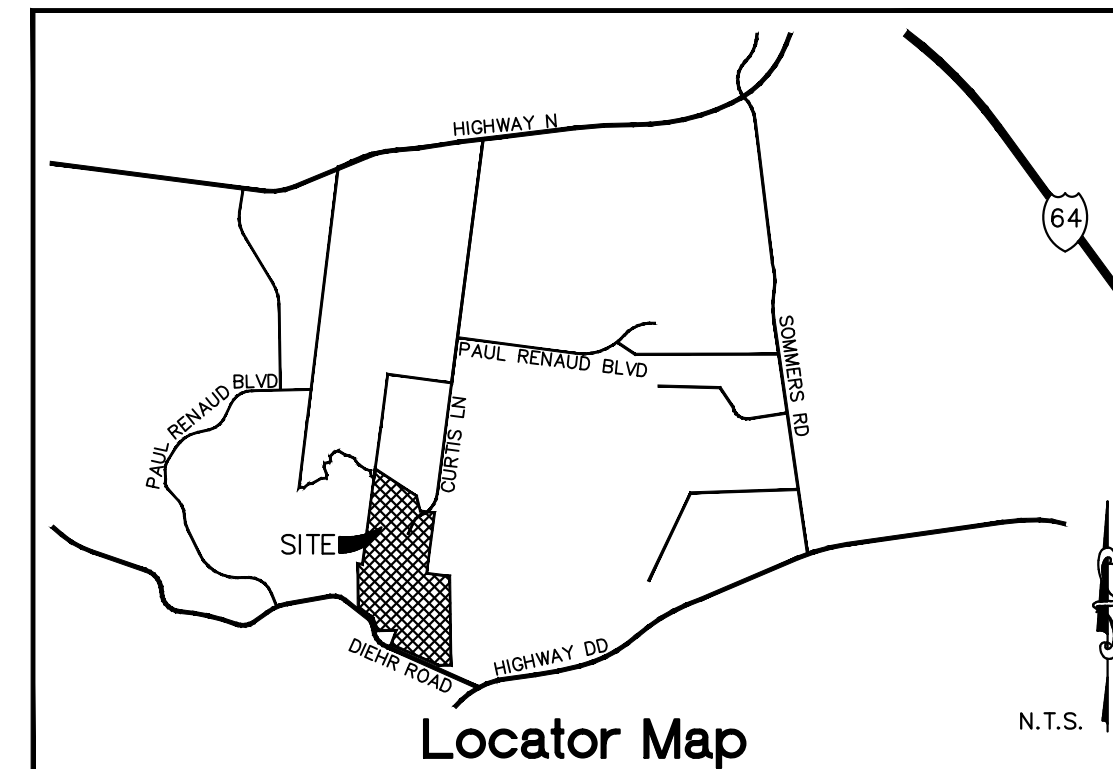


# A SET OF CONSTRUCTION PLANS FOR WESTLEIGH

A TRACT OF LAND BEING PART OF U.S. SURVEY 931 AND FRACTIONAL SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI



## Zoning and Density Notes

- GROSS AREA OF SITE: 56.16 ACRES
- CURRENT ZONING: R-1 SINGLE FAMILY RESIDENTIAL 56.16 ACRES
- CURRENT OWNERS: MOLLISON DONALD & MARIANNE  
1237 MENDOZA DR.  
ST. PETERS, MO 63376  
  
BARNETT STEPHEN R & CATHERINE M  
2500 CURTIS LN  
LAKE SAINT LOUIS, MO 63367  
  
LOMBARDO HOMES OF ST. LOUIS, LLC  
2299 TECHNOLOGY DRIVE, SUITE 150  
O'FALLON, MO 63368
- DWELLING UNITS PROPOSED: 57 UNITS
- PARKING: SPACES REQUIRED: (2.0 SPACES/UNIT)(57 UNITS)=114 SPACES  
TOTAL SPACES SHOWN: 114 GARAGE SPACES  
114 DRIVEWAY SPACES  
228 SPACES PROVIDED

