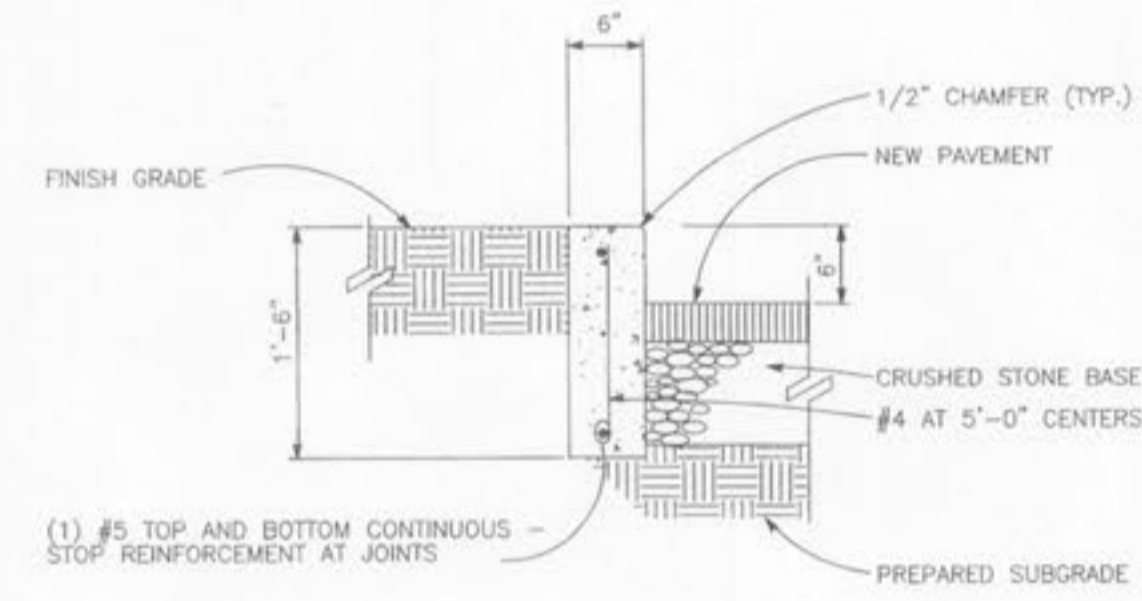
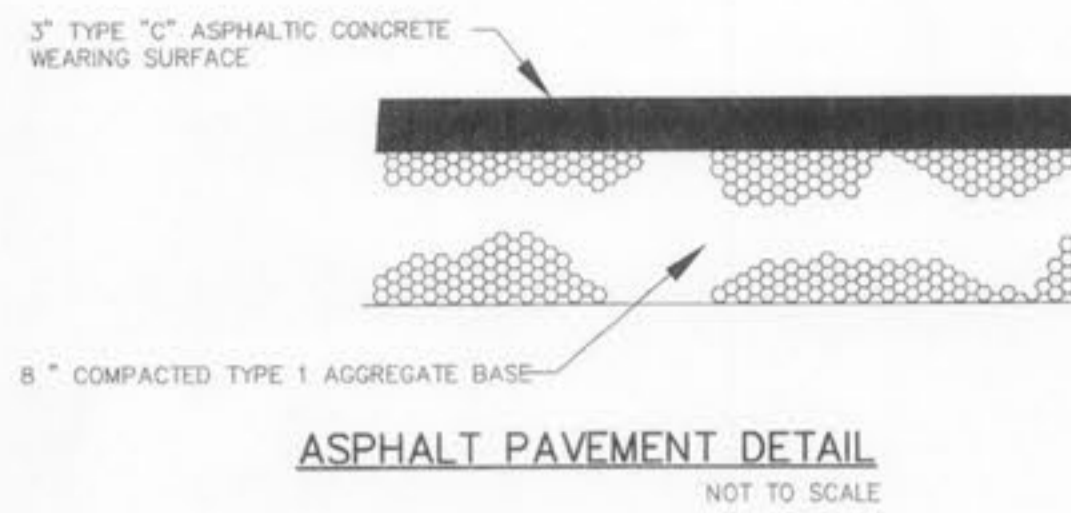
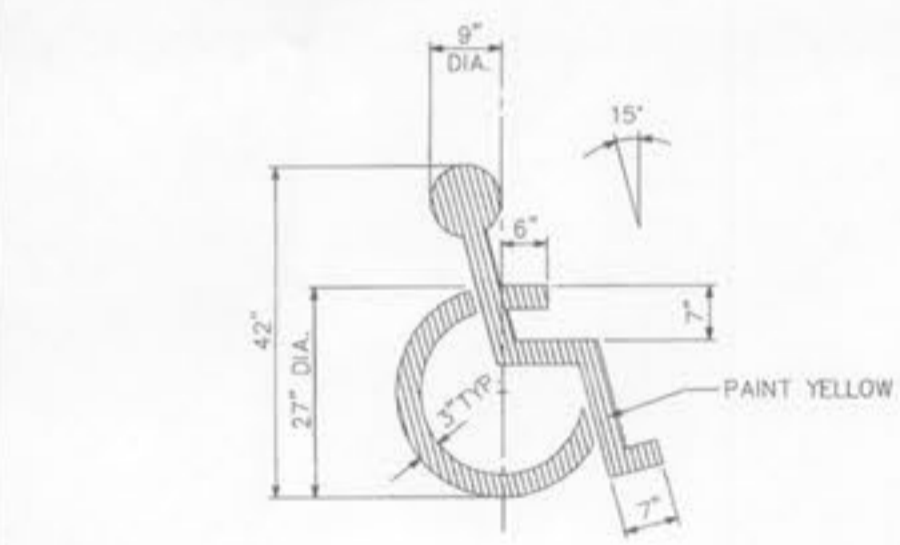


