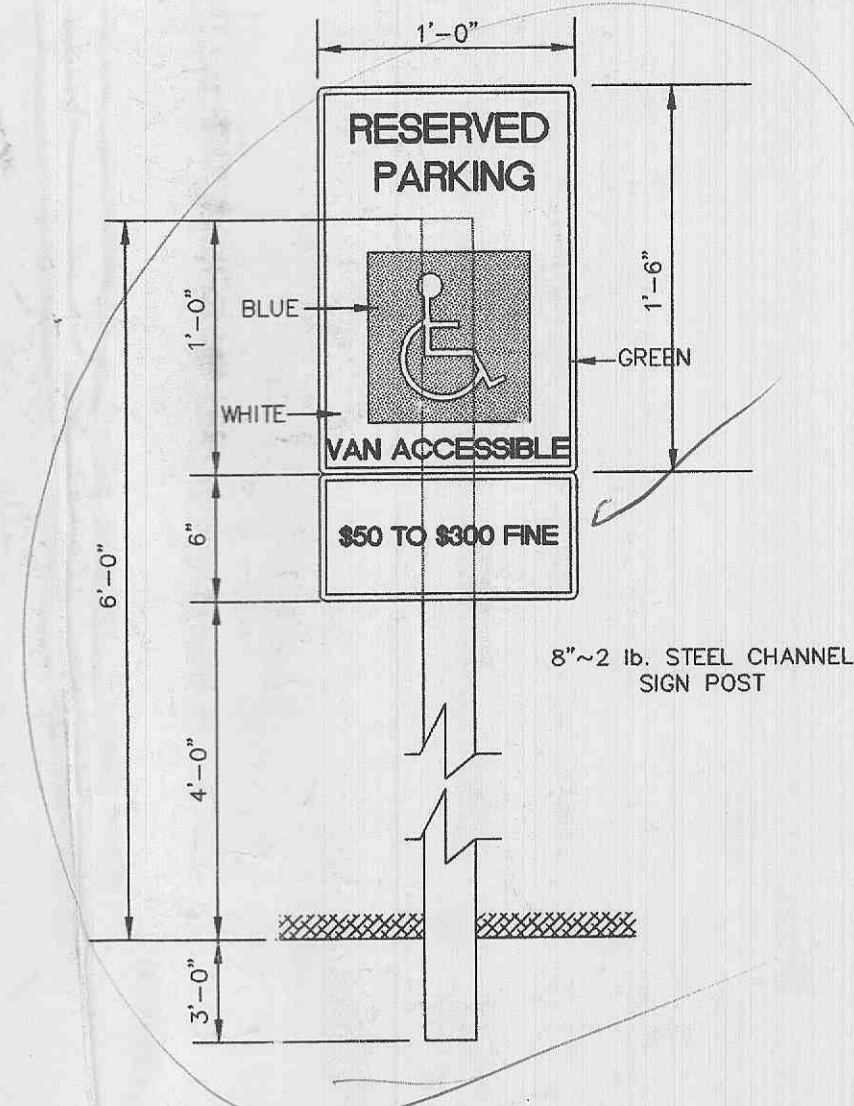


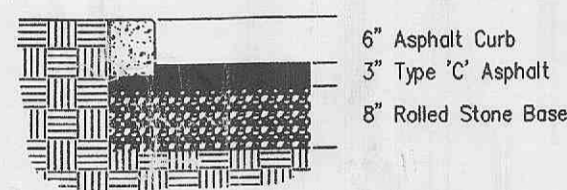
IMPROVEMENT PLANS FOR WINGHAVEN CENTRE

A TRACT OF LAND BEING PART OF SECTION 12
TOWNSHIP 46 NORTH, RANGE 2 EAST,
ST. CHARLES COUNTY, MISSOURI

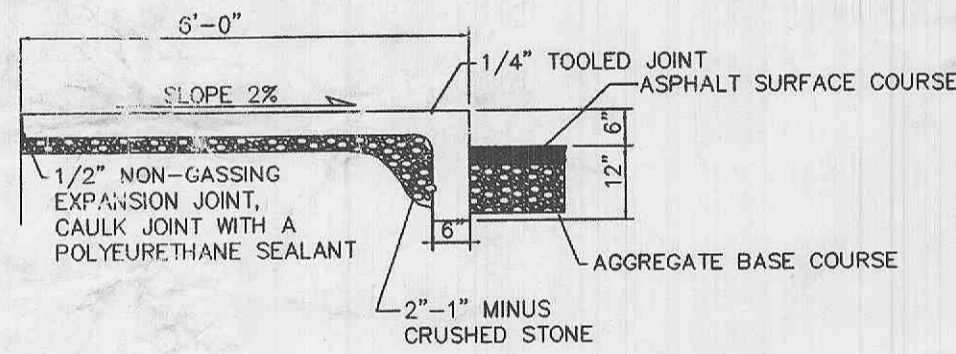


- ALL LETTERING & BORDERS ARE GREEN
- HANDICAP LOGO SQUARE IS BLUE
- BACKGROUND IS WHITE
- PROVIDE ONE SIGN PER HANDICAPPED SPACE.
- NO STEPS AT BUILDING ENTRANCES.
- PROVIDE RAMP OR DROP CURBS AT HANDICAPPED SPACES.
- PROVIDE 60" X 60" AREA OUTSIDE ENTRANCE FOR WHEELCHAIR MANEUVERABILITY.

