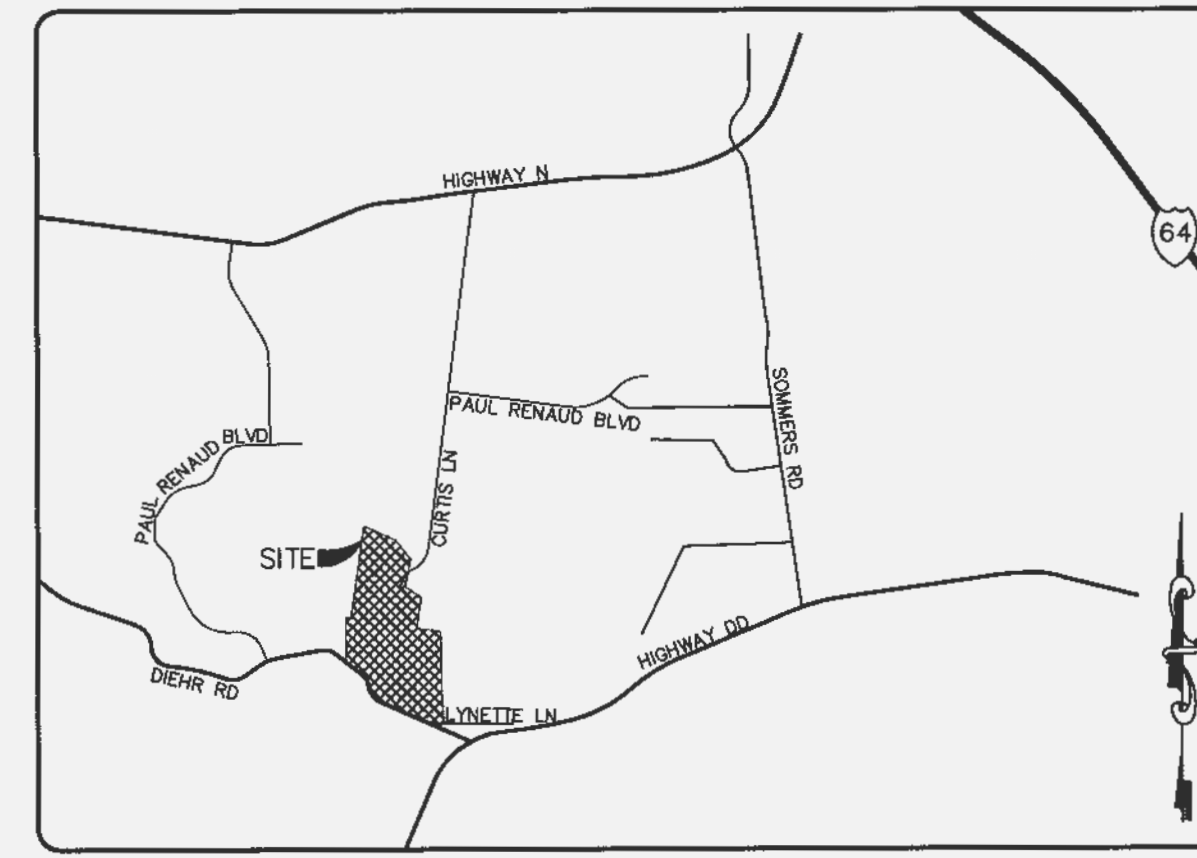


# A SET OF CLEARING PLANS FOR WESTLEIGH

A Tract of Land Being a Part of  
U.S. Survey 931 and Fractional  
Section 16, Township 46, Range 2 East  
St. Charles County, Missouri

ISSUE DATE/REMARKS  
1 11-13-2015 INITIAL SUBMITTAL  
2 01-06-2016 CITY COMMENTS



Locator Map

### Conditions of Approval From Planning and Zoning

- The USPS shall be contacted to finalize their preferred method of mail delivery. Provide written confirmation from the USPS prior to construction plan approval that states their preferred method and location of mail delivery. The Construction Plans shall show where mail box locations are proposed. If a kiosk is required, provide off-street parking.
- Revise the proposed alignment of the Lake St. Louis Blvd extension to match the existing right of way dedication.
- Provide right of way dedication for the future roadway alignment of Dieth Road and Highway DD. This may include the construction of a round-a-bout.
- Provide approval from the sanitary, water, school and fire districts.
- Traffic calming will be addressed with Construction Plans.
- Provide approval from the sanitary, water, school and fire districts.
- A contribution for the improvement of Dieth Road to the center line to upgrade it to a principle arterial roadway will be required.
- An 80' right of way dedication for Dieth Road with 10' wide utility easements shall be provided as well as temporary construction easements for the construction of improvements of Dieth Road.
- Landscaped berms shall be provided in the common ground strip along Dieth Road.
- Approval of the street names will be required from St. Charles County.
- The homebuilder shall be required to provide, at the City of O'Fallon's discretion, engineering studies on all lots with extreme changes in topography showing that homes can be built without significant danger to health, life, or property per Section 405.140 of the City of O'Fallon's subdivision code. These studies must be supplied and approved prior to the issuance of building permits.
- In accordance with the Wentzville School District comments, the developer shall provide a drop off lane at the intersection of Dieth Road and the entrance to the subdivision.
- The above Municipal Plans must be met before Construction Plan approval.

