

WELLINGTON PARK

A TRACT OF LAND BEING PART OF U.S. SURVEY 1669,
TOWNSHIP 46 NORTH, RANGES 2 AND 3 EAST,
ST. CHARLES COUNTY, MISSOURI

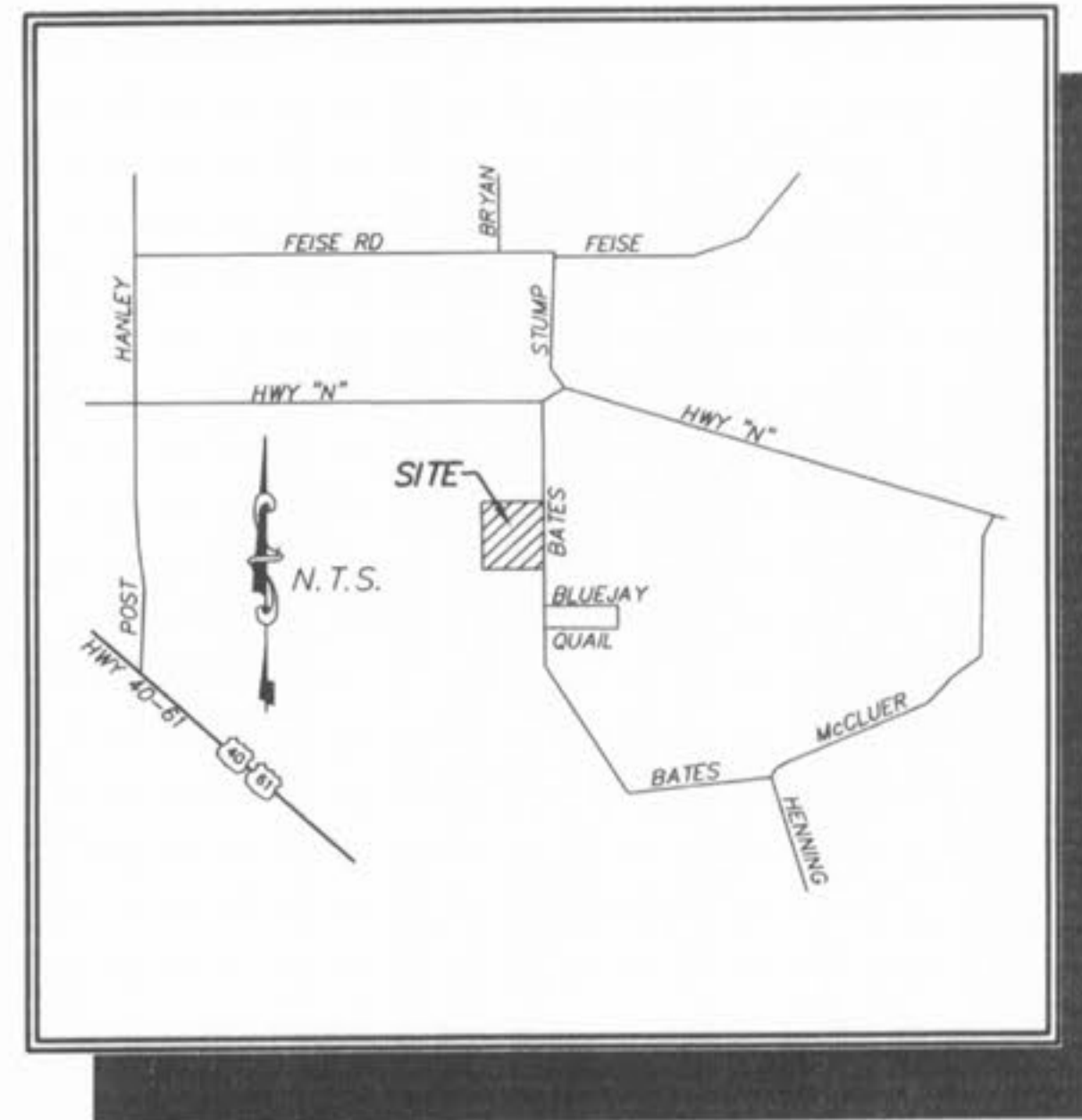
IMPROVEMENT PLANS

DRAWING INDEX

GENERAL NOTES

- Gas, water and other underground utilities shall not conflict with the depth or horizontal locations of existing and proposed sanitary and storm sewers, including house laterals.
- Underground utilities have been plotted from available information and, therefore, their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.
- All filled places under buildings, proposed sanitary and storm sewer lines, and/or paved areas including trench backfills shall be compacted to at least 90% of maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557) unless otherwise specified by the local governing authority specifications. All tests will be verified by a Soils Engineer.
- All filled places in paved State, County or City roads (highways) shall be compacted to at least 90% of the maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557), unless otherwise specified by local governing authority specifications. All tests will be verified by a Soils Engineer.
- Earth subgrade for paved areas must be compacted to 90% of maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557), and must be inspected and approved by a representative of the City, before paving can commence.
- All grading on City of O'Fallon right-of-way shall be seeded and mulched and all disturbed right-of-way markers shall be reset at the completion of grading.
- No area shall be cleared without permission of the developer.
- All grades shall be within 0.2 feet more or less of those shown on the grading plan.
- No slope shall be greater than 3:1 and shall be either sodded or seeded and mulched.
- The developer shall contract with a soil consultant firm registered in the State of Missouri during the grading operation to monitor cut and fill and to verify proper compaction has been achieved. A report shall be prepared by the soil consultant and provided to the City for verification of the grading operation.
- Owner/Developer assumes full responsibility as to the performance of the grading operation and assurance that all properties and roads will be adequately protected.
- The total yardage for this project is based on a 15.0% shrinkage factor.
- The shrinkage factor is subject to change, due to soil conditions, (types and moisture content), weather conditions, and the percent compaction actually achieved at the time year grading is performed. As a result, adjustments in final grade may be required. If adjustments need to be made, the contractor shall contact the project engineer, prior to completion of the grading.
- If straw bales or siltation fence are destroyed by heavy rains, vandalism, etc., they are to be replaced promptly by Contractor.
