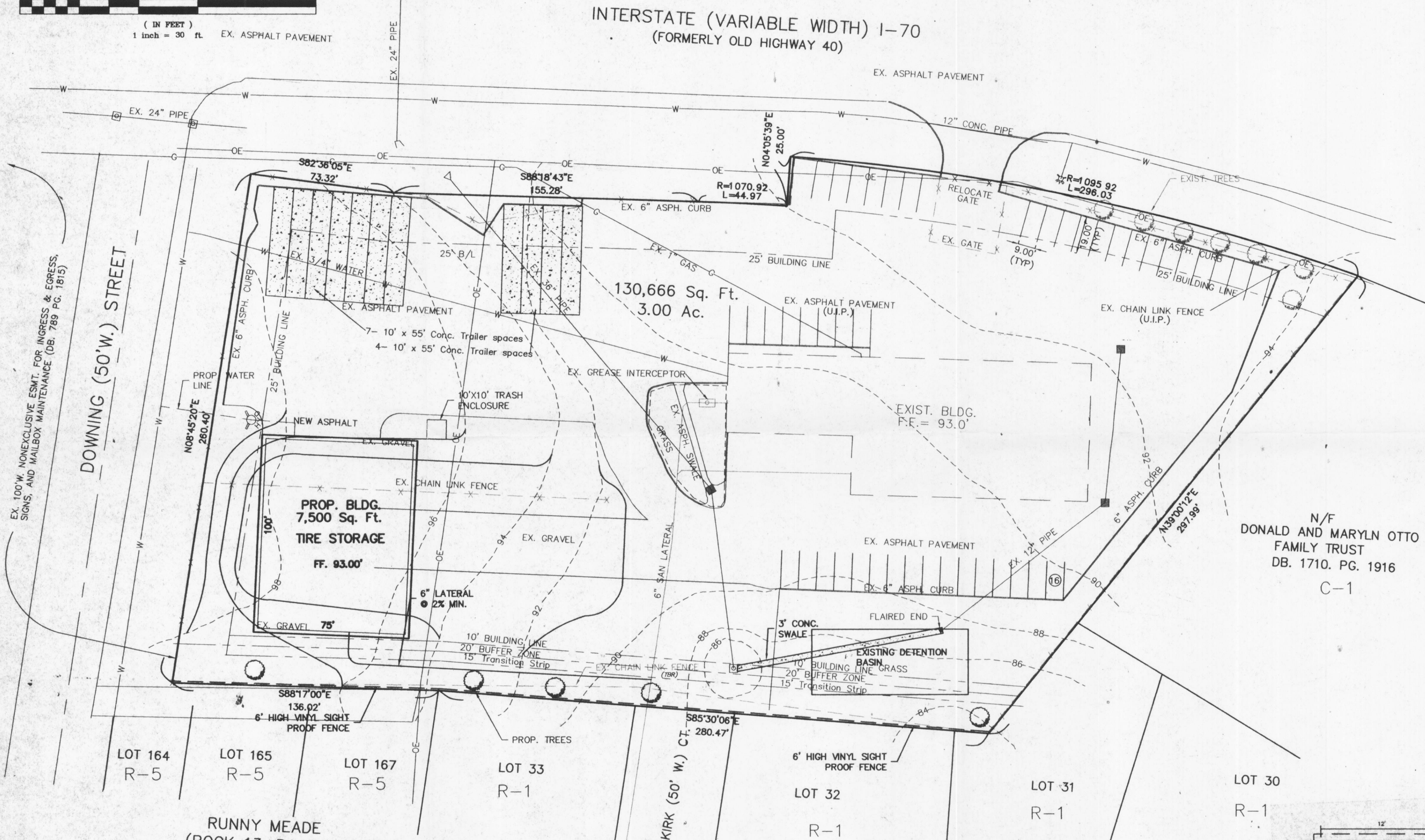
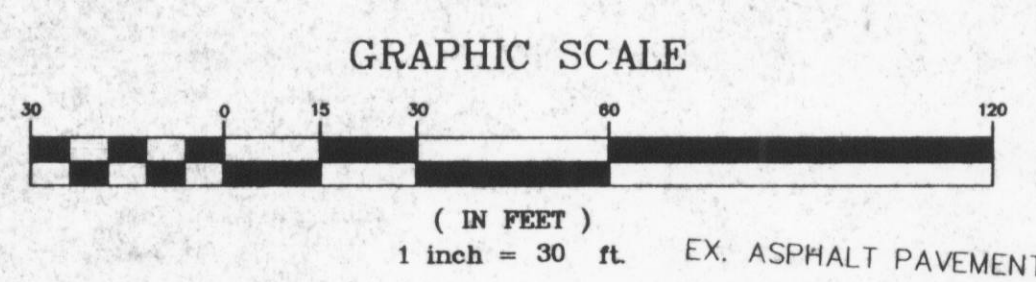


