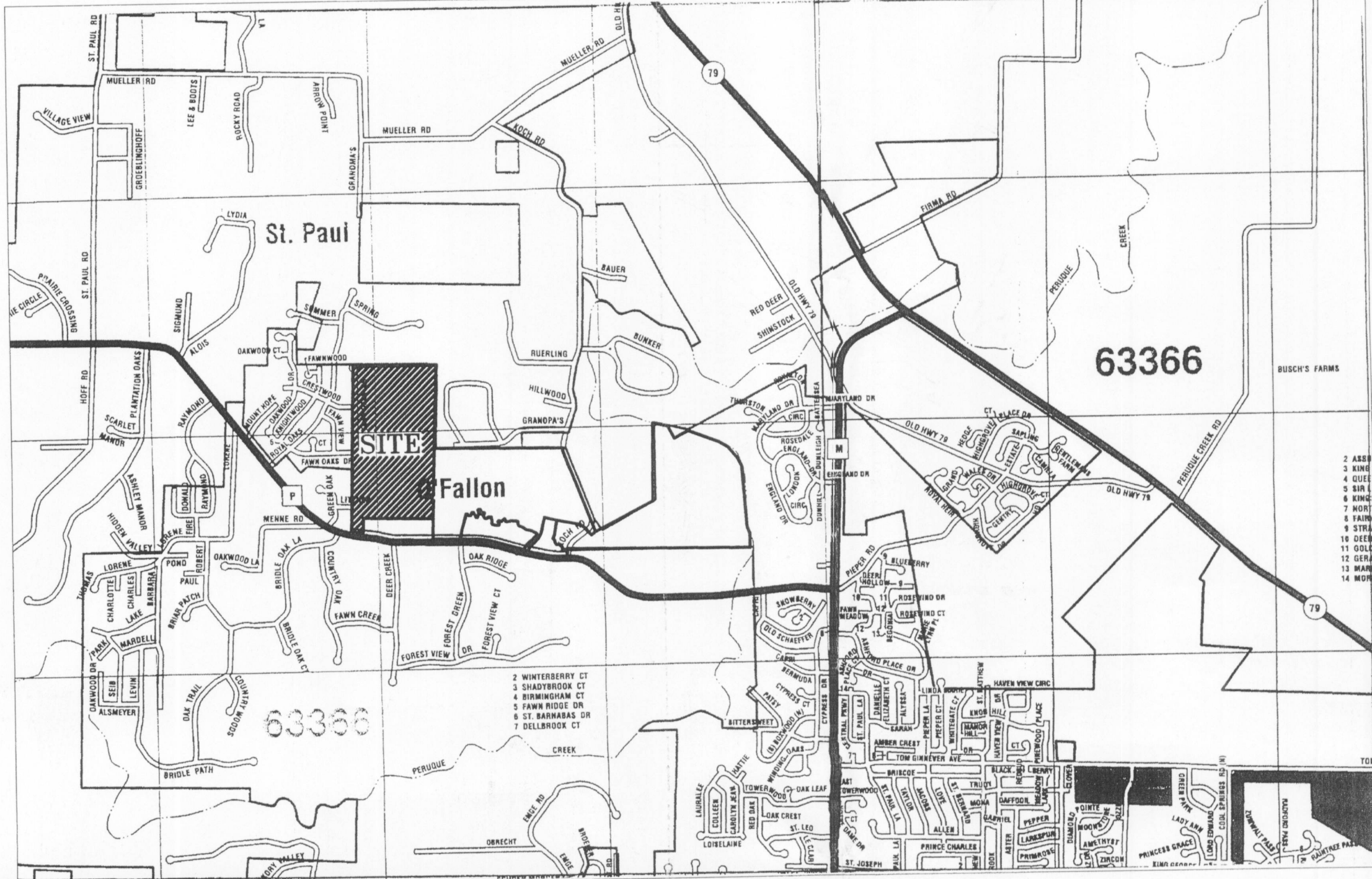


AN P.U.D. FINAL PLAN AND LANDSCAPE PLAN FOR HYLAND GREEN

VILLAGES H, I, & J
TWO TRACTS OF LAND BEING PART OF
FRACTIONAL SECTION 17, AND PART OF SECTION 18,
TOWNSHIP 47 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
ST. CHARLES COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- AREA OF SITE: 82.56 ACRES
- EXISTING ZONING: R-1 PUD (CITY OF OTTALON)
- PROPERTY OWNERS: NORTH OTTALON, L.L.C.
- DEVELOPER: NORTH OTTALON, L.L.C.
- RESIDENTIAL LOT DATA - 244 LOTS (OVERALL LOTS=821)