## Conditions of Approval From Planning and Zoning

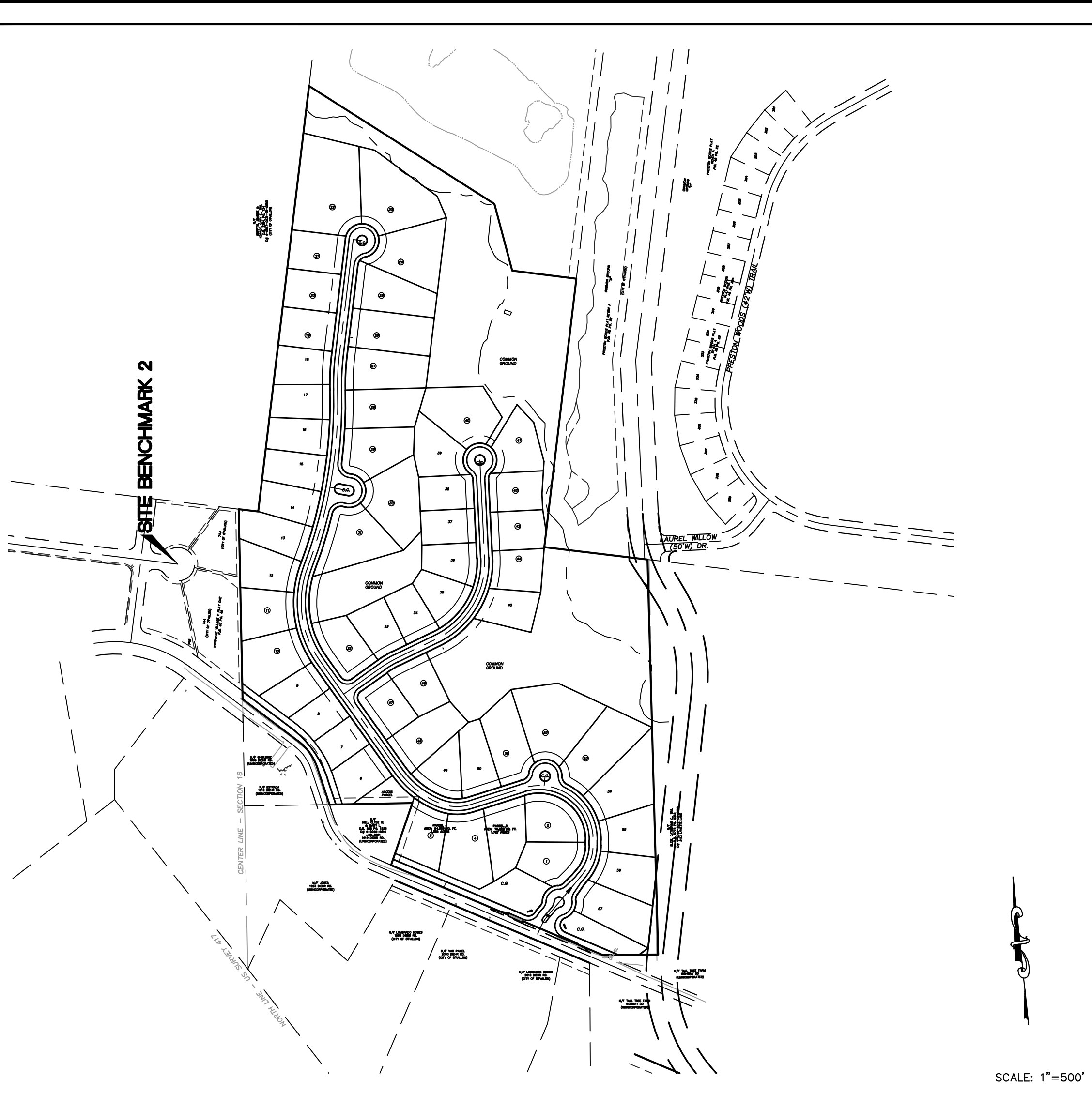
- The approval is conditional upon the following Staff recommendations being met:
- The USPS shall be contacted to finalize their preferred method of mail delivery. Provide written confirmation from the USPS prior to construction plan approval that states their preferred method and location of mail delivery. The Construction Plans shall show where mail box locations are proposed. If a kiosk is required, provide off-street parking.
  - Revise the proposed alignment of the Lake St. Louis Blvd extension to match the existing right of way dedication.
  - Provide right of way dedication for the future roadway alignment of Dierr Road and Highway DD. This may include the construction of a round-a-bout.
  - Provide approval from the sanitary, water, school and fire districts.
  - Traffic calming will be addressed with Construction Plans.
  - Provide approval from the sanitary, water, school and fire districts.
  - A contribution for the improvement of Dierr Road to the center line to upgrade it to a principle arterial roadway will be required.
  - An 80' right of way dedication for Dierr Road with 10' wide utility easements shall be provided as well as temporary construction easements for the construction of improvements of Dierr Road.
  - Landscaped green strip provided in the common ground strip along Dierr Road.
  - Approval of the street names will be required from St. Charles County.
  - The homebuilder shall be required to provide, at the City of O'Fallon's discretion, engineering studies on all lots with extreme changes in topography showing that homes can be built without significant danger to health, life, or property per Section 405.140 of the City of O'Fallon's subdivision code. These studies must be supplied and approved prior to the issuance of building permits.
  - In accordance with the Wentzville School District comments, the developer shall provide a drop off lane at the intersection of Dierr Road and the entrance to the subdivision.
  - The above Municipal Plans must be met before Construction Plan approval.

