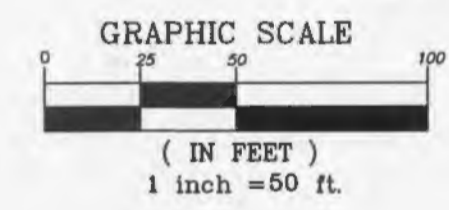
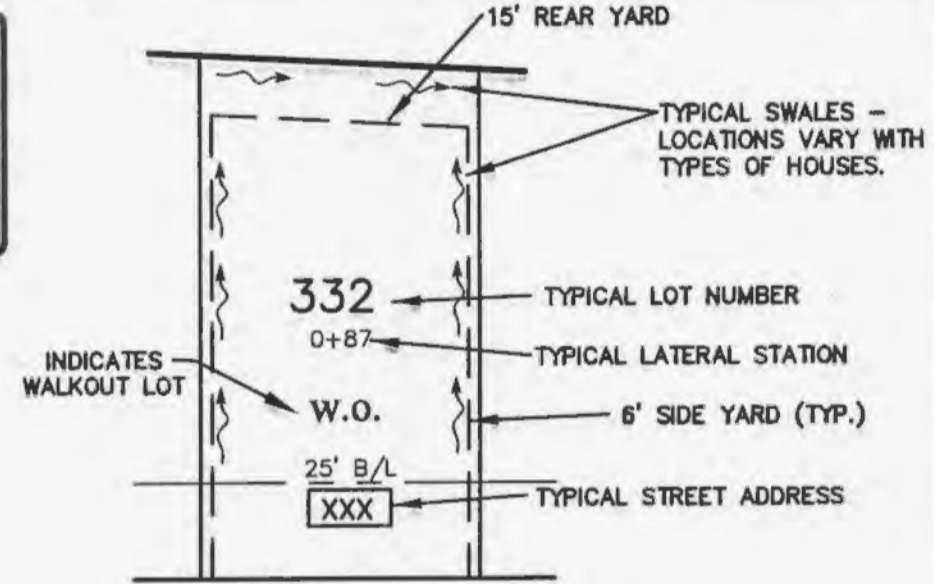


NOTE: NEW CURB INLETS ARE TO BE EQUIPPED WITH TRITON® OR APPROVED EQUIVALENT WATER TREATMENT INSERTS. UNITS ARE TO BE INSTALLED AFTER ALL HOME CONSTRUCTION IN DRAINAGE AREA IS COMPLETE AND SITE IS STABILIZED. SEE DETAIL SHEET 25.



**SPEED LIMIT 25**  
R2-1



NOTE: ALL UTILITIES AND CONDUIT FOR UTILITIES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BELOW THE PAVEMENT.  
SAN #15: ADD 1" MINUS ROCK BACK FILL TO ALL SANITARY SEWER AND ALL OTHER UTILITIES THAT LIE WITHIN THE 1:1 SHEAR PLANE OF THE ROAD.

**UTILITY NOTE:**  
UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**PROJECT TITLE**  
WYNDGATE VILLAGE B PLAT TWO

**PICKETT, RAY & SILVER INC**  
CIVIL ENGINEERING, LAND SURVEYING, AND NATURAL RESOURCES SERVICES  
811 Parkside Court  
Brampton, MO 65637  
Phone (636) 397-1211 Fax (636) 397-1104  
www.prs.com 1-800-708-3818

**ENGINEER'S AUTHENTICATION**  
THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE, AND DATE HEREUNDER ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS SPECIALLY INCLUDED IN THIS PROJECT AND SPECIALLY EXCLUDED REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.  
PICKETT, RAY & SILVER, INC  
10 LOCKE ROAD, INC.

**DEVELOPER / Owner Information**  
McBride Wyndgate, LLC  
16091 Swingle Ridge Road, Suite 300  
Crestfield, Missouri 63077

**CITY OF O'FALLON SITE PLAN**

P+Z No. 3203  
City No.  
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City of O'Fallon Standard Subdivision Notes and Details - June 2010