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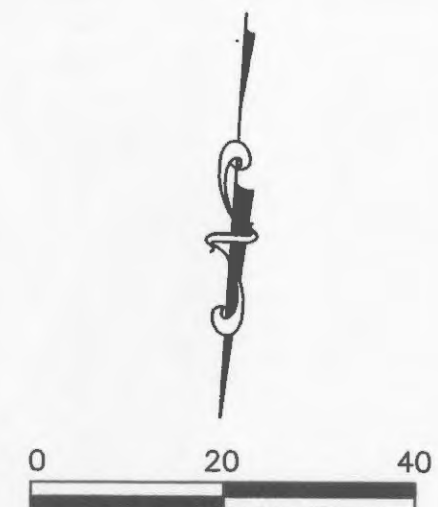
Improvement Plans
Wendy's Restaurant
1390 Mexico Loop Road East
O'Fallon, Missouri 63366

No.	Description	Date
Agency Submittal		04/25/08
Per City		07/15/08
		07/30/08
Per City		08/22/08

Site Geometry
& Utility Plan

C5

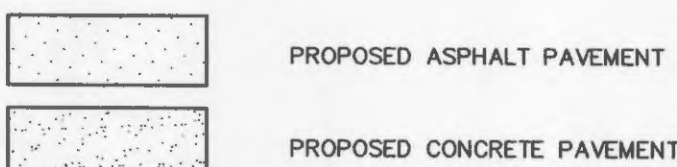
Planning and Development No. 9987.07.01
Planning and Zoning Commission
Approval - March 6, 2008
City Council Approval - March 27, 2008



SCALE:
1 inch = 20 ft.
BASIS OF BEARING:
PLAT BOOK 45 PAGE 57.

● - DENOTES SET 1/2" x 18" REBAR WITH CAP STAMPED "MARLER L.S. -347-D"

LEGEND FOR NEW PAVEMENT



GENERAL NOTES

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 318 RSMO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH POTENTIAL CONFLICTS AND/OR DISRUPTION OF SERVICE WITH THE RESPECTIVE UTILITY COMPANIES, FOR SEWER AND UTILITY INSTALLATIONS AND ALL OTHER ON-SITE ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION PARKING WITH THE CITY OF O'FALLON AND WITH THE OWNER.
- CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES ARE CAPPED OR REMOVED AND/OR ABANDONED AS REQUIRED PER THE SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCY.
- PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES INDICATED TO REMAIN IN PLACE.
- PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
- RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION AND GRADES, AS ACCEPTABLE TO PROPERTY OWNERS.
- CONTRACTOR SHALL COORDINATE ALL PAVEMENT/HARDSCAPE INSTALLATION WITH PROPOSED UTILITY INSTALLATIONS TO AVOID THE CONDITION WHERE NEW PAVEMENT IS SAWCUT OR REMOVED FOR A REQUIRED UTILITY INSTALL. CONDUIT LOCATIONS AND UTILITY SERVICES SHALL BE REVIEWED BY CONTRACTOR, PRIOR TO PAVEMENT/HARDSCAPE INSTALLATIONS.
- ALL UTILITIES WILL BE LOCATED UNDERGROUND.
- ALL LIGHT STANDARDS TO BE LOCATED WITHIN LANDSCAPING ISLANDS. REFER TO PHOTOMETRIC PLAN BY OTHERS FOR LOCATION AND DETAILS.
- BACKFLOW PREVENTER TO BE LOCATED WITHIN THE BUILDING. SEE PLUMBING PLANS FOR LOCATION AND DETAILS.
- PROPOSED ELECTRIC CONDUIT TO BE INSTALLED BY ELECTRIC CONTRACTOR.
- LIGHTING ON SITE MUST BE AIMED AND SHIELDED SO THAT THE AMBIENT LIGHT LEVEL ON SITE DOES NOT EXCEED 0.5 FOOT CANDLES AT THE PROPERTY LINE.

POSSIBLE UTILITY CONFLICT!! CONTRACTOR TO FIELD VERIFY LOCATION AND FLOWLINE OF EXISTING UTILITY PRIOR TO BEGINNING SEWER CONSTRUCTION. ENGINEER TO BE NOTIFIED IMMEDIATELY OF POSSIBLE CONFLICTS.

EXISTING WATERLINE MAY NEED TO BE RAISED PER THE REQUIREMENTS OF THE CITY OF O'FALLON WATER

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