- The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:
- The curb inlet located on Lot 13 shall be placed so as not to interfere with the driveway.
  - Demonstrate how Lots 31 and 32 are served by sanitary sewer.
  - Label the line on Lots 13-15. Its purpose is not clear.
  - Provide right of way dedication for the future roadway alignment of Dierr Road and Highway DD. This may include the construction of a round-a-bout.
  - All retaining walls are to be in easements and be maintained by the home owners association.
  - The gates at the entrance shall not be permitted due to the public right of way.
  - Any storage in the detention basin below the base flood elevation will not count toward the required storm water storage.
  - Comply with Section 415 of the City Code, paying particular attention to section 415.170 and the need for compensatory storage for fill placed in the floodplain.
  - The developer shall work with City Staff on future roadway improvements to provide for proper ingress/egress.
  - The pavement radius for the eyebrow shall be a minimum of 55' to allow school bus turnaround.

## Legal Description

A TRACT OF LAND BEING PART OF U.S. SURVEY 931 AND FRACTIONAL SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD AT THE NORTHEAST CORNER OF LOT 743 OF WYNDGATE VILLAGE F PLAT ONE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 43 PAGE 46 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS; SAID CORNER ALSO BEING THE INTERSECTION OF THE NORTH-SOUTH CENTERLINE OF ABOVE SAID SECTION 16 AND THE SOUTH LINE OF ABOVE SAID U.S. SURVEY 931; THENCE ALONG SAID SOUTH LINE, SOUTH 83°01'44" EAST, 63.25 FEET TO A POINT BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO JOANN M. GRIFFITH AND GARY E. KOPADT BY DOCUMENT RECORDED IN DEED BOOK 2354 PAGE 724 OF SAID RECORDS; THENCE LEAVING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID GRIFFITH AND KOPADT TRACT, NORTH 06°48'44" EAST, 1383.45 FEET; THENCE LEAVING SAID EAST LINE, SOUTH 57°30'29" EAST, 708.85 FEET; THENCE SOUTH 14°54'15" EAST, 222.86 FEET TO A POINT ON THE NORTH LINE OF A TRACT OF LAND CONVEYED TO DONALD AND MARIANNE MOLLISON BY INSTRUMENT RECORDED IN DEED BOOK 1874 PAGE 1121 OF SAID RECORDS; THENCE ALONG SAID NORTH LINE, SOUTH 82°55'01" EAST, 