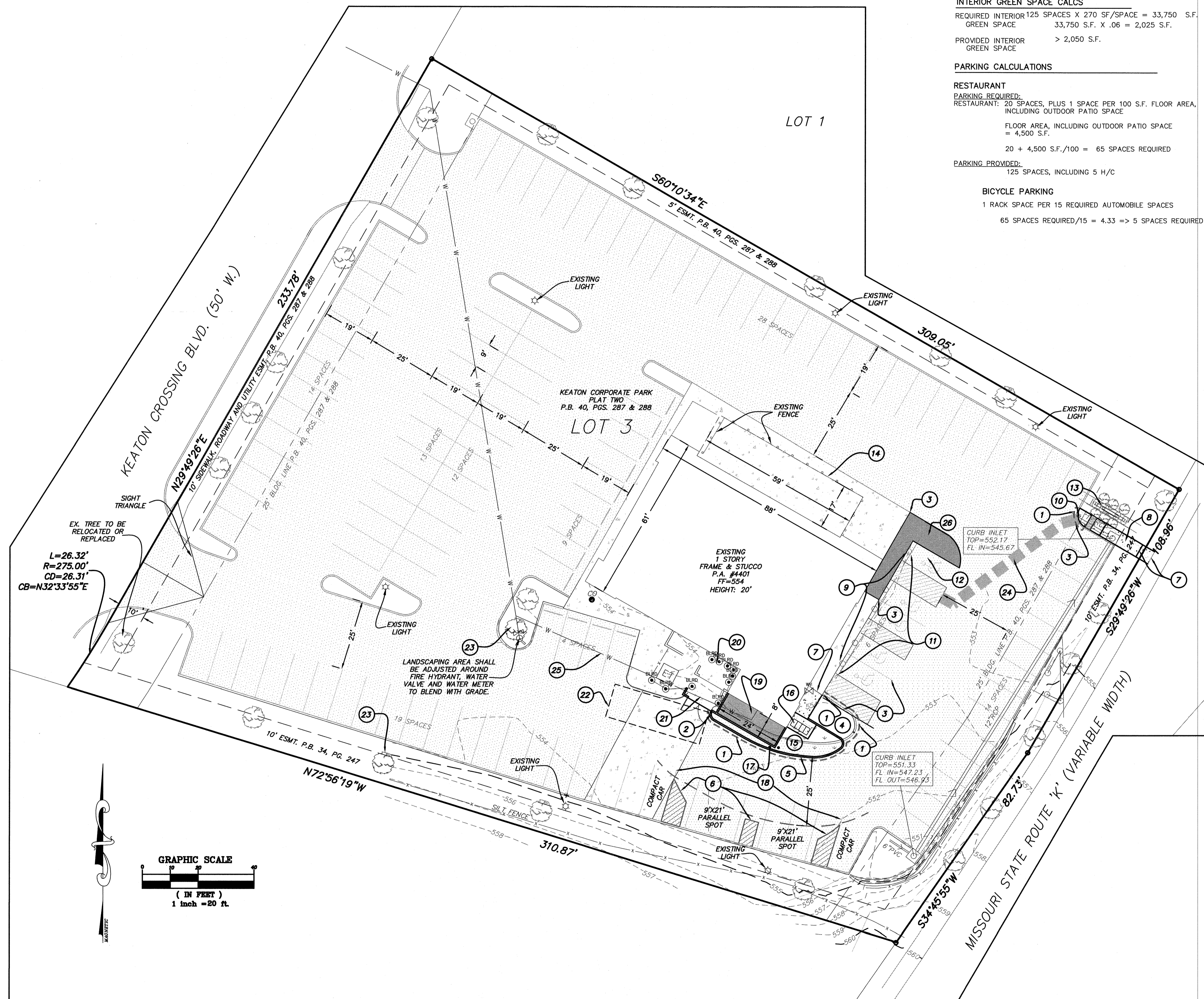
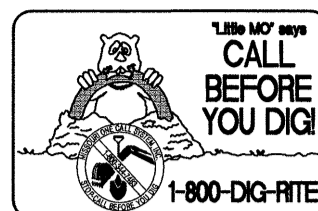


UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



PROPERTY OWNER

OWNER:
WALNUT GRILL O'FALLON, LLC
145 LAKE DRIVE
WEXFORD, PA 15090

INTERIOR GREEN SPACE CALCS

REQUIRED INTERIOR SPACES X 270 SF/SPACE = 33,750 S.F.
GREEN SPACE 33,750 S.F. X .06 = 2,025 S.F.
PROVIDED INTERIOR GREEN SPACE > 2,050 S.F.

PARKING CALCULATIONS

RESTAURANT

PARKING REQUIRED:
RESTAURANT: 20 SPACES, PLUS 1 SPACE PER 100 S.F. FLOOR AREA, INCLUDING OUTDOOR PATIO SPACE

FLOOR AREA, INCLUDING OUTDOOR PATIO SPACE = 4,500 S.F.
20 + 4,500 S.F./100 = 65 SPACES REQUIRED

PARKING PROVIDED:

125 SPACES, INCLUDING 5 H/C

BICYCLE PARKING

1 RACK SPACE PER 15 REQUIRED AUTOMOBILE SPACES

65 SPACES REQUIRED/15 = 4.33 => 5 SPACES REQUIRED

GENERAL NOTES

- ALL PEDESTRIAN WALKWAYS SHALL BE HANDICAPPED ACCESSIBLE PER APPLICABLE REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ACCESS TO DISABLED PERSON PARKING SPACES MUST COMPLY WITH ANSI: THE ACCESS MUST BE AT GRADE OR THE ACCESS RAMP MAY NOT BLOCK THE SIDEWALK, ALLOWING A FOUR FOOT CLEAR WALKWAY.
- ALL SIDEWALKS ENDING AT A CURB SHALL BE HANDICAP ACCESSIBLE.
- ALL EXISTING PAVEMENT AT ENTRANCES SHALL BE SAW CUT.
- ALL NON-PAVED AREAS SHALL BE GRASS.
- ALL CURBING TO BE CONCRETE AND DOWELED ON CURBING IS NOT ALLOWED.
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE COLORS STANDARDS AND SPECIFICATIONS REFERENCED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION.
- CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND LOCATIONS ON ARCHITECTURAL PLANS. NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES.
- CONCRETE WALKS AND CURBS TO BE REMOVED SHALL BE SAWCUT AT THE NEAREST CONTRACTION OR EXPANSION JOINT.
- SIGNAGE AND PLANTINGS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AND RESTORED UPON COMPLETION OF CONSTRUCTION.

SITE KEY NOTES

- SAW-CUT & REMOVE 1.0' OF EXISTING PAVEMENT & CURB, TO FORM SMOOTH, UNIFORM EDGE.
- MATCH EXISTING CURB ELEVATION
- MATCH EXISTING PAVEMENT ELEVATION
- ASPHALT PAVEMENT PER DETAILS SHEET
- CONSTRUCT 6-INCH TALL VERTICAL CURB PER DETAILS SHEET
- PAINT 4-INCH WIDE STRIPE, WHITE
- MATCH EXISTING SIDEWALK, WITH A 5'x5' ADA LANDING AREA (MAX SLOPE 2% ANY DIRECTION).
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER DETAILS SHEET.
- RELOCATE HANDICAP PARKING SIGN PER DETAILS SHEET, REPLACE AS NEEDED
- CONSTRUCT HANDICAP LANDING & RAMP W/ TRUNCATED DOME PER DETAILS SHEET
- RELOCATE CONCRETE WHEELS STOPS AS NEEDED TO ACCOMMODATE H/C PARKING
- RE-STRIPE H/C STALLS PER DETAIL SHEET
- EXISTING SIGN TO REMAIN.
- PROPOSED AWNING SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- PROPOSED GRASS ISLAND
- PROPOSED BIKE RACK PER DETAILS SHEET
- INSTALL BOLLARDS PER DETAIL SHEET
- REMOVE STRIPING
- PROPOSED 8'x24' WALK-IN COOLER/FREEZER - SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- PROPOSED BEER COOLER - SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- INSTALL TRASH ENCLOSURE PER DETAIL SHEET - CONCRETE PAD IS ALREADY IN-PLACE
- 12'x35' LOADING ZONE
- PROPOSED TREE - SEE LANDSCAPING SCHEDULE
- PAINT 2-FOOT WIDE, 4-FOOT LONG CROSSWALK BARS (4-FOOT MAX. SPACING)
- APPROXIMATE LOCATION OF EXISTING PRIVATE WATER SERVICE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION AND MODIFY AS NEEDED TO ACCOMMODATE PROPOSED COOLERS
- REMOVE AND REPLACE EXISTING SIDEWALK AND CURBS.

PROJECT DATA			
BUILDINGS	PAVED AREAS	LANDSCAPED AREAS	TOTAL SQ. FT.
5,300 (8%)	49,108 (71%)	14,852 (21%)	69,260

LANDSCAPE CALCULATIONS

SITE			
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME
○	2	MAGNOLIA, SWEETBAY	MAGNOLIA VIRGINIANA

TREES TO BE PLANTED 10' MIN. FROM SIDEWALK

STREET TREES: 1 TREE PER EVERY 40.00' OF PUBLIC/PRIVATE STREET FRONTAGE.
TREES REQUIRED: 735' * 1 TREE/EVERY 40.00' = 19 REQUIRED

SITE TREES: 1 PER 4,000 S.F. OPEN SPACE 14,852 S.F. OPEN SPACE/4,000 = 4 TREES
TREES PROVIDED: 19 STREET TREES + 2 SITE TREES (EXISTING) 2 ADDITIONAL TREES REQUIRED

**CONIFER TREES MUST BE A MINIMUM OF 6' IN HEIGHT.
**DECIDUOUS TREES MUST BE A MINIMUM OF 2" IN CALIPER

PROJECT TITLE
IMPROVEMENT PLANS
WALNUT GRILL
SITE PLAN

PICKETT, RAY & SILVER INC.
CIVIL ENGINEERING, LAND SURVEYING,
AND NATURAL RESOURCES SERVICES
St. Peters
22 Richmond Center Court
St. Peters, MO 65276
Phone (636) 397-1211 Fax (636) 397-1104
www.prsa.com 1-800-708-3918

ENGINEER'S AUTHENTICATION
THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING
LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE
SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE,
AND DATE HEREON. EXTENDED RESPONSIBILITY IS
EXCLUDED FOR ALL OTHERS. THIS PROJECT IS NOT
INVOLVED IN THIS PROJECT AND SPECIFICALLY EXCLUDED
HEREFROM. SEE THE OTHER PLANS FOR MORE INFORMATION.
PICKETT, RAY & SILVER, INC.
LICENSE #0000225
KARL A. SCHEMME
KARL ANTHONY SCHEMME
NUMBER PE-2003015039
PROFESSIONAL ENGINEER
4-11-16
KARL A. SCHEMME, P.E.
PROFESSIONAL ENGINEER LICENSE 2003015039

Developer / Owner Information
WALNUT GRILL O'FALLON, LLC
CONTACT: KIRK VOGEL
145 LAKE DRIVE
WEXFORD, PA 15090
Phone: (724) 940-7177

P+Z No. 3302.07.01
City No. 15-XX-SP

Page No. 3 of 4
SITE PLAN