- All fills under and within 15 feet of the building areas that are deeper than 8 feet shall be compacted to at least 92 percent of the maximum dry density as determined by a modified proctor test. Fills less than 8 feet in building areas shall be compacted to at least 90 percent of the maximum dry density as determined by a modified proctor test.
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible or during the next seeding period after grading has been completed.
- When grading operations are completed or suspended for more than 30 days, permanent grass must be established at sufficient density to provide erosion control from the site. Between permanent grass seeding periods, temporary cover shall be provided according to the designated officials' recommendation.
- All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and topped at the rate of 100 pounds per 1,000 square feet when seeded.
- Trees, organic debris, rubble, foundations and other deleterious material shall be removed from the site and disposed in compliance with all applicable laws and regulations. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district.
- The developer and his contractor shall be responsible for installing the siltation control as approved by the City of O'Fallon prior to the commencement of grading operations.
- Development is not located within the 100 Year Flood Plain Limits as shown on F.E.M.A. Map No. 29183C0240E, Dated Aug. 2, 1996.
- Silt fence shall be maintained and sediment removed after each rain exceeding 1/2 inch.
- This tract is served by:
WATER - P.W.S.D.#1
ELECTRIC - AMEREN UE
TELEPHONE - CENTURY TEL
SEWERS - DUCKETT CREEK SANITARY DISTRICT
GAS - LACLEDE GAS
FIRE PROTECTION - WENTZVILLE FIRE PROTECTION DISTRICT
SCHOOL DISTRICT - FORT ZUMWALT SCHOOL DISTRICT
POST OFFICE - O'FALLON POST OFFICE
- It is the responsibility of the developer and the developer's grading contractor to read and be familiar with the Geotechnical Report prepared by the Soils Engineer.
- Developer must supply City Inspectors with soils reports prior to or during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the "Rough Grading / Sediment & Erosion Control Plans"). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement or in new or existing storm sewers or ditches shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- Erosion control shall NOT be limited to what is shown in the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams and adjacent roadways, properties, and ditches.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch or more.
- No graded area is to remain bare for over 6 months without being seeded and mulched.
- Bates road is a county road, approvals must be obtained prior to construction.
- Setback requirements for this 34 lot, 10 acre site:
20' front yard
6' side yard
20' rear yard
- St. Charles County Highway Department shall be notified 24 hours prior to the start of construction. Contact Vance Gribble, Chief Inspector, at (636) 949-7305.
- A Special Use Permit shall be obtained from St. Charles County Highway Department before any work is performed within Bates Road right-of-way. Contact Donna C. Ray, Highway Project Engineer, at (636) 949-7305.