208.55 FEET TO A POINT IN THE WEST LINE OF COMMON GROUND 'D', SOUTH 06°48'24" WEST, 872.63 FEET TO A POINT ON SAID SOUTH LINE OF U.S. SURVEY 931; THENCE LEAVING LAST SAID WEST LINE AND ALONG SAID SOUTH LINE OF U.S. SURVEY 931, SOUTH 83°07'09" EAST, 335.61 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF THE SOUTHWEST QUARTER OF ABOVE SAID FRACTIONAL SECTION 16; THENCE LEAVING LAST SAID SOUTH LINE AND ALONG LAST SAID NORTH-SOUTH CENTERLINE, SOUTH 01°11" EAST, 1275.07 FEET TO A POINT BEING 38 FEET PERPENDICULAR DISTANCE NORTH OF THE EAST-WEST CENTERLINE OF SAID SOUTHWEST QUARTER; THENCE LEAVING LAST SAID NORTH-SOUTH CENTERLINE AND ALONG A LINE BEING 38 FEET NORTH OF AND PARALLEL TO SAID EAST-WEST CENTERLINE, SOUTH 89°37'54" WEST, 180.47 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF DIERR ROAD, WIDTH VARIES, SAID LINE BEING 20 FEET PERPENDICULAR DISTANCE NORTHEAST OF THE CENTERLINE OF SAID ROAD; THENCE LEAVING LAST SAID LINE AND ALONG SAID NORTHEAST RIGHT-OF-WAY LINE, NORTH 66°58'09" WEST, 740.25 FEET TO THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO DONALD C. AND MARIANNE E. MOLLISON BY DOCUMENT RECORDED IN DEED BOOK 2892 PAGE 85 OF SAID RECORDS; THENCE LEAVING LAST SAID RIGHT-OF-WAY LINE AND ALONG THE WEST LINE OF SAID MOLLISON TRACT, NORTH 18°58'33" EAST, 211.54 FEET TO THE NORTHWEST CORNER OF SAID MOLLISON TRACT, SOUTH 89°01'25" WEST, 267.50 FEET TO A POINT ON SAID NORTHEAST RIGHT-OF-WAY OF DIERR ROAD; THENCE LEAVING LAST SAID SOUTH LINE AND ALONG SAID NORTHEAST RIGHT-OF-WAY LINE THE FOLLOWING COURSES, DISTANCE AND CURVES: NORTH 18°15'03" WEST, 123.86 FEET TO A POINT OF CURVATURE; ALONG A CURVE TO THE LEFT WITH A RADIUS OF 180.28 FEET, WHOSE CHORD BEARS NORTH 35°34'35" WEST, 107.37 FEET, AN ARC DISTANCE OF 109.03 FEET TO A POINT OF TANGENCY; AND NORTH 52°54'06" WEST, 224.30 FEET TO A POINT ON SAID NORTH-SOUTH CENTERLINE OF FRACTIONAL SECTION 16; THENCE LEAVING LAST SAID NORTHEAST RIGHT-OF-WAY LINE AND ALONG LAST SAID NORTH-SOUTH CENTERLINE, NORTH 01°05'15" WEST, 613.10 FEET TO THE POINT OF BEGINNING AND CONTAINS 2,446,142 SQUARE FEET, OR 56.16 ACRES, MORE OR LESS ACCORDING TO CALCULATIONS PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF AUGUST, 2015 UNDER ORDER NUMBER 15-02-043.