The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:

- The curb inlet located on Lot 13 shall be placed so as not to interfere with the driveway.
- Demonstrate how Lots 31 and 32 are served by sanitary sewer.
- Label the line on Lots 13-15, its purpose is not clear.
- Provide right of way dedication for the future roadway alignment of Dieth Road and Highway DD. This may include the construction of a round-a-bout.
- All retaining walls are to be in easements and be maintained by the home owners association.
- The gates at the entrance shall not be permitted due to the public right of way.
- Any storage in the detention basin below the base flood elevation will not count toward the required storm water storage.
- Comply with Section 415 of the City Code, paying particular attention to section 415.170 and the need for compensatory storage for fill placed in the floodplain.
- The developer shall work with City Staff on future roadway improvements to provide for proper ingress/egress.
- The pavement radius for the eyebrow shall be a minimum of 55' to allow school bus turnaround.

### Legend

EXISTING		PROPOSED
(Symbol)	CONTOURS	(Symbol)
(Symbol)	SPOT ELEVATIONS	(Symbol)
(Symbol)	CENTER LINE	(Symbol)
(Symbol)	BUILDINGS, ETC.	(Symbol)
(Symbol)	TREE LINE	(Symbol)
(Symbol)	FENCE	(Symbol)
(Symbol)	STORM SEWERS	(Symbol)
(Symbol)	SANITARY SEWERS	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	AREA INLET	(Symbol)
(Symbol)	GRATED INLET	(Symbol)
(Symbol)	STORM MANHOLE	(Symbol)
(Symbol)	SANITARY MANHOLE	(Symbol)
(Symbol)	FLARED END SECTION	(Symbol)
(Symbol)	CLEANOUT	(Symbol)
(Symbol)	LATERAL CONNECTION	(Symbol)
(Symbol)	UTILITY OR POWER POLE	(Symbol)
(Symbol)	FIRE HYDRANT	(Symbol)
(Symbol)	TEST HOLE	(Symbol)
(Symbol)	PAVEMENT	(Symbol)
(Symbol)	GAS MAIN & SIZE	(Symbol)
(Symbol)	WATER MAIN & SIZE	(Symbol)
(Symbol)	TELEPHONE	(Symbol)
(Symbol)	ELECTRIC (U) UNDERGROUND	(Symbol)
(Symbol)	ELECTRIC (O) OVERHEAD	(Symbol)
(Symbol)	FIBER OPTIC	(Symbol)
(Symbol)	CABLE	(Symbol)
(Symbol)	FLOW LINE	(Symbol)
(Symbol)	TO BE REMOVED	(Symbol)
(Symbol)	TOP OF CURB	(Symbol)
(Symbol)	SWALE	(Symbol)
(Symbol)	LIGHT STANDARD	(Symbol)
(Symbol)	STREET SIGN	(Symbol)
(Symbol)	P.S. PARKING STALLS	(Symbol)
(Symbol)	YARD LIGHT	(Symbol)

Plan View

**Drawing Index**

11	Cover Sheet
12	Clearing Notes
21	Clearing Plan
DTL-1,2	Erosion Control Details

### Benchmarks

THE STERLING COMPANY HAS ESTABLISHED TWO SITE BENCHMARKS AS DESCRIBED BELOW. THE SITE DATUM WAS ESTABLISHED USING TRIMBLE REAL-TIME KINEMATIC GPS HARDWARE FROM TWO POINTS ON THE PROJECT SITE TO A CONTINUOUSLY OPERATING REFERENCE STATION (CORS) WITH AN ID OF MOF AND A PID OF DM4688 VIA THE MISSOURI DEPARTMENT OF TRANSPORTATION REAL TIME KINEMATIC NETWORK. THESE POINTS WERE TIED TOGETHER VIA GROUND TRAVERSE USING CONVENTIONAL SURVEY EQUIPMENT AND THE SITE BENCHMARKS WERE ESTABLISHED FROM THE GROUND TRAVERSE.

