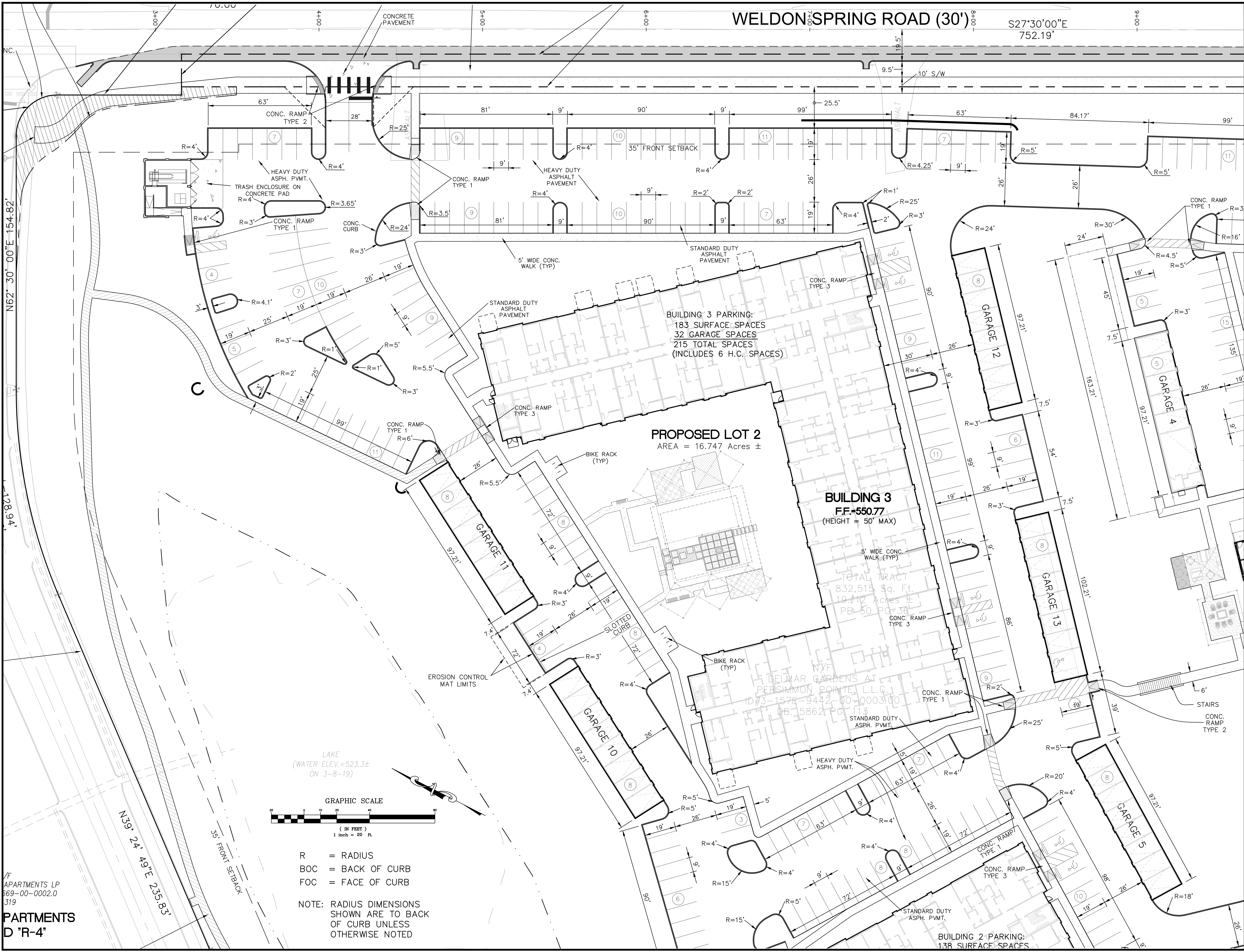


WELDON SPRING ROAD (30') S27°30'00"E 752.19'



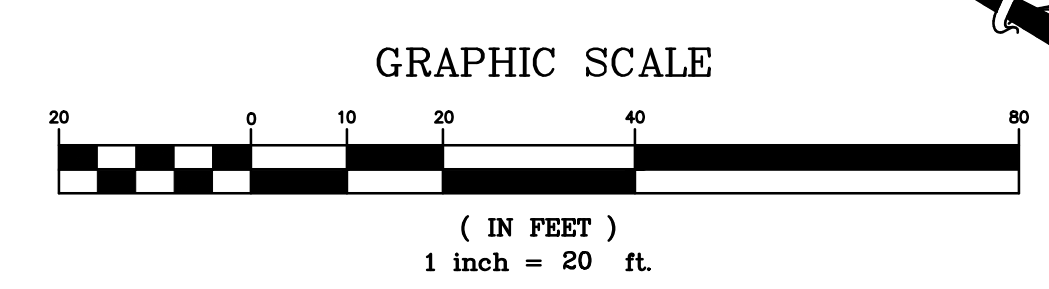
BUILDING 3 PARKING:
 183 SURFACE SPACES
 32 GARAGE SPACES
 215 TOTAL SPACES
 (INCLUDES 6 H.C. SPACES)

PROPOSED LOT 2
 AREA = 16.747 Acres ±

BUILDING 3
 FF=550.77
 (HEIGHT = 50' MAX)

TOTAL TRACT
 832,515 Sq. Ft.
 19.112 Acres ±
 PB-50 PG-38

LAKE
 (WATER ELEV.=523.3±
 ON 3-8-19)



R = RADIUS
 BOC = BACK OF CURB
 FOC = FACE OF CURB

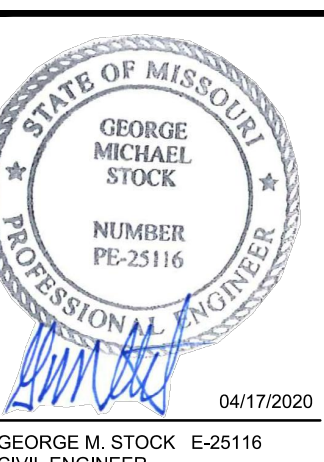
NOTE: RADIUS DIMENSIONS
 SHOWN ARE TO BACK
 OF CURB UNLESS
 OTHERWISE NOTED

WATERMARK APARTMENTS LP
 669-00-0002.0
 319

WATERMARK APARTMENTS
 D "R-4"

PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.
 257 Chambersfield Business Parkway
 St. Louis, MO 63005 PH: (636) 590-9000
 590-9000 FAX: (636) 590-9000
 e-mail: general@stockassoc.com
 Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:
WATERMARK APARTMENTS AT O'FALLON
 CRUSHER ROAD & WELDON SPRING ROAD
 CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI 63366



REVISIONS:

| | |
|---|--------------------------------|
| 1 | 01/16/2020 - 60% PRINTING |
| 2 | 01/16/2020 - PERMIT SET |
| 3 | 02/25/2020 - REVISED PER OWNER |
| 4 | CITY UTILITY COMMENTS |
| 5 | 04/17/2020 - AGENDUM X |

DRAWN BY: T.S./M.B. CHECKED BY: G.M.S.
 DATE: 01/16/2019 JOB NO.: 219-6404

SHEET TITLE:
SITE GEOMETRIC PLAN BUILDING 3
 SHEET NO.: **C7.3**