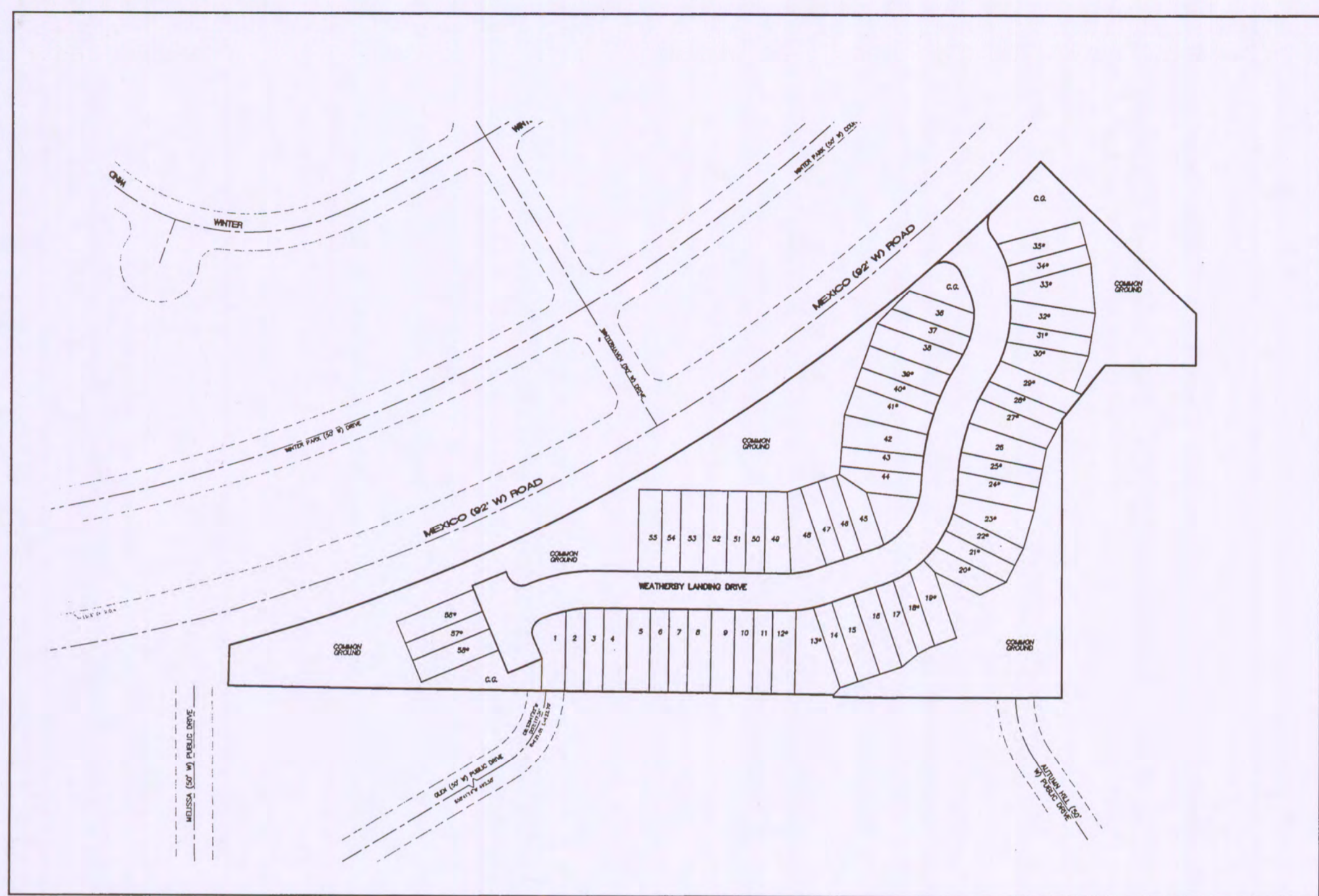


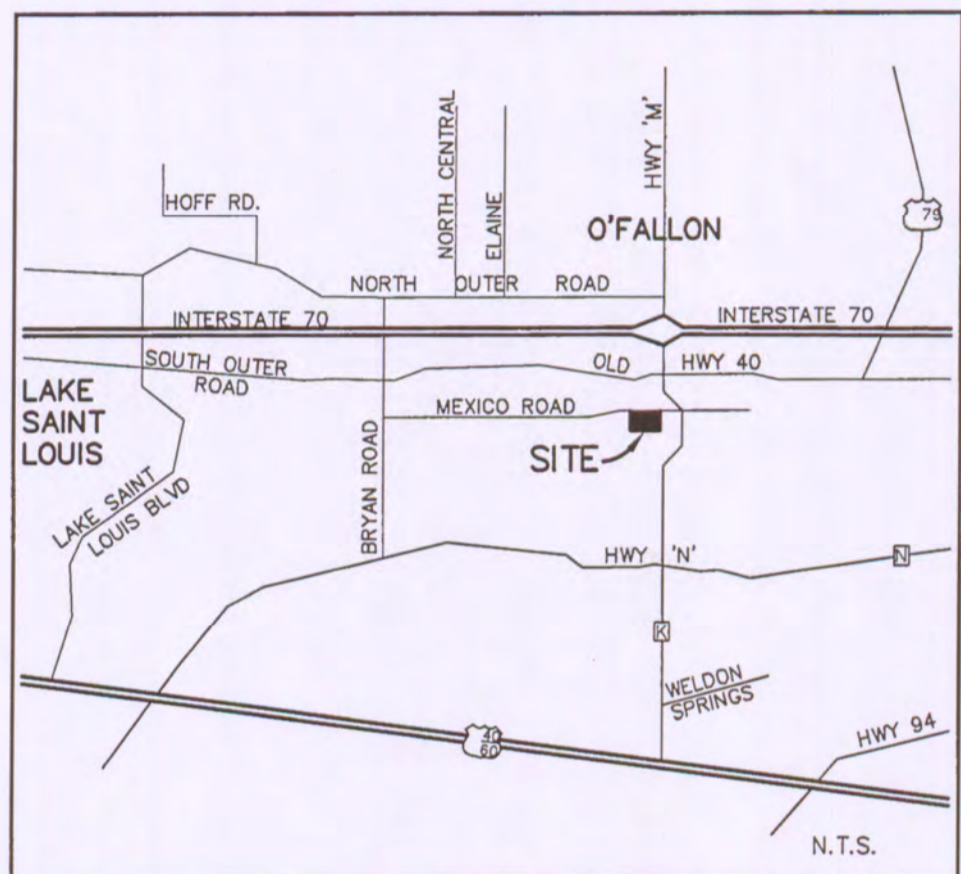
A SET OF CONSTRUCTION PLANS FOR WEATHERBY LANDING

A TRACT OF LAND BEING ALL OF LOT 2A OF THE RESUBDIVISION OF LOT 2 OF "HOME DEPOT ACRES", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 43, PAGE 160 OF THE ST. CHARLES COUNTY RECORDS, IN U.S. SURVEY 55 AND FRACTIONAL SECTION 32, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY O'FALLON, ST. CHARLES COUNTY, MISSOURI

ISSUE	REMARKS/DATE
1	1-9-13 REVISED PER CITY COMMENTS
2	2-7-13 REVISED PER CITY COMMENTS
3	3-20-13 REVISED PER CITY COMMENTS
4	4-9-13 REVISED PER CITY COMMENTS