# A SITE PLAN FOR LOT 2 OF WATERBURY COMMERCIAL PLAT ONE

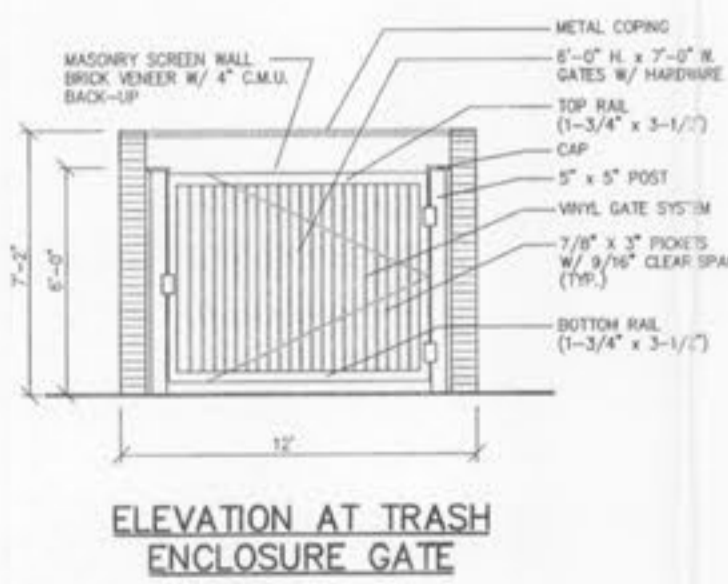
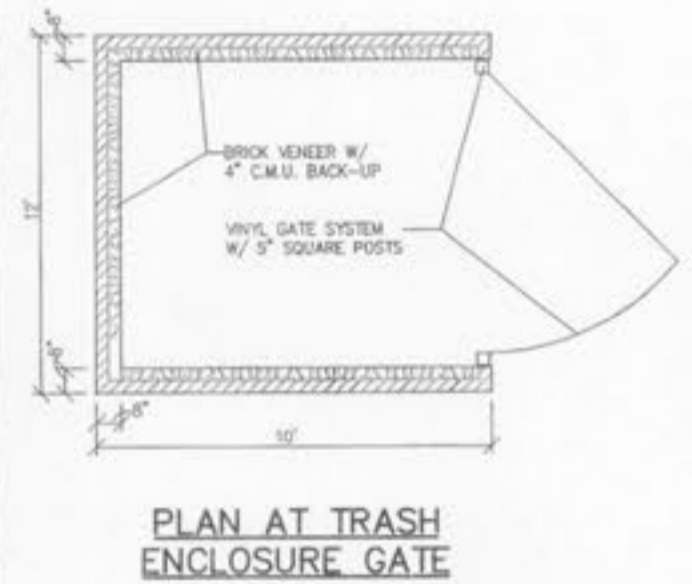
A TRACT OF LAND BEING PART OF LOT 15 OF JOHN D. COALTER'S HOWELL'S PRAIRIE TRACT IN U.S. SURVEY 1669,  
TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI



**CONCRETE CURB DETAIL**  
NOT TO SCALE



**PAINTED HANDICAPPED PARKING SYMBOL**  
NOT TO SCALE

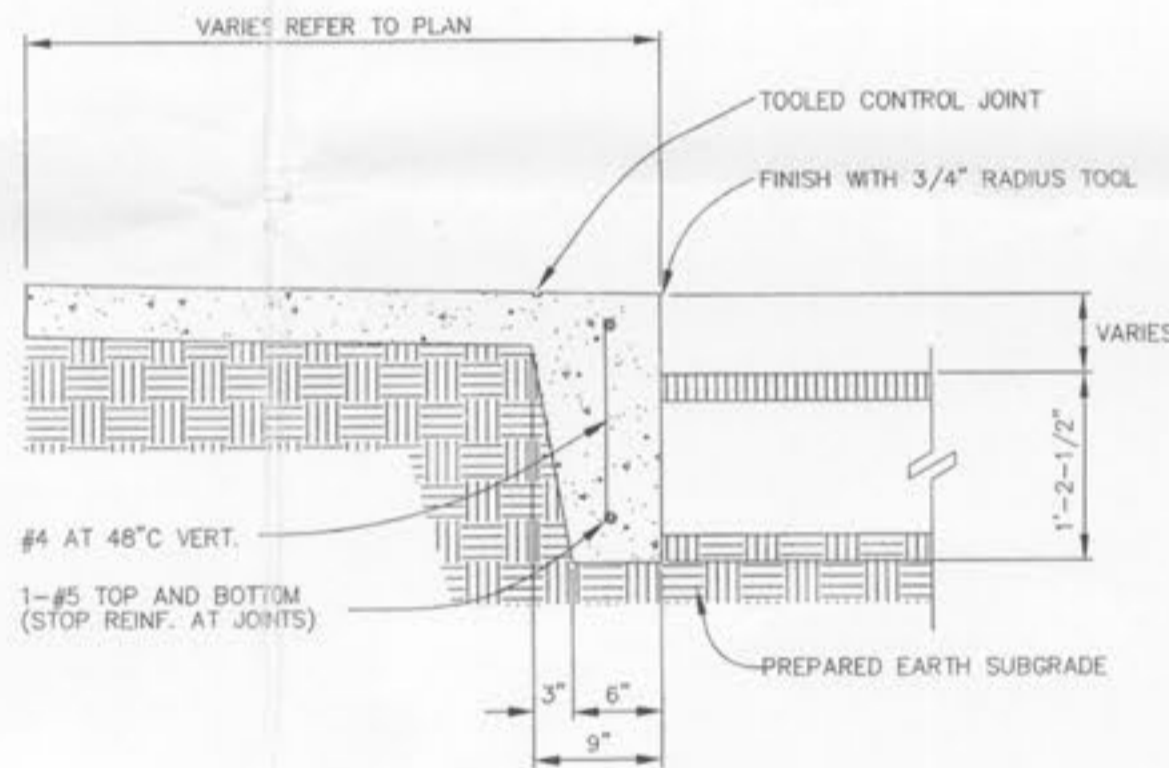


**MASONRY TRASH ENCLOSURE**  
NOT TO SCALE



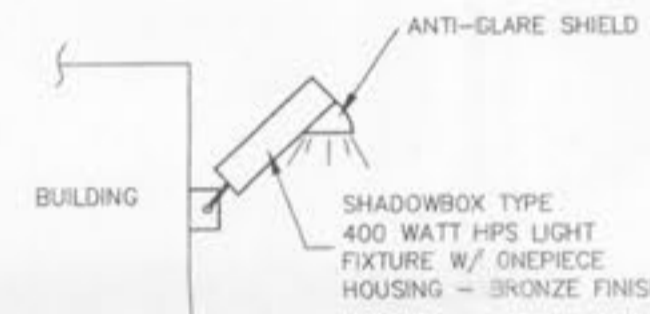
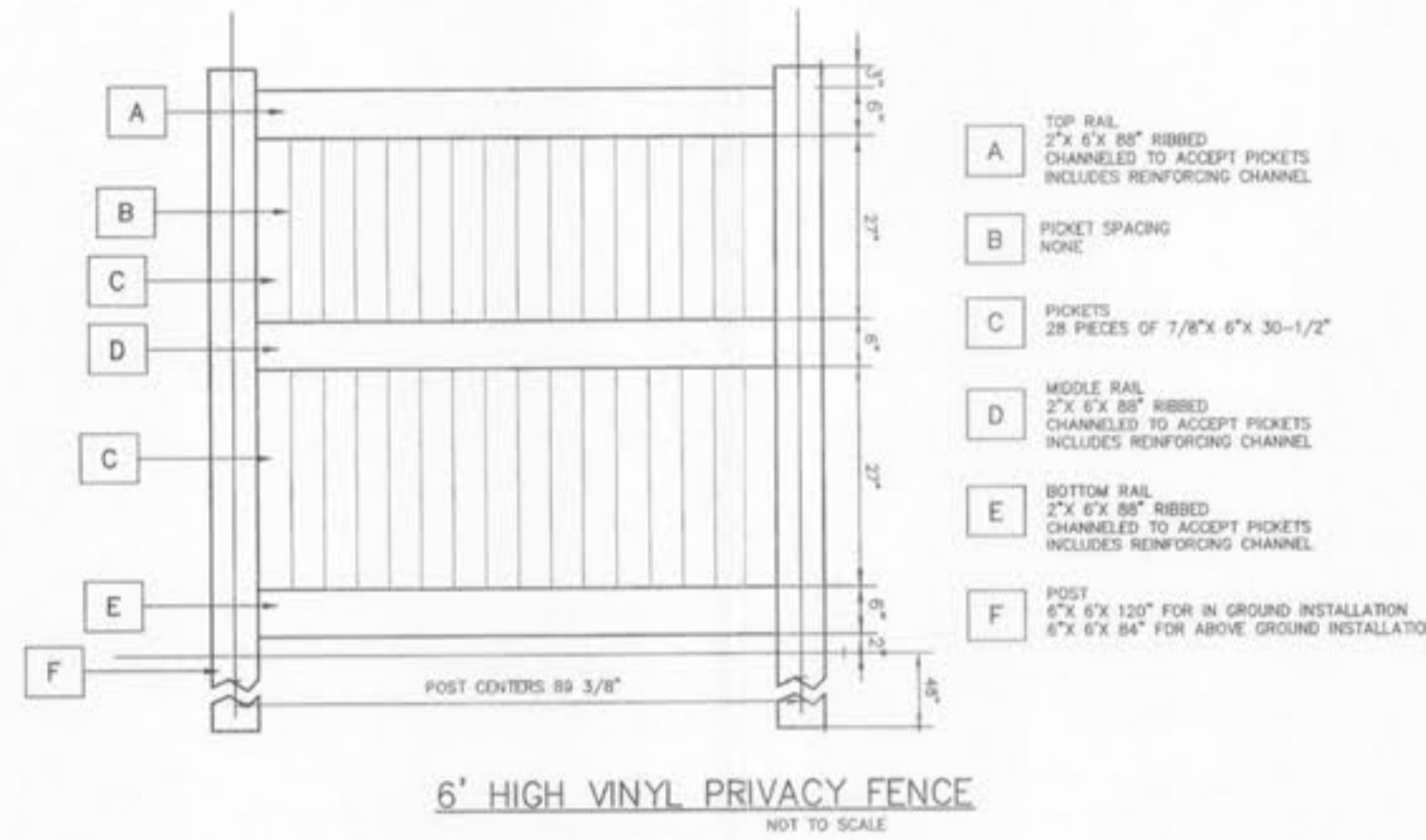
STANDARD SIGN FACE, STANDARD HIGHWAY DEPARTMENT, OR CITY STREET DEPARTMENT GAUGE, LETTERS AND BORDERS ARE GREEN, THE HANDICAP LOGO SQUARE IS BLUE AND THE BACKGROUND IS WHITE. GALVANIZED U CHANNEL POST 6'-0" LONG, SET 3'-0" INTO GRADE, SET BOTTOM OF SIGN 5'-0" ABOVE FINISHED GRADE.