- VILLAGE H**
125 LOTS
BUILDING LINE SETBACK 25'
SIDE YARD SETBACK 6'
REAR YARD SETBACK 20'
MINIMUM LOT WIDTH 60'
AVERAGE LOT SIZE 7,200 SQ. FT. (EXCLUDES R.O.W. & COMMON GROUND)
SMALLEST LOT SIZE 6,300 SQ. FT.
- VILLAGE I**
92 LOTS
BUILDING LINE SETBACK 25'
SIDE YARD SETBACK 6'
REAR YARD SETBACK 20'
MINIMUM LOT WIDTH 70'
AVERAGE LOT SIZE 6,400 SQ. FT. (EXCLUDES R.O.W. & COMMON GROUND)
SMALLEST LOT SIZE 5,800 SQ. FT.
- VILLAGE J**
27 LOTS
BUILDING LINE SETBACK 25'
SIDE YARD SETBACK 6'
REAR YARD SETBACK 20'
MINIMUM LOT WIDTH 80'
AVERAGE LOT SIZE 10,000 SQ. FT. (EXCLUDES R.O.W. & COMMON GROUND)
SMALLEST LOT SIZE 8,800 SQ. FT.

6. OVERALL SITE INFORMATION:
TOTAL AREA 260.78 ACRES
COMMERCIAL AREA 14.33 ACRES
ROAD RIGHT-OF-WAY 41.68 ACRES
R-1 PUD AREA = 205.35 ACRES

- R-1 PUD AREA ALLOWABLE UNITS/LOTS:
 $200.50 \times 4.5550 = 915$ UNITS
10,000 SQ. FT.

- PROPOSED LOTS = 821
DENSITY CALCULATIONS:
821 LOTS = 4.00 UNITS/LOTS PER ACRE
205.35 ACRES

- FINAL PLAN INFORMATION:
TOTAL AREA 82.56 ACRES
ROAD RIGHT-OF-WAY 14.32 ACRES
R-1 PUD AREA = 68.24 ACRES

- R-1 PUD AREA ALLOWABLE UNITS/LOTS:
 $68.24 \times 4.5550 = 311$ UNITS
10,000 SQ. FT.

- PROPOSED LOTS = 244
DENSITY CALCULATIONS:
244 LOTS = 3.56 UNITS/LOTS PER ACRE
68.24 ACRES

7. OVERALL PARKING SPACE REQUIREMENTS:
R-1 PUD AREA REQUIRES 2 OFF STREET PARKING SPACES PER DWELLING
821 UNITS/LOTS \times 2 = 1642 SPACES REQUIRED
1642 SPACES PROPOSED (2 GARAGE SPACES)

- FINAL PLAN PARKING SPACE REQUIREMENTS:
R-1 PUD AREA REQUIRES 2 OFF STREET PARKING SPACES PER DWELLING
244 UNITS/LOTS \times 2 = 488 SPACES REQUIRED
488 SPACES PROPOSED (2 GARAGE SPACES)

8. STREET TREES & TREE PRESERVATION ORDINANCE REQUIREMENTS:
OVERALL TREE PRESERVATION:
EXISTING TREES = 106.2 ACRES
TREES TO BE REMOVED = 79.6 ACRES
TREES TO BE RETAINED = 106.2 ACRES \times 20% = 21.2 ACRES
21.2 ACRES - 26.2 ACRES (SAVED) = -5.0 ACRES
(NO TREES REQUIRED TO BE PLANTED PER CALCULATIONS FROM APPROVED AREA PLAN)

- TREE PRESERVATION ORDINANCE REQUIREMENTS PER VILLAGES H, I, & J:
EXISTING TREES = 33.21 ACRES
TREES TO BE REMOVED = 27.70 ACRES
TREES TO BE RETAINED = 5.51 ACRES
TREE PRESERVATION TREES TO BE RETAINED:
33.21 ACRES \times 20% = 6.64 ACRES
6.64 ACRES - 5.51 ACRES (SAVED) = 1.13 ACRES
(NO TREES REQUIRED TO BE PLANTED PER CALCULATIONS FROM APPROVED AREA PLAN)