# FREMONT TIRE

## A TRACT OF LAND IN PART OF LOT 6 OF HERALD HOMES PLACE IN U.S. SURVEY 55, T.47N., R.6E. CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

A tract of land being part of Lot 6 of Heald Homes Place in U.S. Survey 55, Township 47 North, Range 3 East, St. Charles County, Missouri, and being more particularly described as follows: Beginning at the extension Northwardly of the center line of Downing 50 feet wide street with its intersection of the South line of Old Highway 40; thence continuing along said South line of Old Highway 40, South 82 degrees 36 minutes 05 seconds East, 50.04 feet to the actual point of beginning; thence South 82 degrees 36 minutes 05 seconds East, 73.32 feet to a point; thence South 88 degrees 18 minutes 43 seconds East, 155.28 feet to a point of curvature; thence along a curve to the right having a radius of 1070.92 feet, a distance of 44.97 feet; thence North 04 degrees 05 minutes 39 seconds East, 25 feet to a point; thence along curve to the right having a radius of 1095.92 feet, a distance of 296.01 feet; thence departing from the aforesaid South line, South 39 degrees 00 minutes 12 seconds West, 297.99 feet; thence North 85 degrees 30 minutes 05 seconds West, 280.47 feet; thence North 88 degrees 17 minutes 00 seconds West, 136.02 feet; thence North 08 degrees 45 minutes 20 seconds East, 260.40 feet to a point in the South Right-of-way of Old Highway 40 said point also being the actual point of beginning.



**GENERAL NOTES**

1. Present Zoning: C-2, PUD
2. Proposed Use: Tire Sales & Repair
3. Area of Tract: 3.00 Acres
4. Site is not located within the 100 year flood plain per FIRM Map #29183C0100 D
5. Project is Served By:
  - A. City of O'Fallon
  - B. St. Charles Gas Company
  - C. G.T.E. Telephone Company
  - D. O'Fallon Sewer District
  - E. Union Electric Company
  - F. O'Fallon Fire Protection District
6. All utilities shall be located underground.
7. Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
8. Storm water detention has been provided for on site.
9. Building height, site lighting and signage shall be in accordance with City of O'Fallon requirements.
10. Lighting shall be directed down and shielded so as not to overflow onto adjacent properties or streets.
11. For exact building dimensions, see architectural plans.
12. Setback and yard requirements:
  - Front - 25 feet
  - Side - 25 feet
  - Rear - 10 feet
13. Grading and drainage shall be per City of O'Fallon requirements.
14. Exterior lighting details to be provided with building plans.
15. Site shall comply with Article 26 of the O'Fallon Zoning Ordinance.
16. No existing trees are being removed.
17. Lighting details shall be provided by Developer at time of the submittal of construction drawings.
18. Proposed building shall use existing trash pickup.
19. Trash enclosure shall follow city newly adopted ordinance on screening materials.
20. Exact location of proposed water & sewer lines shall be determined on final construction plans.
21. All existing graveled areas shall be removed or replaced with a minimum of 3" asphalt with a 6" curb around perimeter of paved area.
22. Revised detention calculations shall be provided with construction drawings for the new building

LOT 164 R-5    LOT 165 R-5    LOT 167 R-5    LOT 33 R-1    LOT 32 R-1    LOT 31 R-1    LOT 30 R-1

RUNNY MEADE (BOOK 13, PAGE 19)

KIRK (50' W.) CT. 280.47'

PARKVIEW PLACE PLAT 3 (BOOK 21, PAGE 39)