Plan View



Locator Map

Legal Description

A TRACT OF LAND BEING ALL OF LOT 2A OF THE RESUBDIVISION OF LOT 2 OF HOME DEPOT ACRES AS RECORDED IN PLAT BOOK 43 PAGE 160 OF THE ST. CHARLES COUNTY RECORDS, SITUATED IN FRACTIONAL SECTION 32, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 2A OF THE RESUBDIVISION OF LOT 2 OF HOME DEPOT ACRES, AS RECORDED IN PLAT BOOK 43 PAGE 160, OF THE ST. CHARLES COUNTY RECORDS; THENCE NORTH 00°57'45" EAST 55.64 FEET TO A POINT OF CURVATURE ON THE SOUTH RIGHT-OF-WAY LINE OF MEXICO (92' W) ROAD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE OF MEXICO ROAD ON A CURVE TO THE LEFT HAVING A RADIAL BEARING OF NORTH 15°33'18" WEST, A RADIUS OF 2,447.04 FEET, AND AN ARC LENGTH OF 1,309.97 FEET TO A POINT BEING THE WESTERN MOST CORNER OF LOT 2B OF THE RESUBDIVISION OF LOT 2 OF HOME DEPOT ACRES; THENCE WITH THE SOUTHWEST LINE OF SAID LOT 2B, SOUTH 46°13'30" EAST 297.85 FEET TO A POINT ON THE WEST LINE OF LOT 1 OF HOME DEPOT ACRES, AS RECORDED IN PLAT BOOK 37 PAGE 129; THENCE WITH SAID WEST LINE OF LOT 1 SOUTH 00°13'25" EAST 70.61 FEET TO A POINT; THENCE SOUTH 89°46'55" WEST 124.74 FEET TO A POINT; THENCE SOUTH 38°28'17" WEST 94.68 FEET TO A POINT; THENCE SOUTH 00°13'25" EAST 381.62 FEET TO A POINT; SAID POINT ALSO DESCRIBED AS THE SOUTHWEST CORNER OF THE FOREMENTIONED LOT 1 OF HOME DEPOT ACRES, ALSO DESCRIBED AS THE SOUTHWEST CORNER OF HEREIN DESCRIBED LOT 2A; THENCE WITH THE SOUTH LINE OF SAID LOT 2A, SOUTH 89°46'57" WEST 272.88 FEET TO A POINT; THENCE NORTH 89°05'22" WEST 41.82 FEET TO A POINT; THENCE NORTH 00°12'54" WEST 3.11 FEET TO A POINT; THENCE NORTH 89°21'30" WEST 663.48 FEET TO A POINT; THENCE NORTH 89°05'22" WEST 168.76 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.5 ACRES, MORE OR LESS, ACCORDING TO RECORD INFORMATION AND SUBJECT TO THE RESULTS OF A FUTURE PROPERTY BOUNDARY SURVEY.

Conditions of Approval From Planning and Zoning

STAFF RECOMMENDATIONS:
 1. A COMPLETE LISTING OF COVENANTS, CODES, AND RESTRICTIONS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. CITY OF O'FALLON REVIEW CRITERIA IS LOCATED IN THE SUBDIVISION CODE.
 2. PROVIDE TO THE COMMISSION REASONING WHY ACCESS STREETS TO THE ADJACENT PROPERTIES TO THE SOUTH AND WEST ARE NOT FEASIBLE PER THE PREVIOUS TRAFFIC STUDY.
 3. NO PARKING SIGNS SHALL BE POSTED BETWEEN UNITS 12 & 13, 48 & 49, AND ON BOTH SIDES OF THE ENTRANCE.
 4. PER THE BIKEABLE-WALKABLE COMMUNITY PLAN ADOPTED IN 2008, THE DEVELOPER HAS PROVIDED A 10 FOOT WIDE TRAIL EASEMENT FOR THE CONSTRUCTION OF AN 8 FOOT WIDE TRAIL ALONG THE SOUTH AND WEST PROPERTY LINES AND A 20 FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT ALONG THE SOUTH AND WEST PROPERTY LINES. THE DEVELOPER SHALL WORK WITH STAFF DURING THE CONSTRUCTION PHASE ON THE PLACEMENT OF THE PROPOSED VEGETATION ALONG THE SOUTH PROPERTY LINE TO ASSURE IT WILL NOT HINDER THE CONSTRUCTION OF A FUTURE TRAIL IN THE LOCATION. FURTHERMORE, THE COR'S SHALL STATE THAT THE HOA OR PRIVATE PROPERTY OWNERS OF THE LOTS WHERE THE EASEMENT IS LOCATED WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE TRAIL EASEMENT UNTIL SUCH TIME THAT IT IS CONSTRUCTED.
 5. PRIOR TO CONSTRUCTION PLAN APPROVAL, THE DEVELOPER SHALL PROVIDE A MITIGATION PLAN FOR ESTABLISHING VEGETATION AND STABILIZING THE CREEK THAT WILL OFFSET POTENTIAL LATERAL MOVEMENT.
 6. THE FOLLOWING CONDITION WAS PLACED ON THE APPROVAL OF THE CREEK BANK VARIANCE AT BOARD OF ADJUSTMENT AND SHALL ALSO BE NOTED ON THE CONSTRUCTION PLANS:
 (A) THE APPLICANT SHALL EXECUTE AND, IF REQUIRED, RECORD, SUCH INSTRUMENT OR INSTRUMENTS AS MAY BE APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT AND THE CITY ATTORNEY TO A (A) DISCLAIM ANY CITY RESPONSIBILITY FOR MAINTENANCE OF THE BANK OF ANY CREEK WITHIN THE SUBJECT PROPERTY; AND (B) TO ASSIGN RESPONSIBILITY FOR BANK MAINTENANCE TO THE APPLICANT, ADJOINING PROPERTY OWNERS AND/OR A RESPONSIBLE PROPERTY OWNERS ASSOCIATION.
 7. THE PAVEMENT WIDTH OF WEATHERBY LANDING DRIVE SHALL BE 26 FEET IN WIDTH.