- STREET TREES REQUIRED:
THREE PER LOT AND TWO TREES PER CORNER LOT
217 LOTS = 217 TREES
27 CORNER LOTS = 54 TREES
217 + 54 = 271 TREES REQUIRED
271 PROPOSED TREES TO BE PLANTED

9. THIS TRACT IS IN AND SERVED BY:
CITY OF OTTALON SEWER
CITY OF OTTALON WATER
AMERICAN ELECTRIC
CENTURY TEL
CAGLE'S GAS COMPANY
OTTALON FIRE PROTECTION DISTRICT
FORT ZUMWALT SCHOOL DISTRICT
OTTALON POST OFFICE

10. STREETS SHALL BE BUILT PER CITY OF OTTALON SPECIFICATIONS. MINIMUM STREET GRADES SHALL BE 1%, 2% IS DESIRED.
11. ALL DRIVEWAYS SHALL ACCESS INTERIOR STREETS.
12. SANITARY SEWERS SHALL BE BUILT PER CITY OF OTTALON SPECIFICATIONS.

13. THE LOCATIONS OF SANITARY AND STORM SEWERS AND WATER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS TO BE DETERMINED WITH IMPROVEMENT PLANS.
14. GRADING SHALL BE PER CITY OF OTTALON STANDARDS. MAXIMUM GRADED SLOPES WILL BE 3:1 UNLESS NOTED OTHERWISE AND APPROVED BY THE CITY AND SOILS ENGINEER. ALL WALKOUT TERRACE WILL BE A MAXIMUM OF 6 FEET.

15. UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. A TOPOGRAPHIC SURVEY HAS BEEN PERFORMED BY BAX ENGINEERING.

17. A BOUNDARY SURVEY HAS BEEN PERFORMED BY BAX ENGINEERING.
18. THE PROJECT IS IN COMPLIANCE WITH ARTICLE 26 OF THE CITY OF OTTALON ZONING CODE.
19. ALL SIDEWALKS SHALL BE 4' WIDE MINIMUM AND COMPLY WITH ADA STANDARDS.
20. THIS FINAL PLAN IS NOT FOR RECORD.

21. * INDICATES LOTS THAT ARE SUSCEPTIBLE TO STREET MOVEMENT.
22. THIS SITE IS NOT IN THE 100 YEAR FLOODPLAIN PER CURRENT FIRM MAP PANEL NUMBER 29183C0230F DATED MARCH 17, 2003.
23. THE PROPOSED UTILITIES AND SEWERS SHALL BE COVERED BY EASEMENTS GRANTED TO THE APPROPRIATE UTILITY COMPANIES AND MUNICIPALITIES ON THE RECORD PLATS.

24. THE PROPOSED DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DEPT. OF NATURAL RESOURCES, THE ARMY CORPS OF ENGINEERS, CITY OF OTTALON AND ST. CHARLES COUNTY.
25. STORM WATER DETENTION IS PROVIDED IN THE FORM OF BASINS LOCATED IN COMMON GROUND AREAS AT LOCATIONS SHOWN ON THE FINAL PLAN.

26. COMMON GROUND AND DETENTION BASINS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
27. MINIMUM CENTERLINE RADIUS ON MINOR STREETS TO BE 150'.
28. DETENTION BASINS SHALL BE SIZED TO ACCOMMODATE 100 YEAR STORM FREQUENCIES PER CITY OF OTTALON STANDARDS AND SPECIFICATIONS. A 20 FOOT WIDE DRAINAGE EASEMENT IS REQUIRED ALONG THE DESIGNED HIGHWATER ELEVATION.

29. STORM WATER DETENTION REQUIREMENTS WILL BE MET WITH ON-SITE DETENTION BASINS.
30. DETENTION BASINS ARE SHOWN AS AN APPROXIMATE SIZE AND SHAPE. FINAL DETENTION BASIN DESIGN AND ALL APPURTENANCES WILL BE SHOWN AND APPROVED WITH THE IMPROVEMENT PLANS.
31. THE LOW SILL ELEVATION OF BUILDINGS ADJACENT TO CREEKS SHALL BE ONE (1) FOOT ABOVE THE 100 YEAR HIGHWATER ELEVATION.

