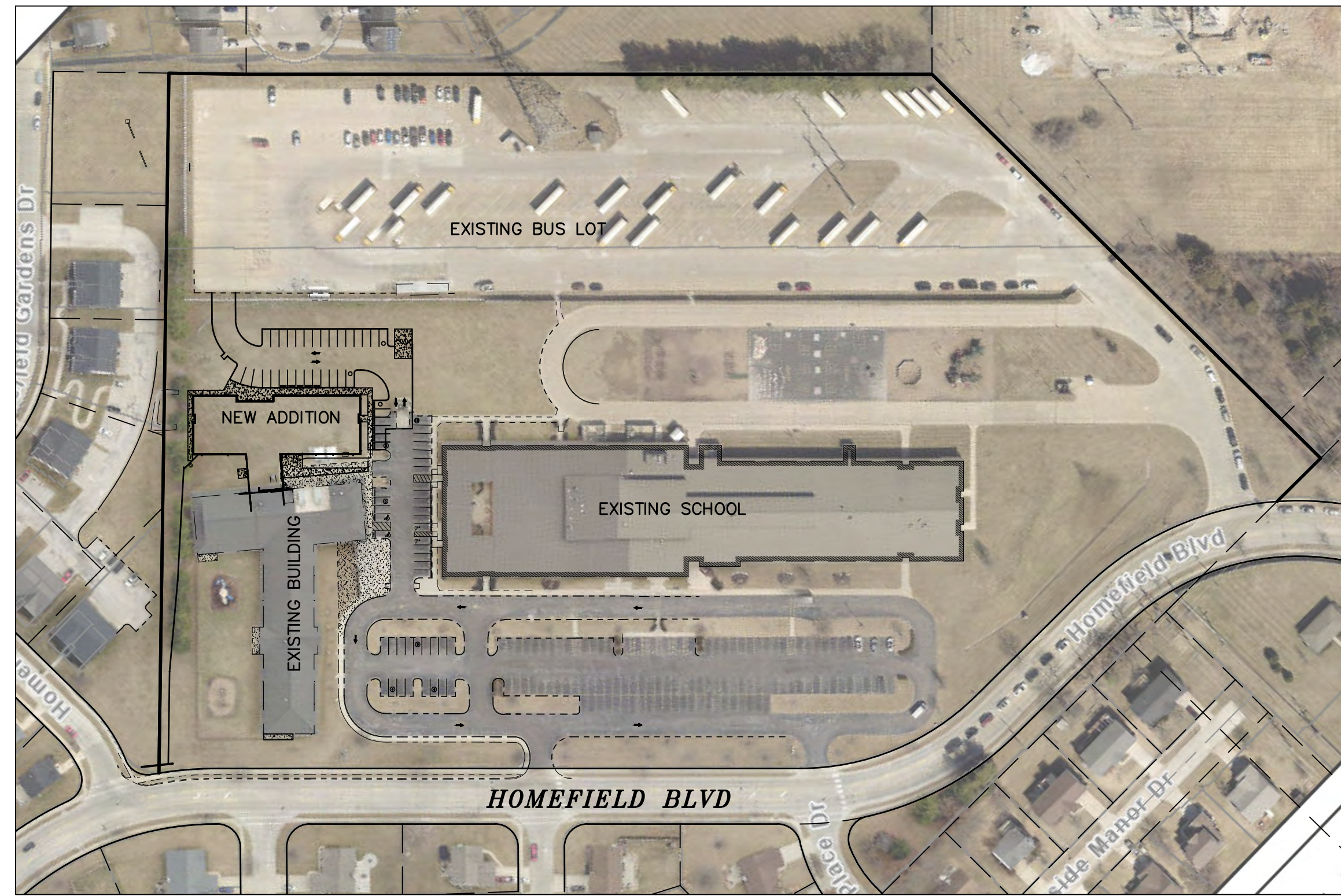
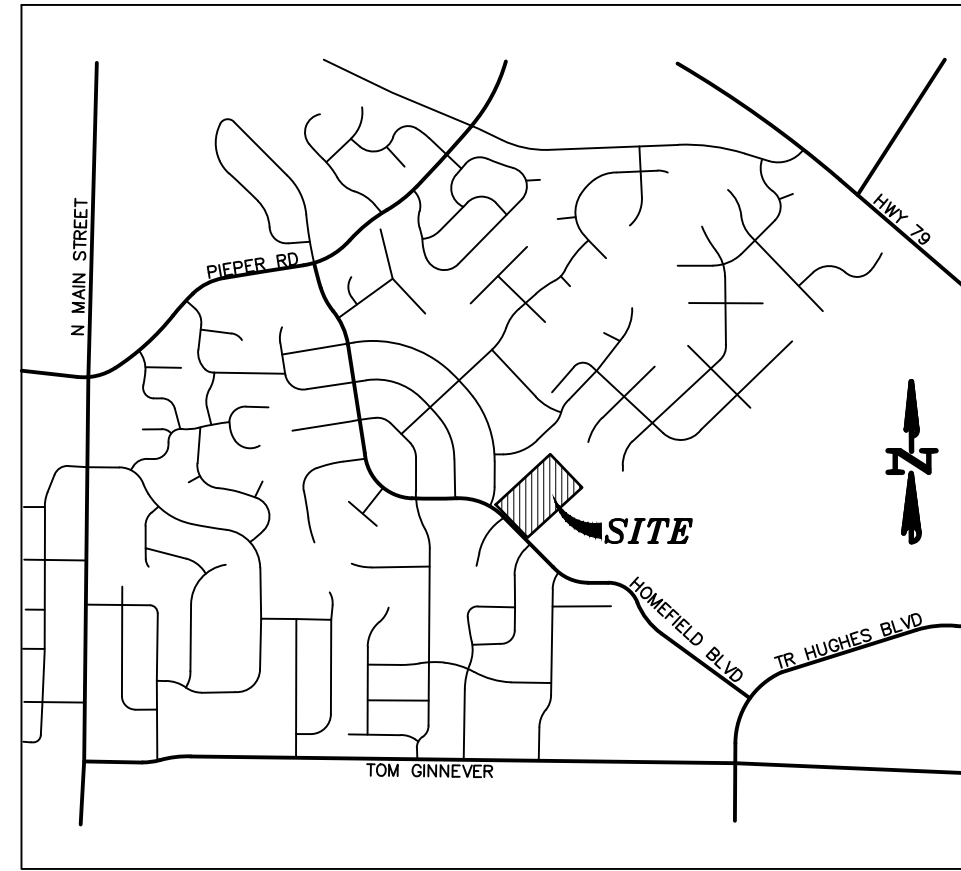


A SET OF CONSTRUCTION PLANS FOR MIKE CLEMENS CENTER FOR ADAPTIVE LEARNING ADDITION

A TRACT OF BEING PART OF OUTLOT A AND OUTLOT B
OF "HOMEFIELD BOULEVARD", PLAT BOOK 37, PGS. 110-112
AND BEING IN FRACTIONAL SECTION 16, TOWNSHIP 47 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map
NOT TO SCALE

Development Notes:

- AREA OF TRACT: 17.48 AC.
AREA DISTRIBUTED: 1.13 AC.
- CURRENT ZONING: R-1 PUD (RESIDENTIAL)
(CITY OF FALLON)
- AREA OF BUILDINGS: EXISTING BUILDINGS=89,660 SQ.FT.
PROPOSED ADDITION=12,996 SQ.FT.
PROPOSED USE: ELEMENTARY SCHOOL/TRANSITION CENTER
- REQUIRED BUILDING & PARKING SETBACKS:
FRONT YARD 25 FEET
SIDE YARD 6 FEET
REAR YARD 25 FEET
- PARKING REQUIREMENTS & PROVISIONS:
EXISTING PARKING:
2 SPACES PER CLASSROOM, PLUS 1 SPACE PER 2 EMPLOYEES
WESTHOFF ELEMENTARY:
26 CLASSROOMS X 2 = 52
76 EMPLOYEES / 2 = 38
TOTAL PARKING REQUIRED = 90
TRANSITION CENTER:
16 CLASSROOMS X 2 = 32
40 EMPLOYEES / 2 = 20
TOTAL PARKING REQUIRED = 52
OVERALL PARKING REQUIRED = 142
PARKING PROVIDED = 155 (INCLUDING 10 HANDICAP SPACES)
PROPOSED PARKING:
TRANSITION CENTER ADDITION: 12 CLASSROOMS X 2 = 24
12 EMPLOYEES / 2 = 6
TOTAL REQUIRED = 30
ADDITIONAL PARKING PROVIDED: 31 SPACES
W/2 HANDICAP SPACES

Utility Contacts

Sanitary Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858

Water
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858

Storm Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-281-2858

Ameren UE
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

Gas
Spire Energy Company
6400 Graham Road
St. Louis, MO. 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO. 63366
636-272-3493

BICYCLE PARKING REQUIREMENTS:
1 SPACE PER 15 PARKING STALLS
32 STALLS / 15 = 2 BICYCLE SPACES
ADDITIONAL BICYCLE SPACES PROVIDED = 2

6. LANDSCAPE REQUIREMENTS:
INTERIOR LANDSCAPING REQUIRED:
NOT LESS THAN 6% OF INTERIOR PARKING LOT SHALL BE LANDSCAPED.
31 NEW SPACES X 270 SF = 8,370 X 6% = 502 SQ.FT. LANDSCAPING REQUIRED
TOTAL 1,233 SQ.FT. LANDSCAPING PROVIDED
OPEN SPACES:
1 TREE FOR EVERY 4,000 S.F. LANDSCAPED AREA.
1,233 S.F. / 4,000 S.F. = 1 TREE REQUIRED
TOTAL TREES PROVIDED = 2

7. WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE FOLLOWING FLOOD INSURANCE RATE PARKS (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0235G, COMMUNITY PANEL NUMBER, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016. BY EXPRESS REFERENCE TO THESE MAPS AND THEIR LEGENDS, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONE:

ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

8. PROPERTY OWNER:
FORT ZUMWALT SCHOOL DISTRICT
555 E. TERRA LANE
O'FALLON, MO 63366

SITE ADDRESS:
910 HOMEFIELD BLVD
O'FALLON, MO 63367

9. SITE COVERAGE CALCULATIONS:

EXISTING LOT SQ. FT.	EX. BLDG SQ. FT.	% OF LOT	EX. PVMT SQ. FT.	% OF LOT	GREENSPACE SQ. FT.	% OF LOT
761,428	89,660	11.8%	371,610	48.8%	300,158	39.4%

TOTAL LOT SQ. FT.	ADD. BLDG SQ. FT.	% OF LOT	ADD. PVMT SQ. FT.	% OF LOT	GREENSPACE SQ. FT.	% OF LOT
761,428	14,110	1.8%	11,250	1.5%	-	-

TOTAL LOT SQ. FT.	TOTAL BLDG SQ. FT.	% OF LOT	TOTAL PVMT SQ. FT.	% OF LOT	GREENSPACE SQ. FT.	% OF LOT
761,428	103,770	13.6%	382,860	50.3%	274,798	36.1%

10. ESTIMATED ADDITIONAL SANITARY FLOW CONTRIBUTED BY THIS DEVELOPMENT IS 3,000 G.P.D.

11. SITE SHALL COMPLY WITH CITY OF O'FALLON STORMWATER MANAGEMENT.

12. MAXIMUM SLOPES ALLOWED ARE 3:1.

13. ALL UTILITIES WILL BE LOCATED UNDERGROUND.

14. ALL PAVING TO BE IN ACCORDANCE WITH ST. LOUIS COUNTY SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON, MO.

15. ALL HVAC AND MECHANICAL UNITS SHALL BE SCREENED AS PER THE CITY CODE.

16. BASIC SOIL EROSION AND CONTROL MEASURES TO BE UTILIZED DURING SITE DEVELOPMENT. SITE SHALL COMPLY WITH ST. CHARLES COUNTY STANDARDS.

17. CONTACT O'FALLON FIRE DEPARTMENT TO DETERMINE ANY ADDITIONAL REQUIRED APPROVALS (NOTE: THE FIRE DISTRICTS ARE INDEPENDENT AGENCIES AND NOT FALL UNDER THE JURISDICTION OF THE CITY).

18. ALL CONTRACTORS WILL CONFORM WITH ALL OSHA STANDARDS AND ALL ADA GUIDELINES WILL BE MET.

Conditions of Approval From Planning and Zoning

NOTE:

- The Site Plan Approval shall expire, and be of no effect, one (1) year after the date of issuance thereof, unless within such time Construction Plans or Building Permits for any proposed work authorized under the said site plan approval has been issued.
- Prior to approval of a Building Permit, a Constructoin Site Plan must be reviewed and approved by City Staff. The application is available on the City's website via www.ofallon.mo.us (City Departments, Public Works, Engineering) through the O'Fallon Permitting, Licensing and Enforcement (OPLE) system.
- The appropriate Fire District will need to review and approve the development.
- Any signage to be placed on the subject property requires a separate Sign Permit.
- All Conditions of Approval shall be noted on the Construction Plans.

GRADING QUANTITY 2,071 Cu.Yds. Short

THE ABOVE YARDAGE IS AN APPROXIMATION ONLY, NOT FOR BIDDING PURPOSES. CONTRACTORS SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

IT IS THE INTENTION OF THE ENGINEERING FOR THE EARTHWORK TO BALANCE ON-SITE. THE ENGINEER SHALL BE NOTIFIED IF ANY DIFFICULTIES ARISE IN ACHIEVING THE BALANCE.

BASED UPON SOIL TYPE THE SHRINKAGE FACTOR SHOULD BE ASSUMED AT 8%.

Benchmarks Project

BENCHMARK:
F-149NGS PIDJC0547 - Elevation 542.80 (NAVD88 DATUM)
Established by Coast and Geodetic Survey 1935, a standard brass disk, stamped F 149 1935 and set in the top of a concrete post projecting 3 inches above ground. Further described in 2003 as being located in the City of O'Fallon, MO. approximately 12 miles west of the City of Saint Charles and 7.5 miles east of Wentzville and in front of the City of O'Fallon Municipal Center. To reach the station from the intersection of the I-70 bridge over CR-K/SR-M (Main Street), go north 0.6 miles on Main Street to the station on the right at the southeast corner of the entrance to the City of O'Fallon Municipal Building. The station is a standard CGS disk stamped--F 149 1935--and set in a 4-inch square concrete monument projecting 3 inches above the ground. The station is 78.4 feet south of the brick City of O'Fallon Municipal Building entrance sign, 61.2 feet southwest of a stop sign, 45.0 feet north of the north rail of the Norfolk and Southern Railroad tracks, 28.6 feet southwest of a light standard and 25.7 feet northeast of a light standard.

Site

BENCHMARK:
Elevation 511.02 (NAVD88 DATUM)
Southernmost corner of area inlet located 368' northeast and 12.5' northwest of the westernmost corner of subject property.

Drawing Index

- COVER SHEET
- NOTES
- DEMOLITION PLAN
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- STORMWATER POLLUTION PREVENTION PLAN
- EXISTING DRAINAGE AREA MAP
- POST DEVELOPED DRAINAGE AREA MAP/STORM PROFILES
- CONSTRUCTION DETAILS
- WATER DETAILS
- SEWER DETAILS

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:

PERMANENT:
Tall Fescue - 150 lbs./ac.
Smooth Brome - 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.

TEMPORARY:
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

SEEDING PERIODS:
Fescue or Brome - March 1 to June 1
August 1 to October 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

MULCH RATES:
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

FERTILIZER RATES:
Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

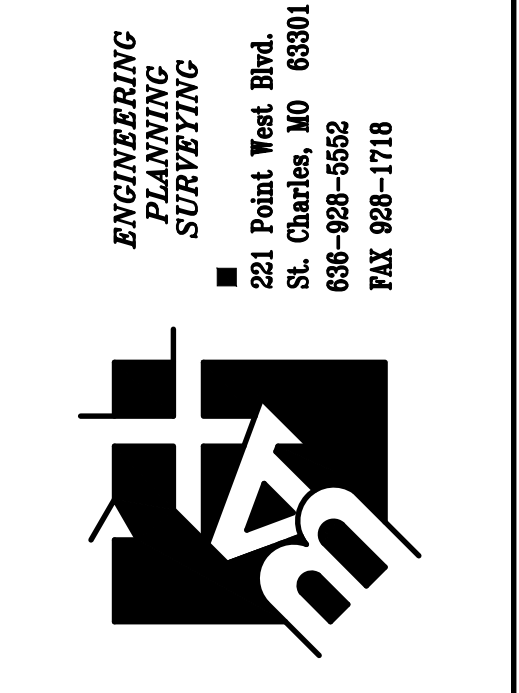
City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.
All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.
Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Karl Ebert DATE 03/30/2023
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

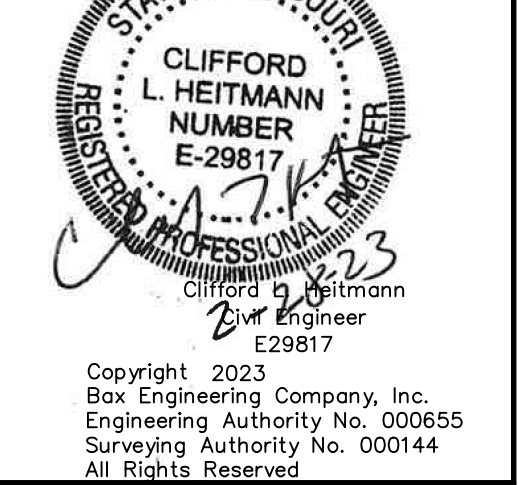


CALL BEFORE
YOU DIG!
1-800-DIG-RITE

PROJECT TITLE:
MIKE CLEMENS
CENTER FOR
ADAPTIVE LEARNING
ADDITION



DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.



ORIGINAL ISSUE DATE

01-18-2023

REVISIONS

NO.	DATE	DESCRIPTION
01-10-2023		PERMIT SET
01-18-2023		BID SET
02-10-2023		ADDENDUM 2
02-14-2023		CITY COMMENTS
02-24-2023		ADDENDUM 4
02-28-2023		CITY COMMENTS

Developer / Owner:
FORT ZUMWALT SCHOOL DISTRICT
555 EAST TERRA LANE
O'FALLON, MO 63366

P+Z No. #22-010172
APPROVED 11-03-22
City No. #14-400

Page No. C1.0
MIKE CLEMENS CENTER
ADDITIONS AND RENOVATIONS

BID SET

COVER SHEET

Box Project # 99-00001 Issue Date: 01/18/2023