

# A SET OF CONSTRUCTION PLANS FOR WENTZVILLE R-IV SCHOOL DISTRICT DISCOVERY RIDGE ELEMENTARY CLASSROOM ADDITIONS

A TRACT OF LAND BEING  
PART OF FRACTIONAL SECTION 15,  
TOWNSHIP 46 NORTH, RANGE 2 EAST  
OF THE FIFTH PRINCIPAL MERIDIAN  
ST. CHARLES COUNTY, MISSOURI

## Conditions of Approval From Planning and Zoning

## Development Notes

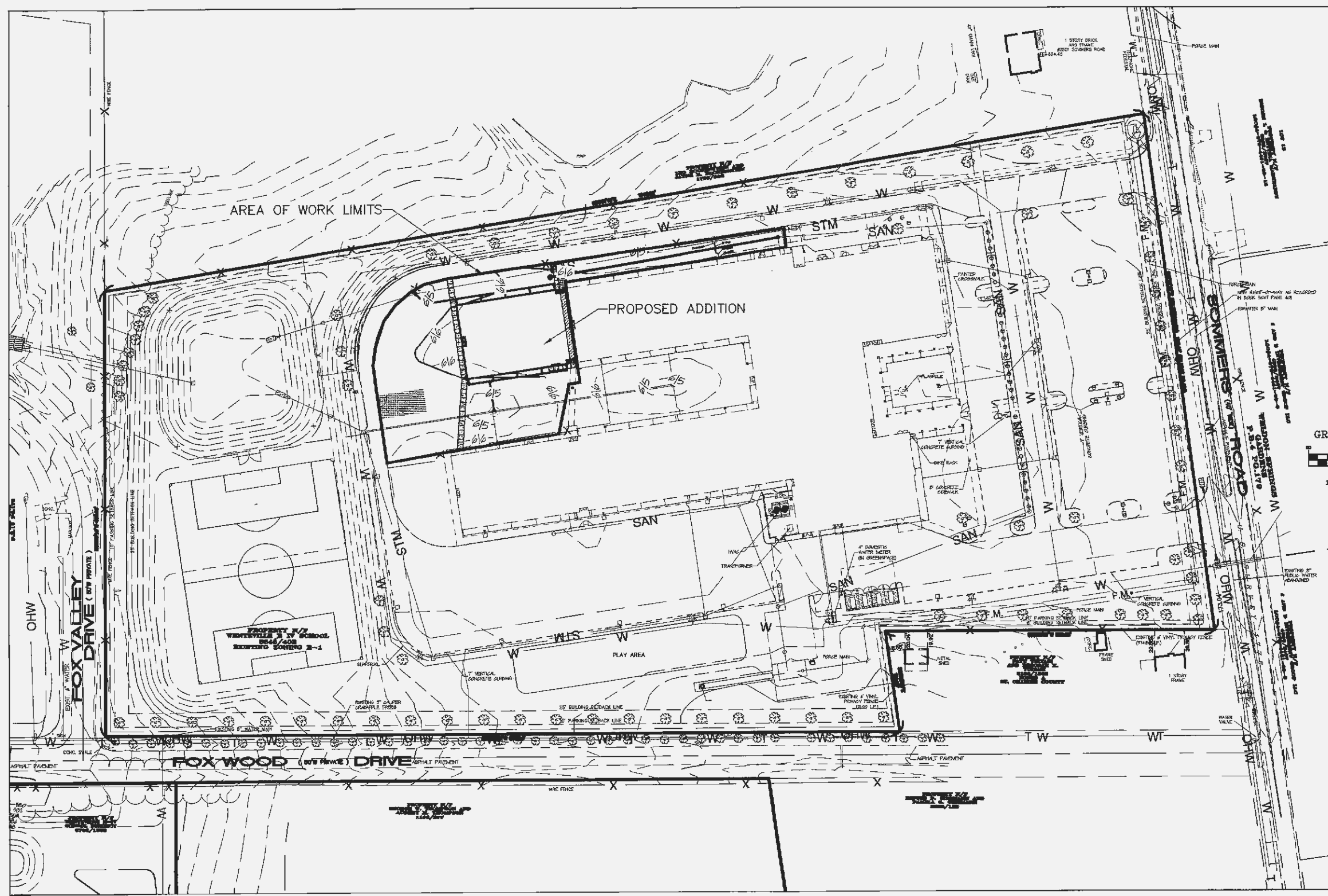
- Area of Tract: 14.76 Acres (0.68 Acres disturbed)
- Existing Zoning: R-1 (City of O'Fallon)
- Proposed Use: Elementary School
- Building Area: Proposed addition: 9,705 sq.ft.  
Existing building: 90,506 sq.ft.  
Total: 100,211 sq.ft.
- Property Owner: Wentzville School District  
One Campus Drive  
Wentzville, Mo 63385  
636-327-3800  
Dr. Curtis Cain
- Per F.I.R.M. Flood Insurance Rate Map of the County of St. Charles, Missouri (Community Flood Number 290315 0410 E, Dated AUGUST 2, 1996) This tract of land is within Zone "X". Zone "X" is defined as an area outside the 500 year flood plain.
- Site Coverage Calculations:  
Area of Development = 642,946 sq.ft.  
Buildings = 100,211 sq.ft. = 15%  
Pavement = 198,392 sq.ft. = 25%  
Green Space = 383,343 sq.ft. = 60%
- Tree Preservation Calculations:  
No trees are being removed on this plan, therefore no tree preservation is provided.
- Detention is provided for on site. Original design included this addition under the approved site detention as being fully developed. City file #3407.03 and the detention report show this area as being built out and the basin was constructed to accommodate this addition.
- Site lighting is proposed to be building mounted. Prior to Construction Site Plan approval, a Photometric Lighting Plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting. All proposed lighting values will be reviewed on site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
- All new utilities on site are to be located underground.
- Maximum slopes on any area are not to exceed 3:1.
- All storm sewers onsite are private and will be maintained by the School District.
- Contractor to provide haul route information and where dump site is located for extra material.