MUNICIPAL CODE REQUIREMENTS:
 1. ALL SUBDIVISION MONUMENTS, IDENTIFICATION SIGNAGE AND/OR DIRECTIONAL SIGNAGE SHALL BE REVIEWED AND APPROVED BY THE PLANNING DIVISION PRIOR TO INSTALLATION.
 2. THE 7 GUEST PARKING SPACES APPEAR TO BE IN CONFLICT WITH SIGHT DISTANCE. PROVIDE A LINE OF SIGHT DETAIL FOR THE CARS ENTERING THIS DEVELOPMENT COMING AROUND THE RADIUS WHERE THE OFF STREET PARKING IS LOCATED.
 3. SHOW HOW THE CREEK BANK WILL BE IMPROVED AT THE BEND. STAFF HAS FOUND UPON VISITING THE SITE THAT THE CREEK BANK IS UNDERCUT IN THE AREA OF THE BEND.
 4. PROVIDE EASEMENTS OVER THE STORMWATER BMP(S) WITH ACCESS FOR MAINTENANCE FOR THE HOA OR TRUSTEES AND INSPECTION FOR THE CITY.
 5. LOCAL STREETS ARE NOT TO EXCEED 600-900 FEET WITHOUT TRAFFIC CALMING. TO PROMOTE TRAFFIC CALMING, STAFF RECOMMENDS TWO (2) FOOT WIDE BUMP OUTS OF THE CURB ON BOTH SIDES OF THE STREET AT LOTS 23 & 24 AND LOT 44 & THE OFF STREET PARKING AREA.
 6. THE DEVELOPMENT DOES NOT MEET THE STANDARD OF PROVIDING 100 FEET FROM MEXICO ROAD TO THE FIRST DRIVEWAY, HOWEVER THE LATEST PLAN, SUBMITTED BY EMAIL 8/30/12, HELPS ALLEVIATE THE ISSUE THAT FORMERLY WOULD NOT ALLOW ACCESS TO THE DRIVEWAY FOR UNIT 35 WHILE CARS ARE WAITING TO TURN ONTO MEXICO ROAD. STAFF WILL CONTINUE TO WORK WITH THE DEVELOPER ON THIS ISSUE DURING THE CONSTRUCTION PLAN PHASE.
 7. PER SECTION 405.370, REDUCED PAVEMENT WIDTHS SHALL BE CONSIDERED ALONG WITH A PACKAGE OF ENHANCED LANDSCAPING, ENHANCED PEDESTRIAN FACILITIES AND OTHER COMMUNITY IMPROVEMENTS. NOTE ON THE PLANS HOW THE IMPROVEMENTS PROPOSED EXCEED THE CITY'S MINIMUM REQUIREMENTS.