### Drawing Index

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1.2	General Notes
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6.1-6.2	Street Profiles
7.1-7.3	Sanitary Profiles
7.4-7.6	Off-Site Sanitary Plan & Profile
8.1-8.4	Storm Profiles
8.5	Hydraulic Calculations
9.1-9.4	Drainage Area Map
10.1-10.6	Detention / Water Quality Details
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14.1	Traffic Control Plan
15.1	Landscape Plan
DTL-1 - DTL-2	Erosion Control Details
DTL-3 - DTL-7	Sanitary Sewer Details
DTL-8	Storm Sewer Details
DTL-9	Water Main Details
DTL-10 - DTL-11	Pavement Details
DTL-12	Miscellaneous Details
DTL-13	Access Plan Detail
L1-L2	Landscape Plan

### Benchmarks

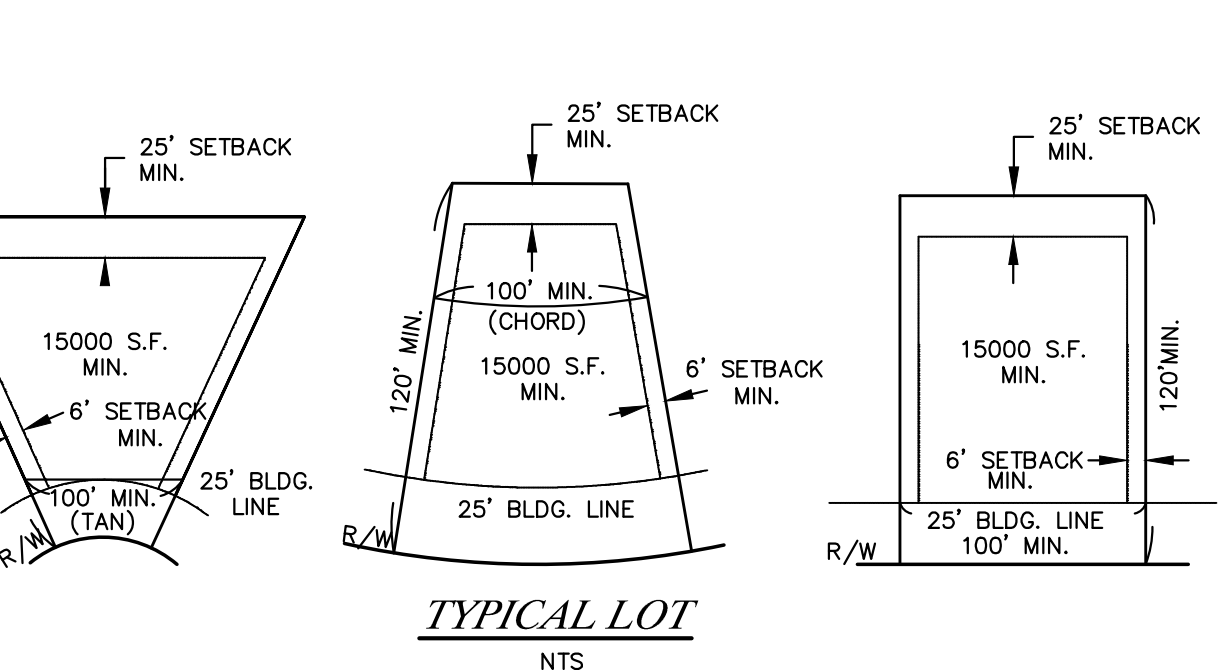
THE STERLING COMPANY HAS ESTABLISHED TWO SITE BENCHMARKS AS DESCRIBED BELOW. THE SITE DATUM WAS ESTABLISHED USING TRIMBLE REAL-TIME KINEMATIC GPS HARDWARE FROM TWO POINTS ON THE PROJECT SITE TO A CONTINUOUSLY OPERATING REFERENCE STATION (CORS) WITH AN ID OF MOOR AND A PID OF DM4688 VIA THE MISSOURI DEPARTMENT OF TRANSPORTATION REAL TIME KINEMATIC NETWORK. THESE POINTS WERE TIED TOGETHER VIA GROUND TRAVERSE USING CONVENTIONAL SURVEY EQUIPMENT AND THE SITE BENCHMARKS WERE ESTABLISHED FROM THE GROUND TRAVERSE.

