

GRADING NOTES

- 1. A Geotechnical Engineer shall be employed by the owner and be on site during grading operations. All soils tests shall be verified by the Geotechnical Engineer concurrent with the grading and backfilling operations.

REFERENCE BENCHMARK

RM39 AS PUBLISHED ON ST. CHARLES COUNTY, MISSOURI FIRM MAP 29183C0220 E DATED AUGUST 2, 1996

SITE BENCHMARK

OLD STONE AT THE NORTHWEST BOUNDARY CORNER. ELEV. = 621.65 (U.S.G.S.)

PRINCIPALS & STANDARDS

- 1. All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or toe wall may be required). Retaining walls that exceed a height of four (4) feet shall require the construction of safety guards as identified in the appropriate section(s) of the adopted BOCA Codes and must be approved by the City Building Department. Permanent safety guards will be constructed in accordance with the appropriate section(s) of the adopted BOCA Codes.

A ROUGH GRADING & SEDIMENT EROSION CONTROL PLAN FOR WILLOW WALK ESTATES TRACTS OF LAND IN U.S. SURVEY 418, AND IN FRACTIONAL SECTION 17, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN ST. CHARLES COUNTY, MISSOURI



DEVELOPMENT NOTES

- 1. Area of Tract: 57.92 Ac.
2. Existing Zoning: R-1 (City of O'Fallon)
3. Proposed Use: Single Family Homes
4. Number of Lots Proposed: 100 Lots
5. Area in Common Ground: 18.56 Acres
6. Area in Right-of-Way: 6.03 Acres
7. Area in Lots: 33.33 Acres
8. Average Lot Area: 33.33 Acres
9. Average Lot Area (not including common ground): 17,145 Square Feet
10. Average Lot Area (including common ground): 25,229 Square Feet
11. The proposed height and lot setbacks are as follows:
Minimum Front Yard: 25 feet
Minimum Side Yard: 5 feet
Minimum Rear Yard: 25 feet
Minimum Lot Area: 10,000 square feet
Maximum Height of Building: 2 1/2 stories or 35 feet
12. Current Owner of Property: First Land Company of St. Charles County, P.O. Box 176, St. Peters, MO 63376, (636) 928-4988



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GENERAL NOTES

- 1. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.

LEGEND

Table with columns for symbols and descriptions for items like CURB INLET, STREET LIGHT, VEGETATIVE ESTABLISHMENT, and SEEDING RATES.

SHEET INDEX

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9 POST DEVELOPED DRAINAGE AREA
10 TREE PRESERVATION PLAN
11 GRADING DETAILS

- 2. The grading contractor shall perform a complete grading and compaction operation as shown on the plans, stated in these notes, or reasonably implied there from, all in accordance with the plans and notes as interpreted by the Geotechnical Engineer.
3. The Contractor shall notify the Soils Engineer at least two days in advance of the start of the grading operation.
4. All areas shall be allowed to drain. All low points shall be provided with temporary ditches.
5. All filled places, including trench backfills, under buildings, proposed storm and sanitary sewer lines proposed right-of-way and/or paved areas, shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test, (A.S.T.M.-D-1557), or 95% maximum density as determined by the Standard Proctor Test AASHTO T-99. All filled places within public roadways shall be compacted from the bottom of the fill up to 90% maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99, Method "C" (A.S.T.M.-D-698). All test shall be verified by a soils engineer concurrent with grading and backfilling operations. Ensure the moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test, Optimum moisture content shall be determined using the same test that was used to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.

Table with columns for CATEGORY and MINIMUM PERCENT COMPACTION, listing values for fill in building areas, natural subgrade, and pavement base course.

PREPARED FOR: FIRST LAND CO. OF ST. CHARLES CNTY, INC. P.O. BOX 176 ST. PETERS, MO 63376 636-928-4988



REVISIONS table with columns for date and city comments.

BAI ENGINEERING PLANNING SURVEYING logo and contact information for 221 Point West Blvd., St. Charles, MO 63301.

DATE 03-15-06, PROJECT NUMBER 04-12901, SHEET NUMBER 1 OF 11, FILE NAME 12901CON.DWG, DRAWN MJT, DESIGNED MGG, CHECKED JDH.

O'FALLON FILE NUMBER 5104.01