Legend

EXISTING	PROPOSED
542	(542)
X5.36	538.0
CONTOURS	CONTOURS
SPOT ELEVATIONS	SPOT ELEVATIONS
CENTER LINE	CENTER LINE
BUILDINGS, ETC.	BUILDINGS, ETC.
TREE LINE	TREE LINE
FENCE	FENCE
STORM SEWERS	STORM SEWERS
SANITARY SEWERS	SANITARY SEWERS
CATCH BASIN	CATCH BASIN
AREA INLET	AREA INLET
GRATED INLET	GRATED INLET
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
FLARED END SECTION	FLARED END SECTION
CLEANOUT	CLEANOUT
LATERAL CONNECTION	LATERAL CONNECTION
UTILITY OR POWER POLE	UTILITY OR POWER POLE
FIRE HYDRANT	FIRE HYDRANT
TEST HOLE	TEST HOLE
PAVEMENT	PAVEMENT
2'G GAS MAIN & SIZE	(2'G)
6'W WATER MAIN & SIZE	(6'W)
T TELEPHONE	(T)
E ELECTRIC (U) UNDERGROUND	(E)
OWW ELECTRIC (O) OVERHEAD	(OWW)
E FLOW LINE	E
TO BE REMOVED	TBR
TC TOP OF CURB	(TC)
SWALE	SWALE
LIGHT STANDARD	LIGHT STANDARD
STREET SIGN	STREET SIGN
P.S. PARKING STALLS	P.S.
YARD LIGHT	YARD LIGHT
WO ~ DENOTES PROPOSED WALKOUT LOTS	
H.R. ~ DENOTES PROPOSED HANDICAP RAMP W/ TRUNCATED DOME	

ZONING AND DENSITY NOTES:

- GROSS AREA OF SITE: 9.5 ACRES
- CURRENT ZONING: R-3 GARDEN APARTMENT DISTRICT
- CURRENT OWNER: ROCKWOOD HOMES, LLC
16091 SWINGLEY RIDGE ROAD, STE 300
CHESTERFIELD, MO 63017
- PRELIMINARY PLAN DATA:
 A.) DWELLING UNITS ALLOWED:
(9.5 ACRES)x(15 UNITS/ACRES)=142 UNITS
 B.) DWELLING UNITS PROPOSED:
58 UNITS
 C.) SITE COVERAGE:
BUILDINGS: 1.53 ACRES = 16.1%
DRIVES, PARKING, & WALKS: 0.91 ACRES = 9.5%
TOTAL: 2.44 ACRES = 25.6%
 TOTAL GREEN SPACE OF SITE: 7.06 ACRES = 74.4%
 D.) PARKING:
SPACES REQUIRED: (2.5 SPACES/UNIT)x(58 UNITS)=145 SPACES
 TOTAL SPACES SHOWN:
116 GARAGE SPACES
116 DRIVEWAY SPACES
20 GUEST PARKING
252 SPACES PROVIDED
 E.) MAXIMUM BUILDING HEIGHT: 2.5 STORIES OR 45'
 F.) MINIMUM SQUARE FOOTAGE OF DWELLING UNIT TO BE BUILT: 1,000 SQ. FT.
 G.) SMALLEST LOT: 2,893 SQ. FT.
 H.) MAXIMUM LOT COVERAGE SHALL NOT EXCEED 40%

ZONING CODE VARIANCES:

ZONING CODE VARIANCES HAVE BEEN APPROVED BY THE BOARD OF ADJUSTMENT ON AUG. 8, 2012.