Utility Contacts	
Duckett Creek Sanitary District 3550 Highway K O'Fallon, MO 63368 636-441-1244	Gas Laclede Gas Company 8400 Graham Road St. Louis, MO 63134 314-522-2287
Public Water Supply District No. 2 P.O. Box 967 O'Fallon, MO 63366 636-561-3737 Ext. 131	Telephone Century Link 1151 Century Tel Dr. Wentzville, MO 63385 636-332-7261
Storm Sewer City of O'Fallon 100 N. Main St. O'Fallon, MO 63366 636-281-2858	Wentzville Fire District 209 West Pearce Blvd. Wentzville, MO 63385 636-332-9869
Culvre River Electric Co. P.O. Box 160 Troy, MO 63379-0160 1-800-392-3709	



CALL BEFORE  
YOU DIG!  
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CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: [Signature] DATE 8-27-15  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN



## Project Notes

- City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:  
October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. To 8:00 P.M. Saturday and Sunday
- The area of this phase of development is 0.93 ACRES. The area of land disturbance is 0.93 ACRES. Number of proposed lots is N/A. Building setback information: Front 25' Side 6' Rear 25'
- The estimated sanitary flow in gallons per day is 12,300 gpd.
- Parking calculations:  
2 Parking spaces per Classroom or one (1) spaces per five (5) seats or eight (8) feet of bench length in auditorium, whichever is greater, plus one (1) space per two (2) faculty and staff members required.  
7 new classrooms ~ 42 total classrooms (42x2) = 84 parking spaces required. Auditorium seating 682 (461 on gym floor seating folding chairs and 221 on pre-molded seated bleachers not typical bench type) 682/5 ~ 136.40 ~ 137 spaces required, 77 faculty/staff with addition 77/2 ~ 39 parking spaces required 137+39 = 176 parking spaces required.  
188 existing parking spaces provided, including 8 handicap spaces. No additional parking spaces have been added on this plan.
- Bicycle Parking (1 rack per 15 spaces, minimum 4-rack per individual building):  
Total parking provided for School = 188 spaces  
Total required bike spaces = 12.53 ~ 13 bicycle spaces  
Total bike spaces provided = 16 bicycle spaces  
No additional bicycle spaces have been added on this plan.
- Landscape Requirements: (Under Initial Phase)  
Interior Landscape Requirements @ 5% of parking area (270 sq.ft. X # of parking spaces)  
Total 188 x 270 = 50,760 S.F. sq. ft. x 0.06 (6%) = 3,045.60  
Interior Landscape Required: 3,045.60 S.F.  
Interior Landscape Provided: 9,020 S.F.  
No additional landscaping has been added on this plan.
- Street Tree Requirements: 1 tree every 40' of frontage (Under Initial Phase)  
Sommers Rd.: 566' - Entrances = 494'  
494' / 40 = 12.35 ~ 12 trees required, 12 trees relocated per revised plan and approved 11/12/2010 by staff. This plan reflects those changes. Trees were relocated and installed along Foxwood and the southeast entrance.  
Foxwood Drive: 864' / 40 = 21.6 ~ 22 trees existing  
No additional street trees have been added on this plan.
- Open Space Landscape Requirements (Area outside bldg and pavement)  
84,811 S.F. / 3,000 S.F. = 28.27 ~ 28 trees required (Square footage does not include areas set aside for detention and bufferyard requirements).  
Trees provided = 31  
No additional landscape has been added on this plan.

## Plan View

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
<b>SEEDING RATES:</b>	
<b>PERMANENT:</b>	
Tall Fescue - 30 lbs./ac.	
Smooth Brome - 20 lbs./ac.	
Combined - Fescue @ 15 lbs./ac. AND Brome @ 10 lbs./ac.	
<b>TEMPORARY:</b>	
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)	
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)	
<b>SEEDING PERIODS:</b>	
Fescue or Brome - March 1 to June 1	
Wheat or Rye - March 15 to November 1	
Oats - March 15 to September 15	
<b>MULCH RATES:</b>	
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)	
<b>FERTILIZER RATES:</b>	
Nitrogen - 30 lbs./ac.	
Phosphate - 30 lbs./ac.	
Potassium - 30 lbs./ac.	
Lime - 600 lbs./ac. ENM*	
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

## Benchmarks Project

Reference Benchmark (USGS):  
RM19 Elev. 536.06  
Chiseled Square on wingwall at the northwest corner of County Highway DD bridge over the Dordenne Creek.