LOCATION MAP



Sheet	Description
1	COVER SHEET
2	SITE NOTES
3	SITE PLAN
4	GRADING PLAN
5	STREET PROFILES
6	ENTRANCE DETAILS
7	SANITARY SEWER PROFILES
8	STORM SEWER PROFILES
9	DRAINAGE AREA MAP
10	WATER LAYOUT
11	LANDSCAPE PLANS
12-23	CONSTRUCTION DETAILS

LEGEND

	Sanitary Sewer (Proposed)		Sanitary Structure	R.C.P.	Reinforced Concrete Pipe
	Sanitary Sewer (Existing)		Storm Structure	C.M.P.	Corrugated Metal Pipe
	Storm Sewer (Proposed)		Test Hole	C.I.P.	Cast Iron Pipe
	Storm Sewer (Existing)		Power Pole	P.V.C.	Polyvinyl Chloride
	Water Line & Size		Light Standard	V.C.P.	Vitrified Clay Pipe
	Existing water line		Double Water Meter Setting	C.O.	Clean Out
	Tee & Valve		Single Water Meter Setting	C.I.	Curb Inlet
	Hydrant		Skewed Curb Inlet	V.T.	Vent Trap
	Cap		Double Curb Inlet	T.B.R.	To Be Removed
	Lot or Building Number		Double Curb Inlet	T.B.R.&R	To Be Removed & Relocated
	Existing Fence Line		G.I.	T.B.P.	To Be Protected
	Existing Tree Line		A.I.	T.B.A.	To Be Abandoned
	Street Sign		D.A.I.	B.C.	Base Of Curb
	Existing Contour		C.C.	T.C.	Top Of Curb
	Proposed Contour		F.E.	T.W.	Top Of Wall
	Rip-Rap		E.P.	B.W.	Base Of Wall
	End of Lateral		E.D.	(TYP)	Typical
	Asphalt Pavement		M.H.	U.N.O.	Unless Noted Otherwise
	Concrete Pavement		C.P.	U.L.P.	Use In Place

PROJECT BENCH MARK

BENCH MARKS

BM: USGS Station ORF, "Standard Tablet" stamped "ORF, 1931" in a square concrete post in a small mound 107± NW of the corner of shed addition to old barn; 25± SW of small pond; north of residence, address 1301 Feise Road, O'Fallon, MO.

ELEVATION = 667.596

TBM A: "M" in Mueller on fire hydrant east side of Bates Road 133± north of southeast corner of this site.
ELEVATION = 614.50



RECEIVED
JUL 21 2003

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St. Peters, MO 63376
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Fax (636) 397-1104

CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

WELLINGTON PARK
COVER SHEET

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St. Charles, MO 63040
(314) 235-7587

Prepared For:
THE JONES COMPANY
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A CENTEX Company

NO.	DATE	DESCRIPTION
1	03/12/03	REVISED STORM SEWER LAYOUT AT NORTH ENTRANCE
2	04/23/03	REVISED PER DUCKETT CREEK SANITARY DISTRICT
3	04/26/03	REVISED PER DUCKETT CREEK SANITARY DISTRICT
4	05/17/03	REVISED PER ST. CHARLES CO. HWY.
5	05/27/03	REVISED PER ST. CHARLES CO. HWY.
6	06/05/03	REVISED PER ST. CHARLES CO. HWY.
7	06/17/03	REVISED PER ST. CHARLES CO. HWY.
8	06/27/03	REVISED STORM SEWER OUTFALL UNDER BATES ROAD
9	07/16/03	REVISED PER THE CITY OF O'FALLON

DRAWN	DATE
E.J.S.	03-04-03
CHECKED	DATE

PROJECT # 02077-JCCH-00R
TASK # 6 FIELD 1997B
BOOK 821

WELLINGTON PARK
COVER SHEET

SHEET 1 OF 23

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APPROVED as Noted
Alfred B. Wapstra