REQUIRED	PROPOSED
70 FT. MIN. LOT WIDTH	26 FT. MIN. LOT WIDTH (BA-V-12-11)
30 FT. FRONT YARD SETBACK	20 FT. FRONT YARD SETBACK (BA-V-12-12)
20 FT. SIDE YARD SETBACK/	6 FT. SIDE YARD SETBACK/
20 FT. BETWEEN BUILDINGS (SIDE TO SIDE)	12 FT. BETWEEN BUILDINGS (BA-V-12-13)
35 FT. REAR YARD SETBACK	25 FT. REAR YARD SETBACK (BA-V-12-14)
50 FT. TOP OF CREEK BANK SETBACK	39 FT. TOP OF CREEK BANK SETBACK FOR UNITS 16-19 (BA-V-12-15) (SEE GENERAL NOTE 29)

DESIGN STANDARDS:

PROPOSED ALTERNATIVE DESIGN STANDARDS WHICH SHALL BE APPROVED AS PART OF THIS SITE PLAN.

REQUIRED	PROPOSED
26 FT. WIDE PAVEMENT	24 FT. WIDE PAVEMENT
4' WIDE WALK, 7 FT. BEHIND BACK OF CURB	4' WIDE WALK, 2 FT. BEHIND BACK OF CURB
37 FT. INTERSECTION PAVEMENT RADIUS (TURN AROUND)	28 FT. INTERSECTION PAVEMENT RADIUS (TURN AROUND)
150 FT. CENTERLINE RADIUS	125 FT. CENTERLINE RADIUS

TREE ORDINANCE:

Existing trees = 1.28 acres
 Trees removed = 0.92 acres
 Trees saved = 0.36 acres
 Trees required to be saved = 0.26 acre (20%)
 No planting mitigation required.
 Complied with Chapter 402, Section 402.040

Street trees required - 1 tree per standard lot & 2 trees per corner lot - all 58 lots are standard lots therefore 58 street trees are required for this development

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. To 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 9.60 ACRES