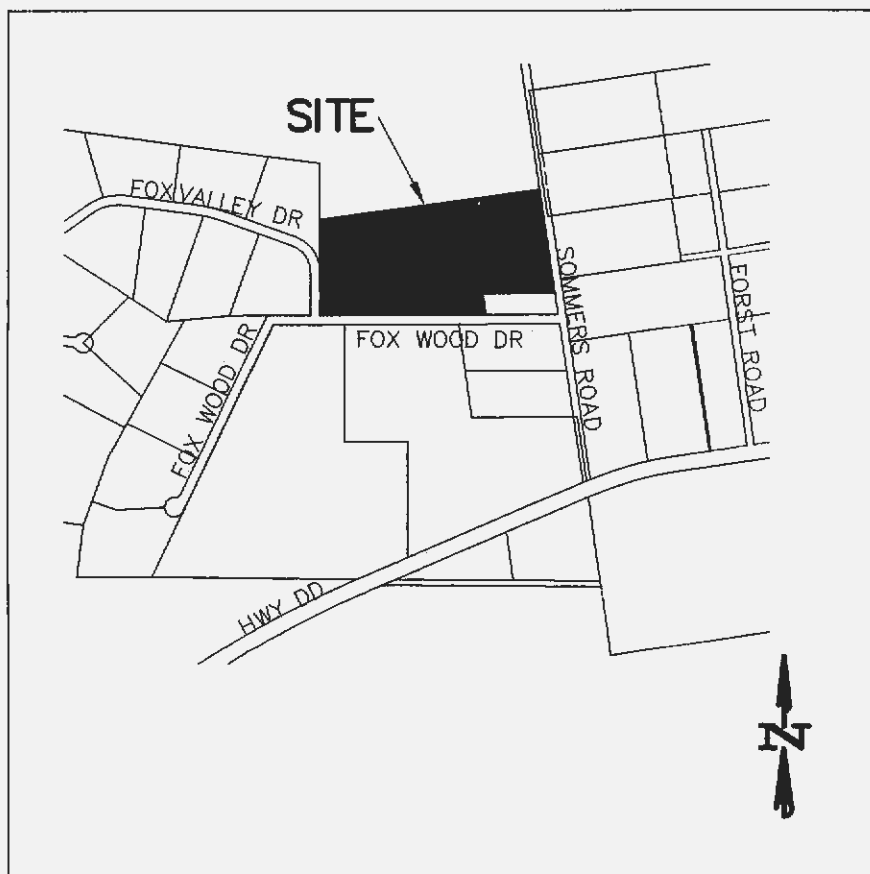
## Site

Elev. 583.97  
Old cross on curb 42± North of and 235± East of the Northwest property corner of subject property at the Northeast corner of the intersection of Foxwood Drive and Fox Valley Drives.

## Drawing Index DISCOVERY RIDGE

- BASE BID SHEETS**
- COVER SHEET
  - COMMERCIAL NOTES
  - SITE/GRADING PLAN
  - EXISTING DRAINAGE AREA MAP
  - PROPOSED DRAINAGE AREA MAP
  - DOWNSPOUT PLAN
  - DETAILS
  - SANITARY DETAILS
  - STORM WATER POLLUTION PLAN
  - PARKING LOT STRIPING PLAN