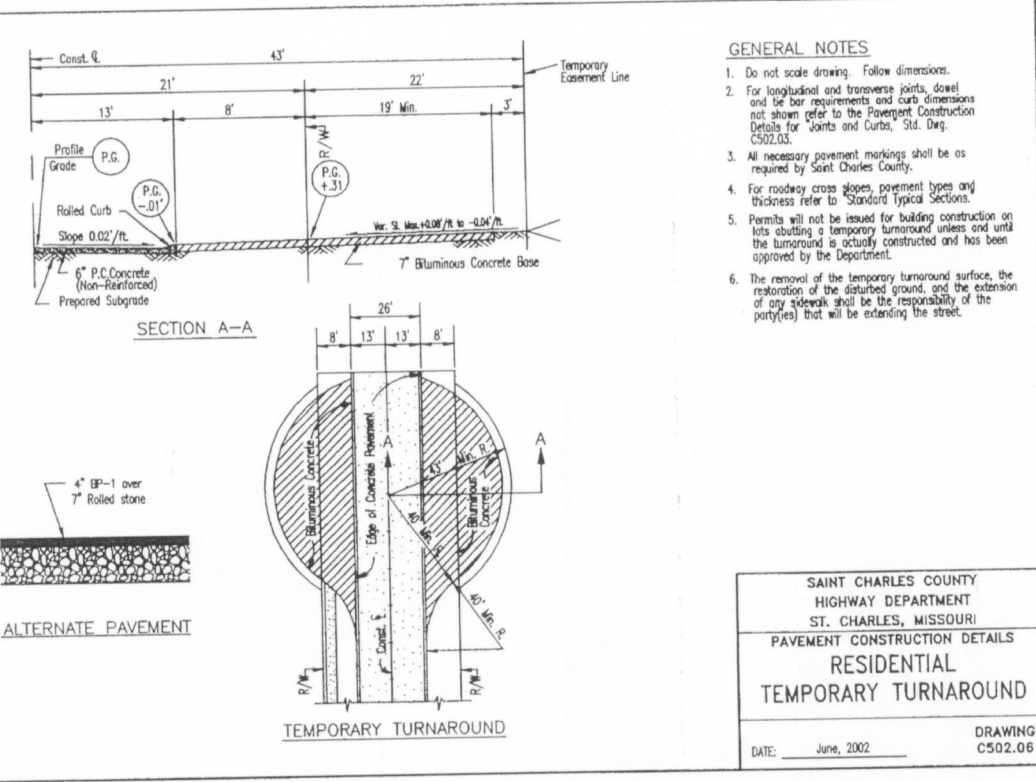
32. ALL STREETLIGHTS WILL BE PLACED AT A MAXIMUM 0' 300' APART AND 3.5' FROM THE BACK OF CURB AT THE PROPERTY LINE EXTENSION.
33. ALL NECESSARY UTILITIES (PUBLIC AND PRIVATE) WILL BE AVAILABLE, FUNCTIONING AND USABLE AT THE TIME ANY STAGE OF THE PROJECT IS READY FOR OCCUPANCY.
34. DEVELOPMENT WILL BE COMPLETED IN ONE PHASE.
35. WATER PLANS AND A MODELING ANALYSIS WILL BE PROVIDED WITH CONSTRUCTION PLANS AT A LATER DATE.
36. STREET LIGHT LOCATIONS TO BE DETERMINED AT CONSTRUCTION PHASE PLAN.
37. THIS SITE WILL BE IN COMPLIANCE WITH THE PERFORMANCE STANDARDS AS SET FORTH IN ARTICLE XIII OF THE ZONING CODE.

LEGEND

- S&Z--- EXISTING CONTOUR
- S&Z--- PROPOSED CONTOUR
- S&Z--- EXISTING TREE LINE
- S&Z--- PROPOSED TREE LINE
- S/S STREET SIGN
- NO PARKING SIGN
- S&Z--- SANITARY SEWER
- S&Z--- FIRE SEWER
- S&Z--- WATER MAIN
- S&Z--- FIRE HYDRANT
- S&Z--- STREET TREES
- S&Z--- STREET LIGHT

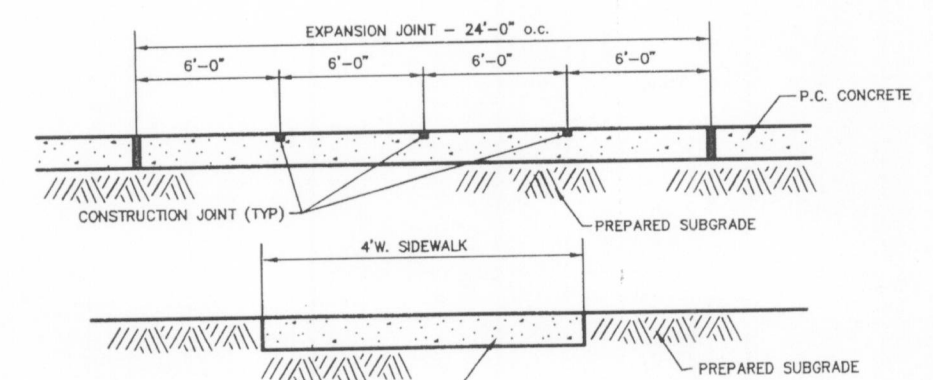
LEGEND

- 1 - COVER SHEET
- 2 - FINAL PLAN
- 3 - LANDSCAPE PLAN



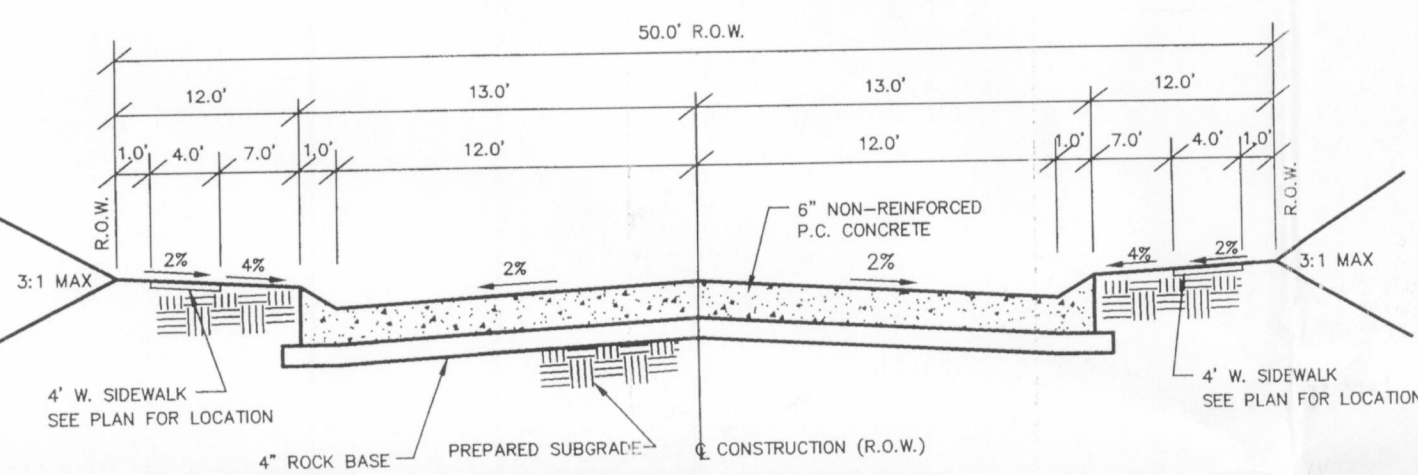
TYPICAL PAVEMENT SECTIONS

NOT TO SCALE



CONCRETE SIDEWALK DETAIL

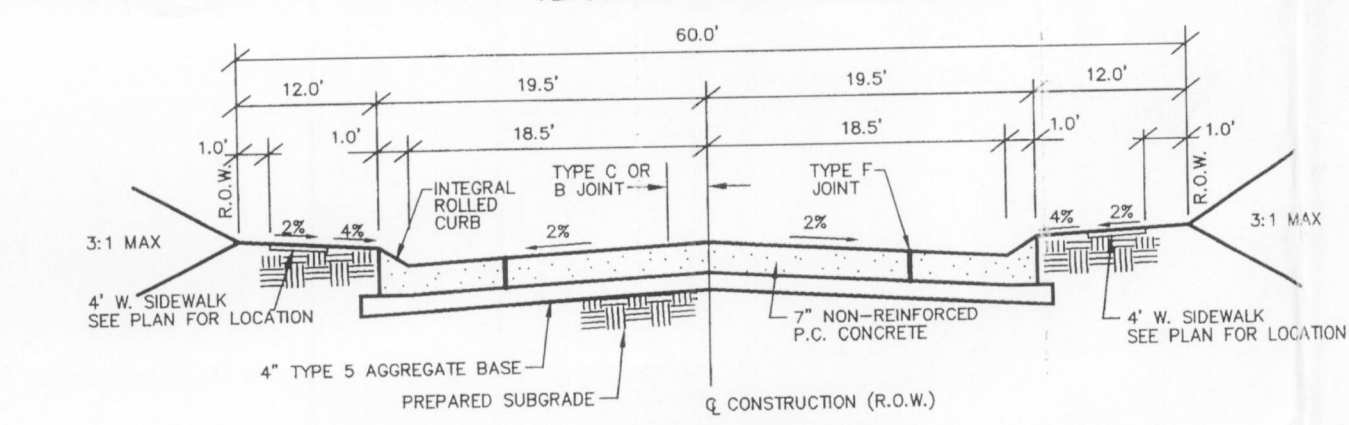
NOT TO SCALE



MINOR RESIDENTIAL STREET CONCRETE PAVEMENT DETAIL

(26' W. CONC. PMT.) NO SCALE

UNDERDRAIN SYSTEM SHALL BE INSTALLED PER CITY OF OTTALON REQUIREMENTS



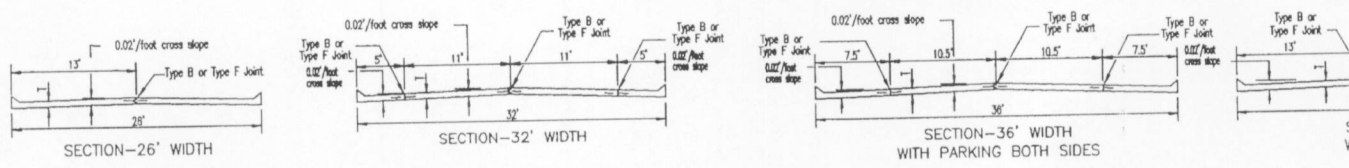
WESTGATE ACADEMY DRIVE COLLECTOR ROAD FROM STA: 0+00 TO STA: 5+97.31 CONCRETE PAVEMENT DETAIL

(50' W. CONC. PMT.) NO SCALE

ALL JOINTS TO BE SAWED PER CITY OF OTTALON. (PROPOSED SECTIONS NOT TO BE FIELD MODIFIED)

UNDERDRAIN SYSTEM SHALL BE INSTALLED PER CITY OF OTTALON REQUIREMENTS

INTEGRAL ROLLED CURB AND CONCRETE PAVEMENT TYPICAL SECTIONS AND DETAILS

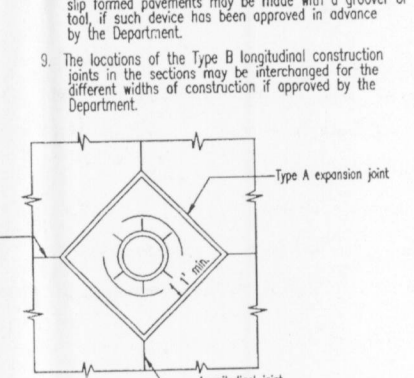


GENERAL NOTES

- Do not scale drawing. Follow dimensions.
- All street widths shall be separated from the pavement and curb by expansion joint markings extending completely through curb and sidewalk. Markings shall be in accordance with the Department.
- When a joint falls within 5ft. of, or connects into, manholes, or other structures, provide one or more 6" round aggregate curb or 6" or 8" diameter concrete of rectangular structures.
- Downsloping configurations are shown in the Tolerance Construction Details.
- Construction joints and tie bars may be omitted when curb is poured separately with pavement.
- Maximum thickness for pavement is: Residential 32'-38' wide streets

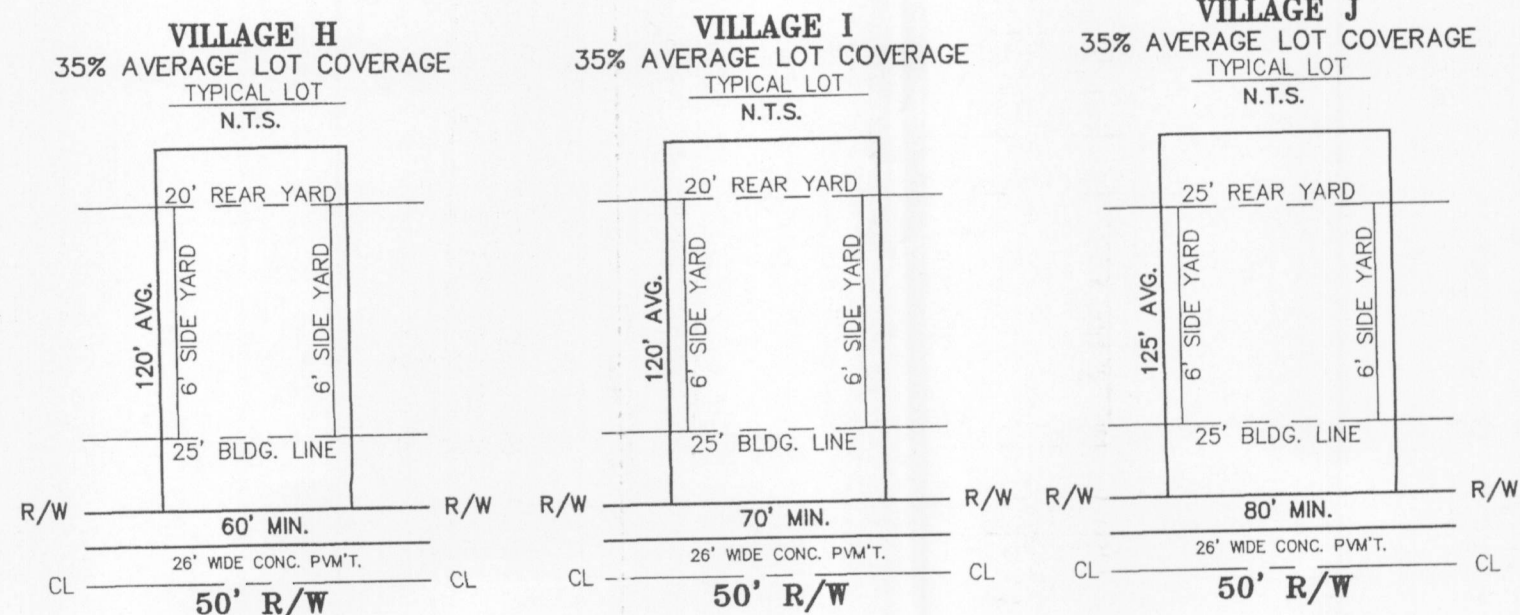
JOINT REQUIREMENTS FOR CONCRETE PAVEMENT

STREET	JOINT TYPE	JOINT AND BAR REQUIREMENTS
3 LANE RESIDENTIAL	Transverse	Type C
RESIDENTIAL	Expansion	Type A
RESIDENTIAL	Expansion	Type C
2 LANE	Expansion	Type A



TYPICAL LOT SIZES

NOT TO SCALE



AN P.U.D. FINAL PLAN AND LANDSCAPE PLAN FOR
HYLAND GREEN
VILLAGES H, I, & J

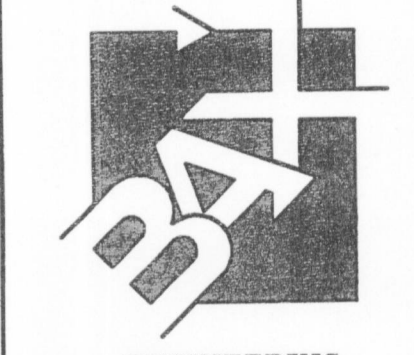
PREPARED FOR:
NORTH OTTALON, L.L.C.
21 JASON COURT
ST. CHARLES, MO 63304
(314) 568-3072

DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be subordinated by my seal are limited to this plan, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



APPROVED
DATE May 4 2006
P & Z *w/cadwin*

REVISIONS	DATE	BY	COMMENTS
2nd	TAL		
	APR 19 2006		



ENGINEERING
PLANNING
SURVEYING

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MARCH 31, 2006
DATE
98-10293I
PROJECT NUMBER
1 OF 3
SHEET OF
10293Ifinal.DWG
FILE NAME
CLM
DRAWN
RKC MGG
DESIGNED CHECKED