**VAN ACCESSIBLE HANDICAP PARKING SIGN**



PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS  
PROVIDE TOoled CONTRACTION JOINTS AT 10' C.C.

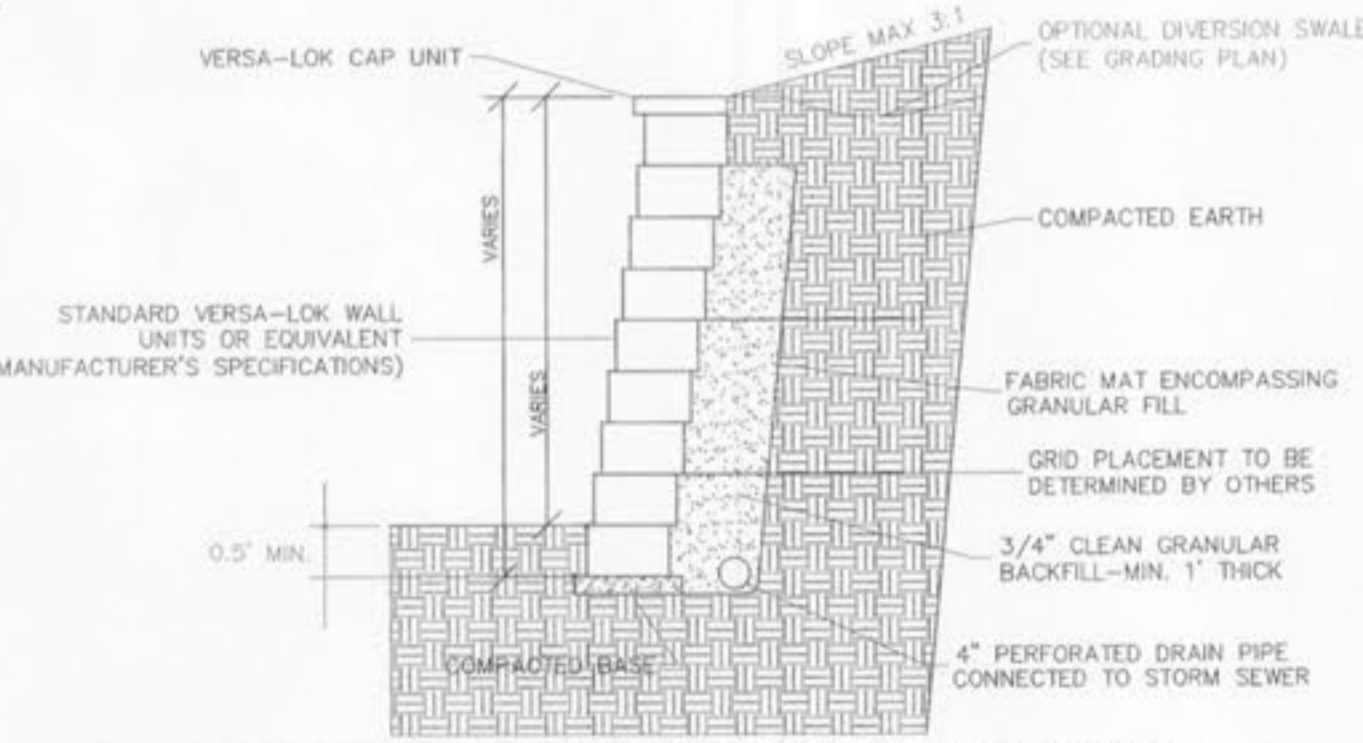
**TURNED DOWN CONCRETE WALK**  
NOT TO SCALE



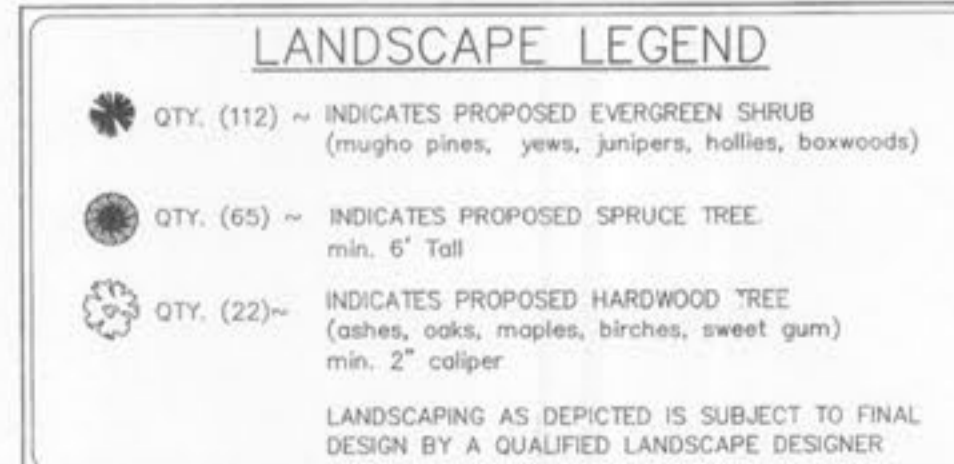
**BUILDING MOUNTED LIGHT**  
NOT TO SCALE