## Locator Map



## Legend

EX. CURB/AREA INLET	FLARED END SECTION	WATER FAUCET
EX. DOUBLE CURB/AREA INLET	CURB/AREA INLET	WATER SPRINKLER
EX. STORM SEWER MANHOLE	DOUBLE CURB/AREA INLET	CABLE TV BOX
EX. SANITARY SEWER MANHOLE	GRATE INLET	ELECTRIC BOX
EX. ELECTRIC MANHOLE	DOUBLE GRATE INLET	ELECTRIC TRANSFORMER
EX. GAS MANHOLE	GRATE MANHOLE	TRAFFIC CONTROL BOX
EX. TELEPHONE MANHOLE	STORM SEWER MANHOLE	TELEPHONE CABLE PEDESTAL
EX. WATER MANHOLE	SANITARY SEWER MANHOLE	ELECTRIC METER
EX. PIPELINE MARKER	ELECTRIC MANHOLE	GAS METER
EX. FIBER OPTIC MARKER	GAS MANHOLE	WATER METER
EX. GAS DRIP	TELEPHONE MANHOLE	PAY TELEPHONE
EX. GAS VALVE	WATER MANHOLE	MAILBOX
EX. WATER VALVE	PIPELINE MARKER	SATELLITE DISH
EX. FIRE HYDRANT	FIBER OPTIC MARKER	TRAFFIC SYMBOL
EX. YARD DRAIN	GAS DRIP	TREE
EX. CLEANOUT	GAS VALVE	BUSH
EX. DOWNSPOUT	WATER VALVE	TREE STUMP
EX. BOLLARD	FIRE HYDRANT	CI CURB INLET
EX. FOUND PIPE	YARD DRAIN	AI AREA INLET
EX. SET PIPE	CLEANOUT	GI GRATE INLET
EX. ROW MARKER	DS DOWNSPOUT	DCI DOUBLE CURB INLET
EX. BENCHMARK	BOLLARD	DAI DOUBLE AREA INLET
EX. TEST HOLE	WATER WELL	DGI DOUBLE GRATE INLET
EX. BORE HOLE	MONITORING WELL	MH MANHOLE
EX. MONUMENT	UTILITY BOX	GMH GRATE MANHOLE
EX. CONTROL	GAS TANK	FE FLARED END SECTION
EX. AXLE	SIGN	EP END PIPE
EX. CROSS	HANDICAP PARKING	CP CONCRETE PIPE
EX. RR SPIKE	POWER POLE	ROP REINFORCED CONCRETE PIPE
EX. COTTON PICKER SPINDLE	GUY WIRE	OMP CORRUGATED METAL PIPE
EX. T-POST	LIGHT STANDARD	OMP CORRUGATED PLASTIC PIPE
	YARD LIGHT	PVC POLY VINYL CHLORIDE (PLASTIC)
	SEPTIC TANK	CO CLEANOUT
		DS DOWNSPOUT
		TBR TO BE REMOVED
		TBR&R TO BE REMOVED & REPLACED
		TBR&R&E TO BE REMOVED & RELOCATED
		UIP USE IN PLACE
		TCE TEMPORARY CONSTRUCTION EASEMENT
		PDE PERMANENT DRAINAGE EASEMENT
		PUE PERMANENT UTILITY EASEMENT
		CAE CROSS-ACCESS EASEMENT
		PWE PERMANENT WALL EASEMENT

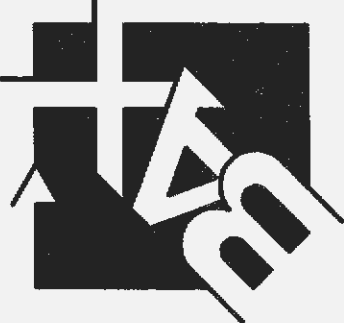
GRADING QUANTITIES:	
1,330 C.Y. CUT	(INCLUDES REMEDIATION AREA EXCAVATION)
20 C.Y. FILL	(INCLUDES 8% SHRINKAGE)
1,310 C.Y. HAUL OFF	

CONTRACTOR TO HAUL OFF MATERIAL. COORDINATE WITH SCHOOL DISTRICT IF DISTRICT WANTS DIRT PLACED ON ANY OTHER CAMPUS.  
THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY. NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

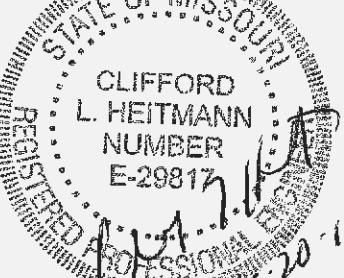
City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

**PROJECT TITLE:**  
DISCOVERY RIDGE  
ELEMENTARY SCHOOL  
CLASSROOM ADDITIONS

**ENGINEERING  
PLANNING  
SURVEYING**  
221 Point West Blvd.  
St. Charles, MO 63801  
636-928-5552  
FAX 636-928-1718



**DISCLAIMER OF RESPONSIBILITY**  
I hereby specify that the documents intended to be collected by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part of the architectural or engineering project.



CLIFFORD L. HEITMANN  
CIVIL ENGINEER  
E29817  
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REVISIONS	
8-11-15	CITY COMMENTS

**DISCOVERY RIDGE ELEMENTARY:  
WENTZVILLE R-IV SCHOOL DISTRICT  
ONE CAMPUS DRIVE  
WENTZVILLE, MO 63385  
636-327-3800**

**COVER SHEET**

**P+Z No.** 3407.11  
**City No.** 15-607  
**Page No.** 1 of 10