The area of land disturbance is 7.28 ACRES

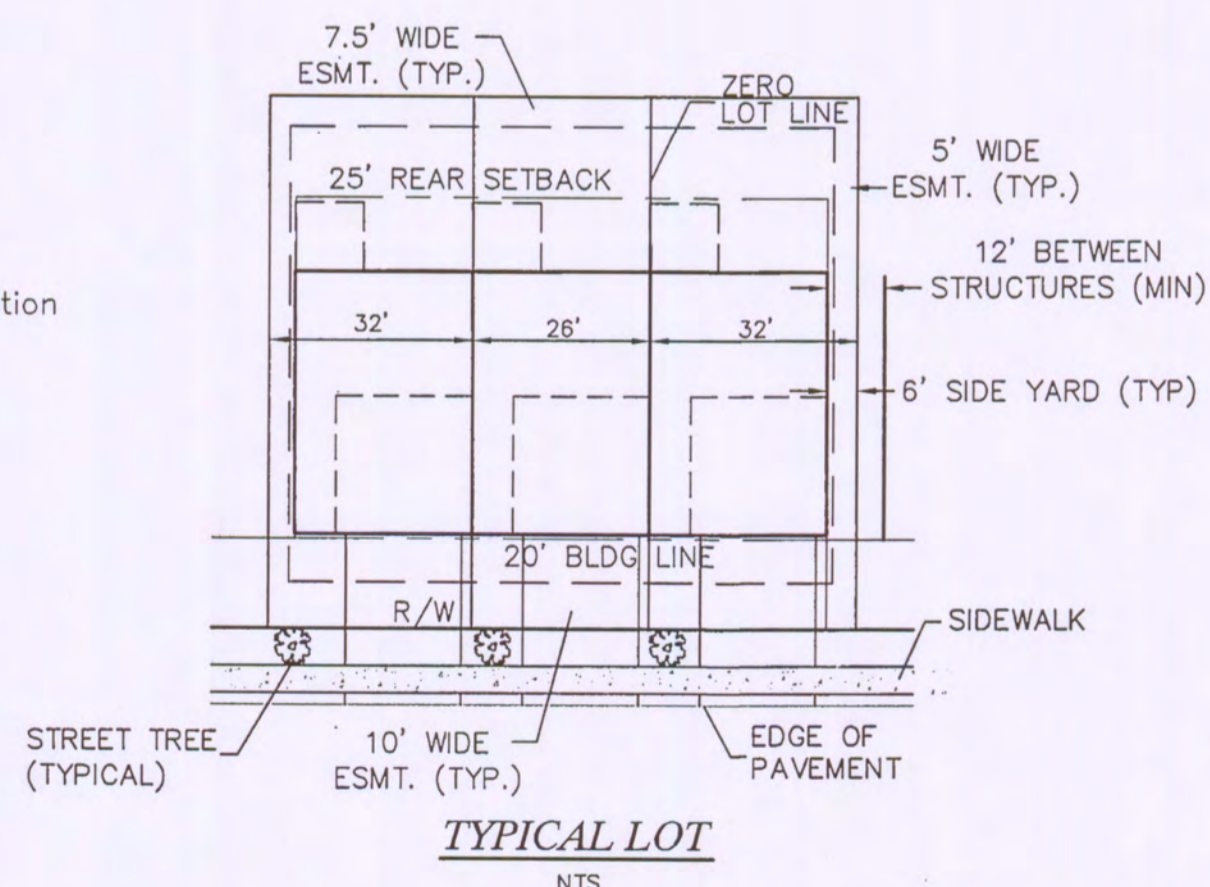
Number of proposed lots is 58

Building setback information, Front 20 FEET

Side 6 FEET

Rear 25 FEET

* The estimated sanitary flow in gallons per day is 21,460



Drawing Index

1.1	Cover Sheet
1.2	Residential Notes
2.1-2.2	SWPPP
3.1	Grading Plan
4.1	Site Plan
5.1	Utility Plan
6.1	Street Profiles
7.1	Sanitary Profiles
8.1	Storm Profiles
9.1	Drainage Area Map
10.1-10.3	Water Quality Plans
11.1	Hydraulic Calculations
12.1	Entrance Detail / Warppings
13.1	Streambank Stabilization Plan
14.1-14.2	Traffic Control Plans
15.1-15.2	Retaining Wall Plan / Design
L-1	Landscape Plan
CDI-7	Construction Details

Benchmarks

Site

SBM-1 566.02' - AN IRON PIPE LOCATED AT THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
 (NGVD29 DATUM)

Project Data

- TOTAL SITE AREA: 9.60 ACRES
- TOTAL DISTURBED AREA: 7.28 ACRES
- ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES COUNTY, MISSOURI, UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 2918300237 E DATED AUGUST 2, 1996), A PORTION OF THIS PROPERTY LIES WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OF 500-YEAR FLOOD, OR DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, AND AREAS PROTECTED FROM 100-YEAR FLOOD BY LEVEES.

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: *[Signature]* DATE 4/24/13
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE

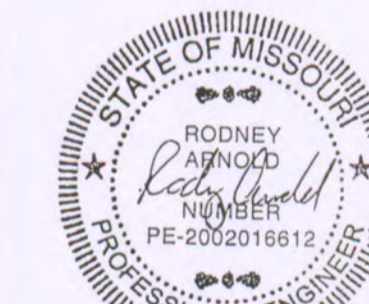
WEATHERBY LANDING

O'FALLON, MISSOURI

THE STERLING CO.
 ENGINEERS & SURVEYORS

5065 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-8844
 www.sterling-eng-sur.com
 Corporate Certificate of Authority #01348

The Professional Engineer's seal and signature offered in this sheet are valid only for the project and location shown on this sheet. All drawings, instruments or other documents not exhibiting this seal and signature shall not be considered approved by the engineer, and the engineer hereby documents not exhibiting this seal and signature.



Date: 4/9/2013
 RODNEY ARNOLD
 License No. PE-2002016612
 Civil Engineer

MCBRIDE & SON HOMES LAND DEVELOPMENT, INC.
 16091 SWINGLEY RIDGE ROAD, STE. 300
 CHESTERFIELD, MISSOURI 63017
 Ph. 636-537-2000
 www.mcbriidhomes.com

Cover Sheet

P+Z No. 1305.05

City No.

Date: 11/12/2012

Job No. 12-05-127

Page No.

1.1