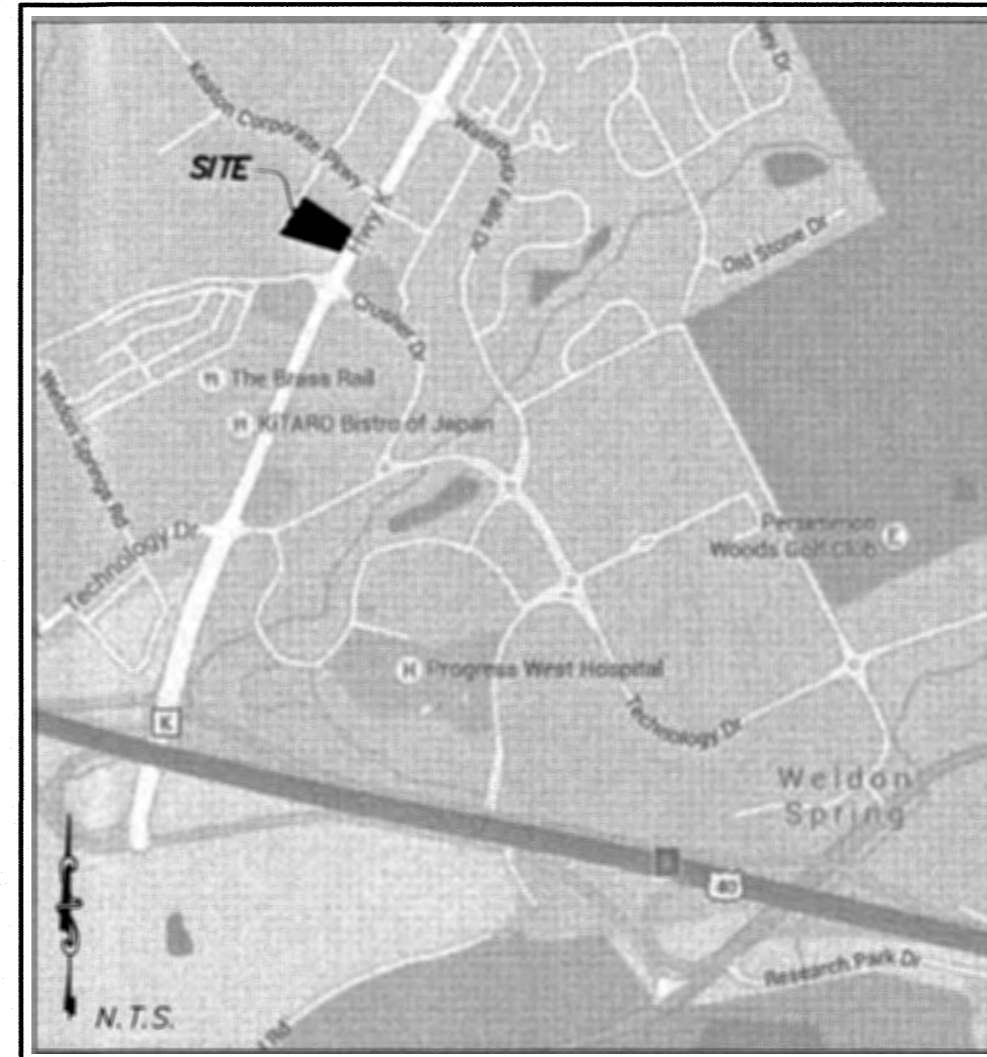
Drawing Index

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	O'FALLON COMMERCIAL NOTES SHEET
3	SITE PLAN
4	DETAILS

Benchmarks Site

SITE BENCHMARK

ELEVATION = 551.33
TOP OF CURB INLET LOCATED NEAR SOUTHEAST CORNER OF
PARKING AREA ADJACENT TO HWY K



Locator Map

Legend

LEGEND	
EXISTING SANITARY SEWER	—●—
PROPOSED SANITARY SEWER	—●—
EXISTING STORM SEWER	—■—
PROPOSED STORM SEWER	—■—
WATER LINE & SIZE	— —
WATER VALVE	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED FIRE HYDRANT	⊕
EXISTING CONTOUR	—○—
PROPOSED CONTOUR	—○—
CONCRETE PAVEMENT	▣
POWER POLE	⊕
GUY WIRE	—○—
LIGHT STANDARD	⊕
GAS VALVE	⊕

Legal Description

A TRACT OF LAND BEING LOT 3 OF KEATON CORPORATE PARK #2
IN U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 3 EAST OF
THE FIFTH PRINCIPAL MERIDIAN, CITY OF O'FALLON, ST. CHARLES
COUNTY, MISSOURI

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: _____ DATE _____
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

3-29-2016 ADDED PRIVATE WATER SERVICE PER PWS#2 COMMENTS

PROJECT CONTACTS

ENGINEER PICKETT, RAY & SILVER, INC. CONTACT: CHRISTINE LOOK 22 RICHMOND CENTER COURT ST. PETERS, MISSOURI 63368 636-397-1211	OWNER WALNUT GRILL O'FALLON, LLC CONTACT: KIRK VOGEL 145 LAKE DRIVE WEXFORD, PA 15090 PHONE: 724-940-7177
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Utility Contacts