**PARKING CALCULATIONS:**

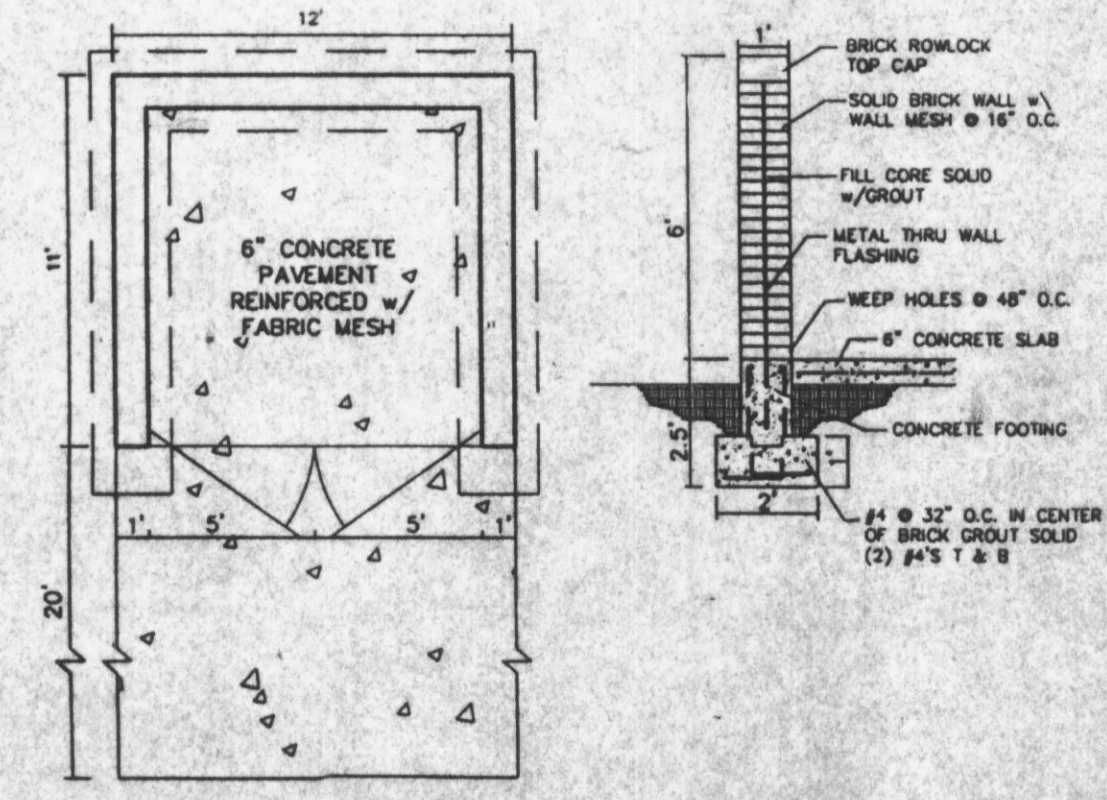
Required Parking: 1 Space for every 500 sq.ft. gross  
Gross sq.ft. = 7200sq.ft.  
14.4 Parking Spaces Required  
16 Parking Spaces Provided

Required Loading: 1 Space for every 5000 sq.ft. gross  
1 Additional Space for every 20,000 sq.ft. gross  
1 Parking Spaces Required  
1 Parking Spaces Provided

**NOTE**  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

DEVELOPER/OWNER:  
Frank J. Froellich  
882 Spring Brook Dr.  
Hinton IA. 51024

APPROVED DATE 11/23/99  
SUBMITTAL P&Z  
2nd NOV 10 1999



CONCRETE TRASH ENCLOSURE DETAIL

REVISION. 11-10-99

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**PICKETT RAY & SILVER**  
Civil Engineers    333 Mid Rivers Mall Dr.  
Planners    St. Peters, MO 63376  
Land Surveyors    387-1211    FAX 387-1104

<b>PRELIMINARY SITE PLAN</b>	
<b>FREMONT TIRE</b>	
DRAWN ABK	DATE 10-14-99
CHECKED	DATE
FIELD BOOK	PROJECT # 99-203
	JOB ORDER #