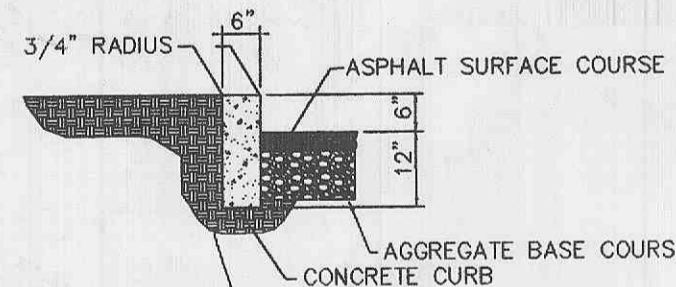
HANDICAPPED PARKING SIGN



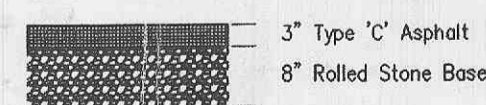
TEMPORARY CURB DETAIL



TYPICAL SIDEWALK/CURB DETAIL



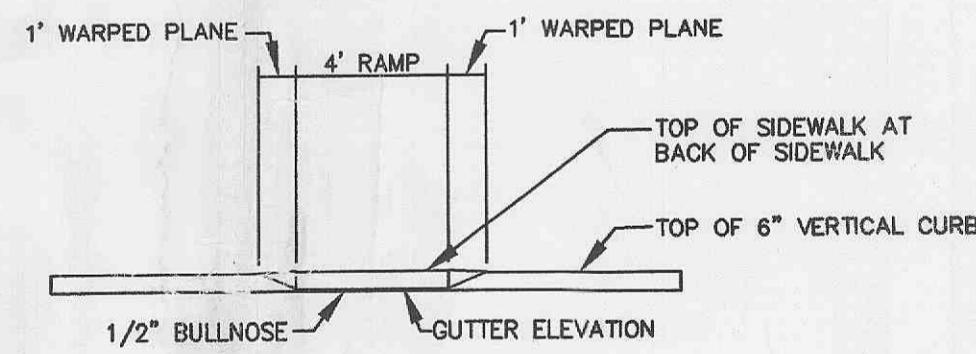
6" VERTICAL CONCRETE CURB



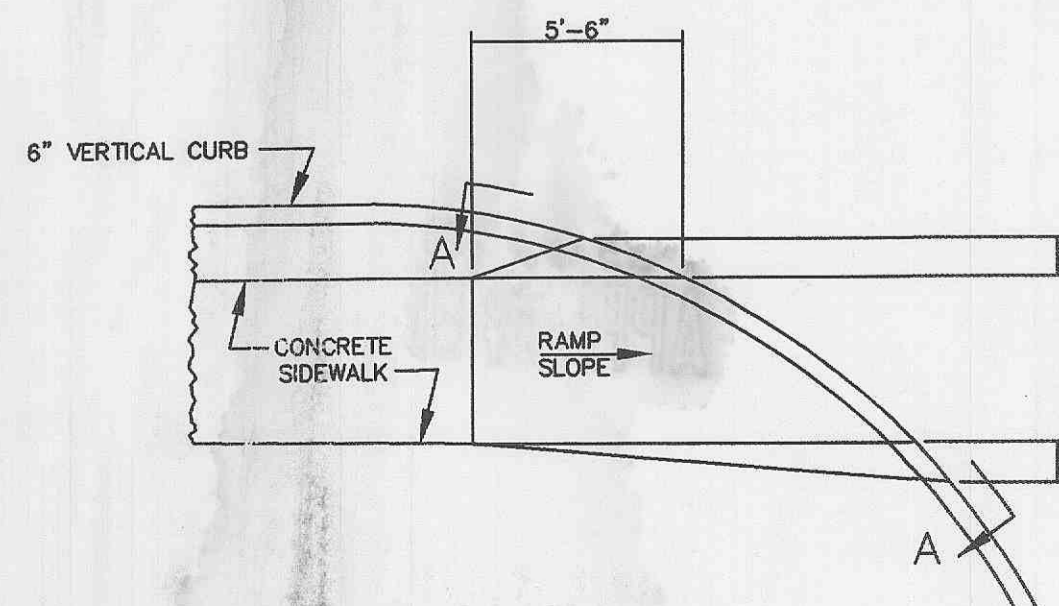
PAVEMENT DETAIL



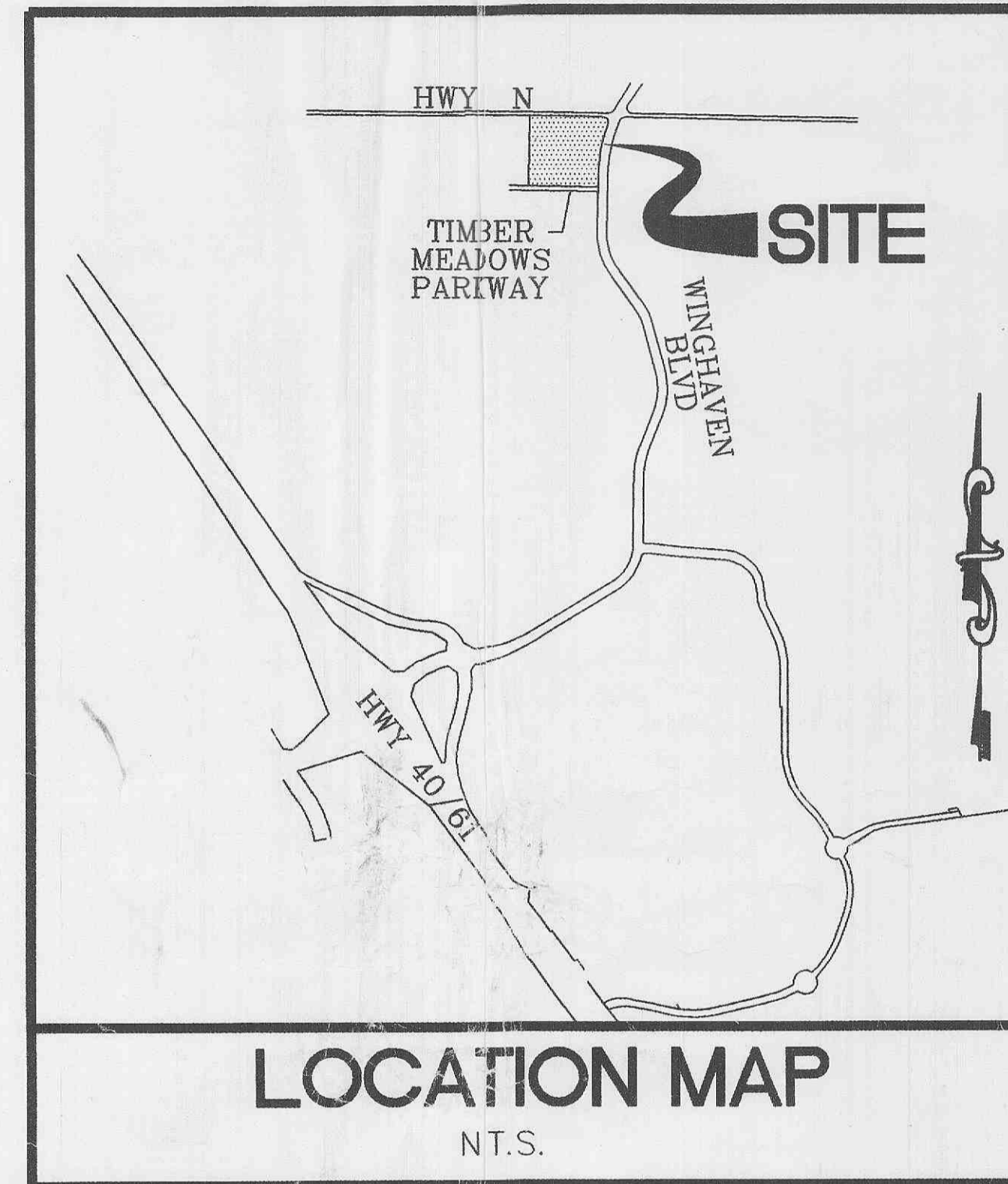
Underground facilities, structures and utilities have been plotted from available surveys, records and information, and therefore, do not necessarily reflect the actual existence, non-existence, size, type, number, or location of these facilities, structures, and utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures, and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.