Sanitary Sewers

Duckett Creek Sanitary District
3550 Hwy K
O'Fallon, MO 63368
Contact: 636-441-1244

Water

Public Water District No. 2
100 Water Drive
O'Fallon, MO 63368
Contact: 636-561-3737

Storm Sewer

Duckett Creek Sanitary District
3550 Hwy K
O'Fallon, MO 63368
Contact: 636-441-1244

Electric

Ameren UE
200 Callahan Road
Wentzville, MO 63385
636-639-8312

Gas

Laclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone

AT&T
402 N. 3rd
St. Charles, MO 63303
636-479-0117

Fire District

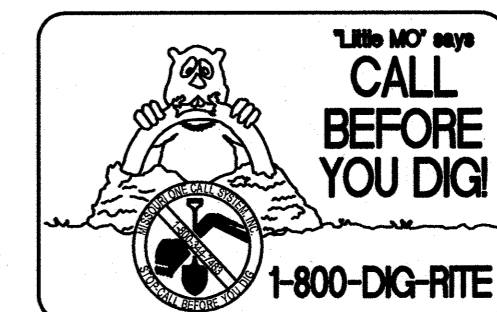
Cottleville Fire Protection District
1385 Motherhead Road
St. Charles, MO 63304
636-447-6655

GENERAL NOTES

- Present Zoning: C-2 General Business
- Proposed Use: Restaurant
- Area of Tract: 1.59 acres
- Project is Served By:
 - Public Water District No. 2 Water
 - Laclede Gas Company
 - AT&T
 - Duckett Creek Sewers
 - Ameren UE
 - Cottleville Fire Protection District
- All utilities shall be located underground.
- Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
- All dimensions taken from face of curb unless otherwise noted.
- Building height, site lighting and signage shall be in accordance with City of O'Fallon's requirements.
- Setback and yard requirements: Front - 25 feet
Side - 0 feet (25' adj. to ROW)
Rear - 0 feet
- Grading and drainage shall be per the requirements of the City of O'Fallon.
- Architectural treatment to be provided on all sides of buildings. Architectural treatment shall remain consistent throughout the project.
- All easements shall be provided for on record plat.
- Exterior lighting details and photometric plan shall be submitted and approved prior to construction plan approval.
- No slope shall be greater than 3:1 during construction and at final grade.
- Per F.I.R.M. #29183C0430E August 2, 1996, site is NOT located within the 100 Year Flood Plain.
- Trash enclosures shall be a minimum of 6 foot high and shall be constructed of materials that match or compliment building architecture. Enclosures shall have vinyl gates matching building colors.
- Signage locations and sizes to be reviewed separately through the Planning Division. Signage shall be permitted separately.
- Backflow prevention devices for water service shall be located inside the building.
- Location of backflow preventer and water services shall be addressed with architectural drawings. Water meter locations shall be coordinated with water company.
- All new utilities under City streets shall be bored.
- All trash pick up and loading and unloading operations will not occur between the hours of 9:00 p.m. and 7:00 a.m.
- All sidewalks and handicap sidewalk ramps shall be concrete and shall meet the City of O'Fallon and ADA requirements on the construction plans.
- No outdoor display of materials or products, temporary or otherwise, shall occur beyond the area between the front of the building and the driveway aisle. No such materials shall be attached or affixed to any exterior wall.
- No Lighting is proposed for this site.
- All proposed fencing requires a separate permit through the Planning Division.
- All sign post and backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by City and MoDOT). Signs designating street name shall be on the opposite side of the street from traffic control signs. All signage shall be reviewed and approved through a separate permit process.
- Ground mounted HVAC and mechanical units shall be screened by vegetation, that has a minimum height that is at least as tall as the tallest unit being screened.
- Utility contractor shall coordinate utility connections with general contractor.
- This site will be in compliance with Phase II Illicit Storm Water Discharge guidelines per Ordinance 5082.
- Damaged curbs to be repaired as needed.

UTILITIES NOTE

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.



PROJECT TITLE
IMPROVEMENT PLANS
WALNUT GRILL
COVER SHEET

PICKETT, RAY & SILVER, INC.
CIVIL ENGINEERING, LAND SURVEYING
AND NATURAL RESOURCES SERVICES
St. Peters, MO 63376
22 Richmond Center Court
St. Peters, MO 63376

DESIGNER'S AUTHENTICATION
THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING
LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE
SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE,
AND DATE HEREON ATTACHED. RESPONSIBILITY IS
EXCLUDED FOR ALL OTHER ENGINEERING PLANS
ISSUED IN THIS PROJECT AND SPECIFICALLY EXCLUDES
REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.
KARL A. SCHENKE, P.E.
LICENSE NUMBER: 2003015039

Developer / Owner Information
WALNUT GRILL O'FALLON, LLC
CONTACT: KIRK VOGEL
145 LAKE DRIVE
WEXFORD, PA 15090
Phone: (724) 940-7177

P+Z No.
3302.07.01
City No. 15-XX-SP

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COVER SHEET
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FRS No. 16003WGRLOOF
TASK 002

Phone (636) 997-1211 Fax (636) 997-1104
www.prs3.com 1-800-706-3916

*** FOR CONSTRUCTION *** 04/11/16 ***