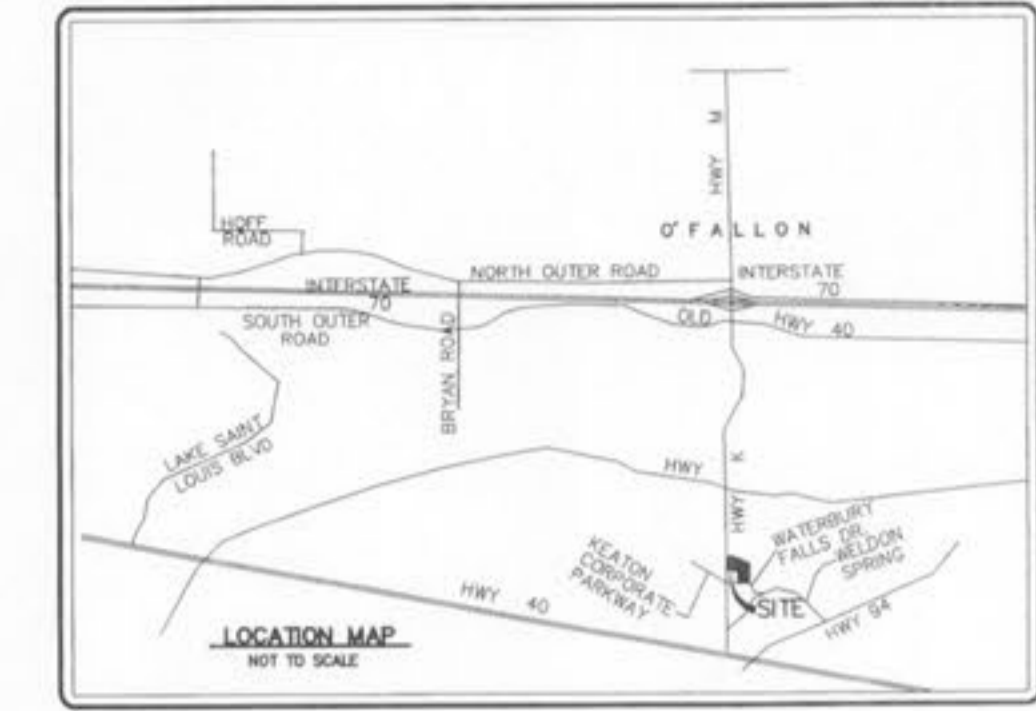
**TRASH ENCLOSURE PAVEMENT DETAIL**  
NOT TO SCALE



**TYPICAL MODULAR BLOCK CONCRETE RETAINING WALL**  
NOTE: FINAL DESIGN SHALL BE PERFORMED BY OTHERS



**CALL BEFORE YOU DIG!**  
1-800-DIG-RITE AND MoDOT  
(314) 340-4100



## DEVELOPMENT NOTES

- Area of Tract: 5.02 Acres (Lot 2)
- Existing Zoning: C-2 General Business (O'Fallon)
- Proposed Use: Retail/Restaurant
- Area of Building: Total=46,125 sq.ft.  
(13,850 sq.ft.=Restaurant)  
(32,275 sq.ft.=Retail)
- The required height and building setbacks are as follows:  
Minimum Front Yard: 25 feet  
Minimum Side Yard: None  
Minimum Rear Yard: (10' if adjacent to residential)  
Maximum Height of Building: Not to exceed 50'
- Site is served by:  
Duckett Creek Sanitary Sewer District 636-441-1244  
Ameren Union Electric Company 636-639-8312  
Laclede Gas Company 314-658-5417  
Public Water Supply #2 636-561-3737  
SBC Telephone Company 636-949-1321
- According to the Flood Insurance Rate Map of the City of O'Fallon, (Community Panel number 290316 0430 E dated August 2, 1996) this property lies within zone X. Zone X is an area determined to be outside the 500-year floodplain.
- Parking Required:  
Total building area = 46,125 sq.ft.  
5.5 spaces per 1000 sq. ft. of floor area (Retail)  
204 per 100 sq.ft. of dining area (Restaurant)  
13,850 sq.ft. (dining area) / 100 = 204 spaces required  
32,275 sq.ft. / 1000 x 5.5 = 178 spaces required  
Total spaces = 382 spaces required  
Shared spaces = 34 (per agreement with Jefferson Bank)  
275 + (34 shared) = 309 spaces provided (including 8 handicapped spaces)
- Bicycle parking: 1 space per 15 parking spaces  
309 / 15 = 20.6 ~ 21 bicycle parking spaces provided
- Site Coverage Calculations:  
Building = 46,125 sq.ft. = 21.10%  
Pavement = 135,313 sq.ft. = 61.88%  
Green Space = 37,221 sq.ft. = 17.02%
- Existing detention basin provided for with the overall Waterbury development.
- All site lighting shown is for presentation only and exact locations will depend on a lighting layout by a qualified lighting consultant. All lighting along the rear of the building shall be shielded. Prior to Construction Site Plan approval, a photometric lighting plan in accordance with the Cities Exterior Lighting Standards shall be submitted for review and approval.