**SITE BENCHMARK #1: ELEVATION = 618.75' (NAVD 88)**  
IRON ROD WITH TRAVERSE CAP SET 54 FEET EAST OF EAST EDGE OF GRAVEL PAVEMENT OF CURTIS ROAD, APPROX. 383 FEET SOUTH OF ITS INTERSECTION WITH THE CENTERLINE OF PAUL RENAUD BOULEVARD; 79 FEET SOUTHEAST OF A POWER POLE AND 189 FEET NORTHEAST OF A POWER POLE.

**SITE BENCHMARK #2: ELEVATION = 629.21' (NAVD 88)**  
"CROSS" CUT IN CONCRETE AT THE CENTER LINE OF CUL-DE-SAC AT THE EAST END OF TRAILWYND COURT, 46 FEET WEST OF A LIGHT STANDARD AND 119 FEET EAST OF THE INTERSECTION OF THE CENTERLINES OF TRAILWYND COURT AND TRAILWYND DRIVE.

### Project Data

1. TOTAL SITE AREA:	56.16 ACRES
2. TOTAL DISTURBED:	40.59 ACRES
3. FLOOD NOTE:	SUBJECT TRACT IS LOCATED IN FLOOD ZONE "X" (SHADED) AND FLOOD ZONE "X" (UNSHADED) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBERS 29183C0220C EFFECTIVE JANUARY 20, 2016 AND 29183C0410G EFFECTIVE JANUARY 20, 2016. FLOOD ZONE "AE" IS DEFINED AS BASE FLOOD ELEVATIONS DETERMINED. FLOOD ZONE "X" (SHADED) IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. FLOOD ZONE "X" (UNSHADED) IS DEFINED AS AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. TREE PRESERVATION CALCS:	EXISTING TREES = 40.59 ACRES TREES REMOVED = 29.82 ACRES TREES SAVED = 10.77 ACRES (26.5%) TREES REQUIRED TO BE SAVED = 8.12 ACRES (20.0%)
5. ESTIMATED SANITARY SEWER FLOW =	21,090 GALLONS/DAY



\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is **56.16 AC.**  
The area of land disturbance is **40.59 AC.**  
Number of proposed lots is **57 LOTS**  
Building setback information: Front **25 FT**  
Side **6 FT**  
Rear **25 FT**

## Legend

EXISTING	Legend	PROPOSED
542	CONTOURS	(542)
X 536	SPOT ELEVATIONS	XXX X
	CENTER LINE	---
	BUILDINGS, ETC.	▭
X X	TREE LINE	~ ~ ~
	FENCE	-X-X-
	SILTATION CONTROL FENCE	-X-X-X-
	STORM SEWERS	---
	SANITARY SEWERS	---
	CATCH BASIN	▣
	AREA INLET	▣
	GRATED INLET	▣
	DOUBLE CURB INLET	▣
	STORM MANHOLE	▣
	SANITARY MANHOLE	▣
	FLARED END SECTION	▣
	CLEANOUT	---
	LATERAL CONNECTION	---
	UTILITY OR POWER POLE	---
	FIRE HYDRANT	⊗
	TEST HOLE	⊗
	PAVEMENT	---
	GAS MAIN & SIZE	(G) (G)
	WATER MAIN & SIZE	(W) (W)
	TELEPHONE	(T) (T)
	ELECTRIC (U) UNDERGROUND	(UE) (UE)
	ELECTRIC (O) OVERHEAD	(OHE) (OHE)
	FLOW LINE	---
	TO BE REMOVED	TBR
	TO BE REMOVED & RELOCATED/REPLACED	TBRR
	TOP OF CURB	(TC)
	SWALE	---
	LIGHT STANDARD	⊗
	STREET SIGN	---
	PARKING STALLS	P.S.
	YARD LIGHT	⊗
	JURISDICTIONAL STREAM	---
	H.R. ~ DENOTES PROPOSED HANDICAP RAMP W/ TRUNCATED DOME	
	TF ~ TOP OF FOUNDATION ELEVATION	
	BF ~ BASEMENT FLOOR ELEVATION	
	LS ~ LATERAL STATION FROM DOWNSTREAM MANHOLE	