SITE BENCHMARK #1: ELEVATION = 618.75' (NAVD 88)  
IRON ROD WITH TRAVERSE CAP SET 54 FEET EAST OF EAST EDGE OF GRAVEL PAVEMENT OF CURTIS ROAD, APPROX. 383 FEET SOUTH OF ITS INTERSECTION WITH THE CENTERLINE OF PAUL RENAUD BOULEVARD; 79 FEET SOUTHEAST OF A POWER POLE AND 189 FEET NORTHEAST OF A POWER POLE.

SITE BENCHMARK #2: ELEVATION = 628.21' (NAVD 88)  
"CROSS" CUT IN CONCRETE AT THE CENTER LINE OF CUL-DE-SAC, AT THE EAST END OF TRAILWYND COURT; 46 FEET WEST OF A LIGHT STANDARD AND 119 FEET EAST OF THE INTERSECTION OF THE CENTERLINES OF TRAILWYND COURT AND TRAILWYND DRIVE.

### Project Data

- TOTAL SITE AREA: 56.155 ACRES
- TOTAL DISTURBED AREA: 39.75 ACRES
- CURRENT FEMA MAP PANEL:  
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES COUNTY, MISSOURI, AND INCORPORATED AREAS (COMMUNITY PANEL NUMBER 29183C0410 E DATED AUGUST 2, 1996—REVISED BY LOMR EFFECTIVE DECEMBER 27, 2006 PURSUANT TO CASE NO. 06-07-B699P), THIS PROPERTY LIES MOSTLY WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OUTSIDE 500-YEAR FLOODPLAIN. A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE. ZONE AE IS DEFINED AS SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.

FEMA MAP PANEL (EFFECTIVE JANUARY 2016)  
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES COUNTY, MISSOURI, AND INCORPORATED AREAS (COMMUNITY PANEL NUMBER 29183C0410 G DATED JANUARY 20, 2016), THIS PROPERTY LIES MOSTLY WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OUTSIDE 500-YEAR FLOODPLAIN. A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE. ZONE AE IS DEFINED AS SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.

### TREE ORDINANCE

Existing trees = 40.54 acres  
Trees removed = 26.86 acres  
Trees saved = 13.68 acres  
Trees required to be saved = 8.10 acres (20%)  
No planting mitigation required.  
Complied with Chapter 402, Section 402.040

### Emergency Contact

LOMBARDO HOMES  
JEFF BOLAND  
Ph. 314-478-9727

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:  
October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

### Utility Contacts

Sanitary Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

Duckett Creek Sanitary District  
3550 Highway K  
O'Fallon, MO. 63368  
636-441-1244

Water  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858  
Missouri American Water Co.  
727 Craig Rd.  
St. Louis, MO. 63144  
1-866-436-0820

Public Water Supply District No. 2  
P.O. Box 967  
O'Fallon, MO. 63366  
636-561-3737 Ext. 131  
Storm Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
636-281-2858

Curve River Electric Co.  
P.O. Box 160  
Troy, MO. 63379-0160  
1-800-392-3709  
Aramon UE  
200 Cahoon Road  
Wentzville, MO. 63385  
636-636-6342

Gas  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO. 63134  
314-522-2297  
Telephone  
Century Tel  
1151 Century Tel Dr.  
Wentzville, MO. 63385  
636-332-7261

Fire Department  
O'Fallon Fire Protection District  
140 E. Elm St.  
O'Fallon, MO. 63366  
636-272-3403

Wentzville Fire District  
209 West Pearce Blvd.  
Wentzville, MO. 63385  
636-327-6239

Callaway Fire Protection District  
1285 Matherwood Rd.  
St. Charles, MO. 63304  
636-447-6655

New Melle Fire Protection District  
3075 Mill St.  
New Melle, MO. 63365  
636-828-5098

CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE

WESTLEIGH

O'FALLON, MISSOURI

THE STERLING CO.  
ENGINEERS & SURVEYORS  
5055 New Baumgartner Road  
St. Louis, Missouri 63129  
Ph. 314-733-8944  
www.sterling-engineers.com  
Corporate Certificate of Authority #001348

The Professional Engineer's seal and signature affixed to this sheet, as shown, constitute the seal and signature of the engineer. The seal and signature shall not be considered valid unless the seal and signature are used on the documents prepared by this engineer. Any reproduction of the seal and signature without the seal and signature of the engineer shall be deemed invalid.



Date: 01/06/2016  
RODNEY ARNOLD  
LICENSE # PE-2002016612  
Civil Engineer

Lombardo Homes of St. Louis, LLC  
2299 Technology Drive, Suite 150  
O'Fallon, Missouri 63368  
Ph. (636) 265-2710  
Fax (636) 695-3195  
www.lombardohomesstlouisc.com

P+Z No. 31-15.01  
City No. 15-923  
Date: 01/06/2016  
Job No. 14-10-348  
Page No.

1.1

IMP