- Owner: Taylor Morley, Inc.  
1224 Fern Ridge Parkway  
St. Louis, MO 63141  
314-434-9000
- All new utilities shall be located underground.
- All mechanical units shall be screened from public view.
- All signage is reviewed and approved under a separate permit.
- All construction methods and practices to conform with OSHA standards.
- Landscape Required:  
Interior Landscape Requirements: (Lot 2)  
275 (spa.) x 270 = 74,250 S.F.  
74,250 sq. ft. x 0.06 (%) = 4,455  
Total Interior Landscape Required: 4,455 S.F.  
Total Interior Landscape Provided: 6,451 S.F.
- Street Tree Requirements:  
1 tree every 40' of frontage = 576.97 / 40 = 14.42 ~ 14  
14 Provided (10 proposed and 4 existing)
- Open Space Landscape Requirements:  
36,210 S.F. / 3,000 S.F. = 12.07 ~ 12 Trees  
Total Trees Required: 26 Trees  
Total Trees Provided: 26 Trees
- Bufferyard Requirements:  
2 plant units per 100 of property line required  
1 plant unit = 30 points  
1 tree = 10 points  
2 x 30 / 10 = 6 trees per 100 required  
1,081 / 100 x 6 = 64.9  
65 Trees Provided
- All lighting along the rear of the building shall be shielded.
- Prior to Construction Site Plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval.
- There are n. existing or proposed drainage swales along Hwy K. All stormwater drains off the R.O.W. onto our proposed parking area and is collected by the proposed stormwater system.
- No loading /unloading operations or trash pick-up shall occur between the hours of 9:00p.m. and 7:00a.m.
- Plan subject to review and approval by Cottleville Community Fire Protection District.
- No slope shall be steeper than 3:1.

PREPARED FOR:  
QUALITY BUILDING SYSTEMS  
308 COOL SPRINGS ROAD  
O'FALLON, MO 63366

DISCLAIMER OF RESPONSIBILITY  
I hereby certify that the documents intended to be constructed by my seal are limited to this sheet, and I hereby disavow any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



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REVISIONS

NO.	DATE	DESCRIPTION
03-31-04	Per City Comments	



1062 South Cloverleaf Drive  
St. Peters, MO. 63376-6445  
636-928-5552  
FAX 928-1718

03/08/04  
DATE  
98-9713EC  
PROJECT NUMBER  
1 OF 2  
SHEET OF  
9713ECPRE.DWG  
FILE NAME  
DRB  
DRAWN  
LDW CLH  
DESIGNED CHECKED

File 9950.07  
APPROVED  
DATE 4-15-2004  
P & Z MC

2nd SUBMITTAL  
MAR 31 2004