SECTION A-A
N.T.S.



HANDICAP RAMP
N.T.S.



INDEX OF SHEETS

- 1 COVER SHEET
- 2 NOTES & SPECIFICATIONS
- 3 SITE PLAN
- 4 ENTRANCE PLANS
- 5-6 STORM SEWER PROFILES
- 7 SANITARY SEWER PROFILES
- 8 DRAINAGE AREA MAP
- 9-11 DETAILS
- 12 D.C.S.D. DETAILS & CONSTRUCTION NOTES
- 13 TRASH ENCLOSURE DETAIL
- 14 LANDSCAPE PLAN

General Notes

- Area of Site: 12.62 Acres.
- Zoning: C2 General Commercial
- This Site is served by the following utilities:
 - Water: St. Charles County Public Water No. 2 (636) 561-3737
 - Sanitary Sewer: Duckett Creek Sewer District (636) 441-1244
 - Electric: AmerenUE (636) 925-3235
 - Gas: St. Charles Gas Company (636) 946-6170
 - Telephone: Verizon Telephone (636) 332-7392
- This Site is located in the following service areas:
 - Fire Protection: O'Fallon Fire Protection District
 - School District: Wentzville School District
- Project Benchmark: At Dardenne Prairie, T46N, R2E, near approximate of Sections 1, 2, 11 & 12, 31' north and 20' west of Crossroads, the intersection of State Highway "N" with Post Road and Hanley Road, 49' south of S.E. Corner of Catholic Church, 2.0' north of sidewalk, and in concrete post, standard tablet stamped "TT 60 C 1966 616," Elevation = 616.50.
- Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
- All proposed utilities to this site must be underground services.
- All necessary utilities (Public or Private) will be available, functioning and usable at any stage of the project or when the total project is completed.
- Prior to the issuance of an occupancy permit for the initial phase, the remaining undeveloped portion of the site shall be graded and planted with grass and maintained as lawn areas.
- There is no Floodplain on this site as shown on the Flood Insurance Rate Map Number 29183C0240 E, dated August 2, 1996.
- There is no known wetlands on this site.
- Stormwater Detention provided by "Winghaven Global Detention Plan."
- All sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with current approved "Americans with Disabilities Act Accessibility Guidelines" along with the required grades, construction materials, specifications and signage. If any conflicts occur between the Guidelines and the plans, the Guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- All sign locations and sizes must be approved separately through the City of O'Fallon Planning Division.
- All proposed utility easements to be depicted on the record plat.
- The required number of off-street parking spaces for this site is 143 spaces calculated as follows:
 - Retail 1: (10,320 sq. ft. per floor)(2 floors)(1 p.s./200 sq. ft.) = 104 p.s.
 - Retail 2: (7,800 sq. ft.)(1 p.s./200 sq. ft.) = 39 p.s.
- The number of off-street parking spaces provided for this site is 310 spaces including 8 HDC spaces.
- Photometric lighting plan to be submitted by others.
- Present Owner:
 - The Reding Company
 - Attn: Joseph S. Reding
 - 2460 Executive Dr., Suite 110
 - St. Charles, MO 63303
 - (636) 477-8288

APPROVED

PREPARED FOR:

THE REDING COMPANY
MR. JOSEPH S. REDING
2460 EXECUTIVE DR., SUITE 110
ST. CHARLES, MISSOURI 63303
TELEPHONE: (636) 477-8288

RECEIVED
AUG 29 2002
CITY OF O'FALLON, MO

RECEIVED
SEP 17 2002
BUILDING DEPT.

8/28/02	3	CITY OF O'FALLON, DCSD & PWD #2 COMMENTS
8/16/02	2	CITY OF O'FALLON & DCSD COMMENTS
7/1/02	1	CITY OF O'FALLON COMMENTS
DATE:	NO.:	REVISION:
O'Fallon File No. 9831.37.01		
MUSLER ENGINEERING COMPANY		
CIVIL ENGINEERING - PLANNING - LAND SURVEYING		
32 Portwest Court, St. Charles, Missouri 63303		
Telephone: (636) 916-0444		
Fax: (636) 916-3444		
DATE:	DRAWN:	CHECKED:
APRIL 2002	J.R.S./ M.V.	R.S.M.
PROJECT NO.:	SHEET NO.:	
02-620	1 OF 14	

Bldg. Inspector