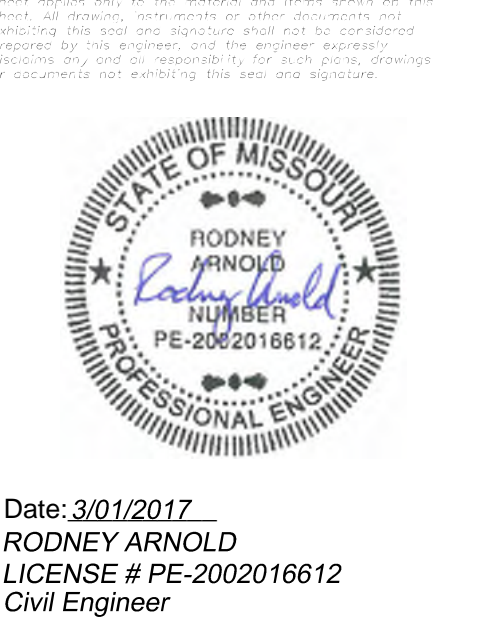
ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
2	9-1-2016 PWSD #2 & DCSD Comments
3	10-24-16 City Comments
4	11-15-16 DCSD Comments
5	12-13-16 City Comments
6	12-28-16 DCSD Comments
7	1-18-17 PWSD #2 Comments
8	1-26-17 Fire District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments

## Utility Contacts

- Sanitary Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858
- Duckett Creek Sanitary District  
3550 Highway K  
O'Fallon, MO. 63368  
636-441-1244
- Water  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858
- Missouri American Water Co.  
727 Craig Rd.  
St. Louis, MO. 63141  
1-866-430-0820
- Public Water Supply District No. 2  
P.O. Box 967  
O'Fallon, MO. 63366  
636-561-3737 Ext. 131
- Storm Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
636-281-2858
- Curve River Electric Co.  
P.O. Box 160  
Bry. MO. 63379-0160  
1-800-392-3709
- American-UE  
290 Gallahan Road  
Wentzville, MO. 63385  
636-639-8312
- Gas  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO. 63134  
314-522-2297
- Telephone  
Century Tel  
1151 Century Tel Dr.  
Wentzville, MO. 63385  
636-332-7261
- Fire Department  
O'Fallon Fire Protection District  
419 E. Elm St.  
O'Fallon, MO. 63366  
636-272-3493
- Wentzville Fire District  
209 West Pearce Blvd.  
Wentzville, MO. 63385
- Cottleville Fire Protection District  
1385 Motherhead Rd.  
St. Charles, MO. 63304  
636-447-6655
- New Meile Fire Protection District  
3705 Mill St.  
Wentzville, MO. 63385  
636-828-5528

PROJECT TITLE  
**WESTLEIGH**  
O'FALLON, MISSOURI

THE **STERLING** CO.  
ENGINEERS & SURVEYORS  
5055 New Baumgartner Road  
St. Louis, Missouri 63129  
Ph 314-487-0440 Fax 314-487-8944  
www.sterling-eng-sur.com  
Corporate Certificate of Authority #001348



Date: 3/01/2017  
RODNEY ARNOLD  
LICENSE # PE-2002016612  
Civil Engineer

Lombardo Homes of St. Louis, LLC  
2299 Technology Drive, Suite 150  
O'Fallon, Missouri 63368  
Ph: (636) 285-2710  
Ph: (636) 695-3195  
www.lombardohomesstlouis.com

P+Z No. P&Z NO  
City No. 15-162-SP  
Date: 3/01/2017  
Job No. 14-10-348  
Page No. **1.1**  
IMF

**REVISED APRIL 27, 2018**  
CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: DATE: **MARCH 1, 2017**  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN