

GENERAL NOTES

- PROPERTY IS LOCATED IN THE CITY OF DARDENNE PRAIRIE.
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL MANHOLE AND INLET TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- ALL STREETS SHALL BE 26" W CONCRETE PAVEMENT CENTERED IN A 50' W PUBLIC RIGHT OF WAY.
- STORM SEWERS 18" DIAMETER AND SMALLER SHALL BE A.S.T.M. C-76, CLASS II MINIMUM, UNLESS OTHERWISE SHOWN ON THE PLANS.
- STORM SEWERS 21" DIAMETER AND LARGER SHALL BE A.S.T.M. C-76, CLASS III MINIMUM, UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL STORM PIPE IN THE RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE PIPE (A.S.T.M. C-76 CLASS II MINIMUM).
- 8" P.V.C. SANITARY SEWER PIPE SHALL MEET THE FOLLOWING STANDARDS: A.S.T.M.-D-3034 SDR-35, WITH WALL THICKNESS COMPRESSION JOINT A.S.T.M.-D-3212. AN APPROPRIATE RUBBER SEAL WATERSTOP AS APPROVED BY THE SEWER DISTRICT SHALL BE INSTALLED BETWEEN P.V.C. PIPE AND MASONRY STRUCTURES.

- THE ACCESS/WASH OFF AREA SHALL CONSIST OF A 6" - 8" LAYER OF AGGREGATE UNDERLAIN WITH FILTER CLOTH. WATER SHALL BE AVAILABLE AT THIS LOCATION FOR VEHICLE WASH OFF. ALL DRAINAGE SHALL BE AWAY FROM HANLEY ROAD AND ADJACENT PROPERTIES OR HAVE ADEQUATE SILTATION CONTROL TO PROTECT THESE ADJACENT OFFSITE AREAS.
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-100 COMPACTION TEST" (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- ALL SANITARY HOUSE CONNECTIONS HAVE BEEN DESIGNED SO THAT THE MINIMUM VERTICAL DISTANCE FROM THE LOW POINT OF THE BASEMENT TO THE FLOW LINE OF A SANITARY SEWER AT THE CORRESPONDING HOUSE CONNECTION IS NOT LESS THAN THE DIAMETER OF THE PIPE PLUS A VERTICAL DISTANCE OF 2 1/2 FEET.

- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1 OR AS CALLED FOR IN THE SOILS REPORT FOR THE PROJECT. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT ST. CHARLES COUNTY & THE CITY OF DARDENNE PRAIRIE STANDARDS.
- ALL SOILS TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- EASEMENTS SHALL BE PROVIDED FOR STORM SEWERS, SANITARY SEWERS, AND ALL UTILITIES ON THE RECORD PLAT. SEE RECORD PLAT FOR LOCATION AND SIZE OF EASEMENTS.
- MAINTENANCE AND UPKEEP OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR SUCCESSORS.
- A 2' BUILDING LINE SHALL BE ESTABLISHED ALONG ALL PUBLIC RIGHTS-OF-WAY.

- ALL WATER LINES SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY SANITARY SEWER, STORM SEWER, MANHOLE, WHENEVER WATER LINES MUST CROSS SANITARY SEWERS, LATERALS OR STORM DRAINS. THE WATER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER LINE TO BE CROSSED SO THAT THE JOINTS WILL BE EQUALLY DISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER LINE LOCATED WITHIN 10 FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN IT CROSSES.
- ALL SANITARY MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR IN ACCORDANCE WITH MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS 10.038-8.130 (7E).

- SILTATION CONTROL DEVICES SHALL BE AS SHOWN ON PLANS, AND APPROVED BY THE LOCAL GOVERNING AGENCY. ADDITIONAL SILTATION CONTROL, IF REQUIRED, WILL BE PLACED AT THE DIRECTION OF THE SOILS ENGINEER ON-SITE AND/OR THE LOCAL GOVERNING AUTHORITY PRIOR TO PLACEMENT.
- BRICK SHALL NOT BE USED ON MANHOLES.
- THE ST. CHARLES COUNTY WATER DISTRICT NO. 2 SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OF SANITARY SEWERS AND WATER MAINS FOR COORDINATION AND INSPECTION.
- ALL STORM AND SANITARY TRENCH BACKFILLS SHALL BE WATER JETTED. GRANULAR BACKFILL WILL BE USED UNDER PAVEMENT AREAS.

- ALL P.V.C. SANITARY SEWER PIPE IS TO BE SDR-35 OR EQUAL WITH "CLEAN" 1/2" TO 1" GRANULAR STONE BEDDING UNIFORMLY GRADED. THIS BEDDING SHALL EXTEND FROM 4" BELOW THE PIPE TO SPRINGLINE OF PIPE. IMMEDIATE BACKFILL OVER PIPE SHALL CONSIST OF SAME SIZE "CLEAN" OR MINUS STONE FROM SPRINGLINE OF PIPE TO 12" ABOVE THE TOP OF PIPE.
- CONCRETE PIPE JOINTS SHALL BE MSD TYPE "A" APPROVED COMPRESSION-TYPE JOINTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE, USING FLEXIBLE, WATER-TIGHT, RUBBER-TYPE GASKETS ASTM C443. BAND-TYPE GASKETS DEPENDING ENTIRELY ON QUMENT FOR ADHESION AND RESISTANCE TO DISPLACEMENT DURING SODDING SHALL NOT BE USED.

- ALL WATER MAINS SHALL BE P.V.C. CLASS 200, SDR 21 WITH LOCATOR WIRE AND TRACER TAPE EXTENDED TO RIM OF THE LID OF VALVE BOXES.
- FIRE HYDRANTS SHALL BE 6" THREE WAY WITH AUXILIARY VALVE AND BOX. STEAMER CONNECTIONS SHALL BE INSTALLED FACING THE STREET. HYDRANTS SHALL BE MUELLER "CENTURION" OR CLOW "EDDY".
- ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-100 COMPACTION TEST" (A.S.T.M.-D-1557). ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.

- GAS, WATER AND OTHER UNDERGROUND UTILITIES SHALL NOT CONFLICT WITH THE DEPTH OR HORIZONTAL LOCATION OF EXISTING OR PROPOSED SANITARY OR STORM SEWERS, INCLUDING HOUSE LATERALS.
- ALL EXISTING SITE IMPROVEMENTS DISTURBED, DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED TO CLOSELY MATCH PRE CONSTRUCTION CONDITIONS.
- THE CONTRACTOR SHALL PREVENT ALL STORM, SURFACE WATER, MUD AND CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER SYSTEM.
- PRE-MANUFACTURED ADAPTERS SHALL BE USED AT ALL P.V.C. TO DIF CONNECTIONS. RUBBER BOOT / MISSION-TYPE COUPLINGS WILL NOT BE ALLOWED.

- ALL FILLED PLACES IN PROPOSED AND EXISTING ST. CHARLES COUNTY ROADS (HIGHWAYS) SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90 PERCENT MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-100 COMPACTION TEST" (A.S.T.M.-D-1557). PAVED AREAS IN THE CUTS SHALL MEET THE SAME COMPACTION REQUIREMENTS. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING OPERATIONS.
- PLEASE NOTIFY THE CHIEF INSPECTOR OF THE ST. CHARLES COUNTY HIGHWAY DEPARTMENT 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERLAP, THE UPPER PIPE SHALL BE PLACED ON A SHELVE AND THE LOWER PIPE SHALL BE BEDDED IN COMPACTED GRANULAR FILL TO THE FLOW LINE OF THE UPPER PIPE.

- ALL CUL-DE-SACS MUST BE HAND FORMED BEGINNING AT THE P.C'S OF THE BOUNDINGS. A CONTINUOUS SLOPE MUST BE MAINTAINED FROM THE CENTER OF THE CUL-DE-SAC TO THE CURB.

- Provisions of the AWWA Standards of P.V.C. pipe installation and/or manufacturer's recommended installation procedures shall be included in the specifications for water pipe construction.
- All water mains shall have a minimum cover of 42 inches or other insulation to prevent freezing.
- All new water mains will be disinfected in accordance with AWWA Standard C651. Detailed procedures for the adequate flushing, disinfection, and microbiological testing of all water mains shall be included in the specifications for water pipe construction.
- The specification for water pipe construction must state that all pipe shall be pressure tested and leakage tested in accordance with the latest edition of AWWA Standard C600.
- Water main will not be laid in water. The water district will provide the adequate flush disinfection procedure details.
- All new water mains will be gasket and slip joint pipe.
- fittings will have mechanical joints.

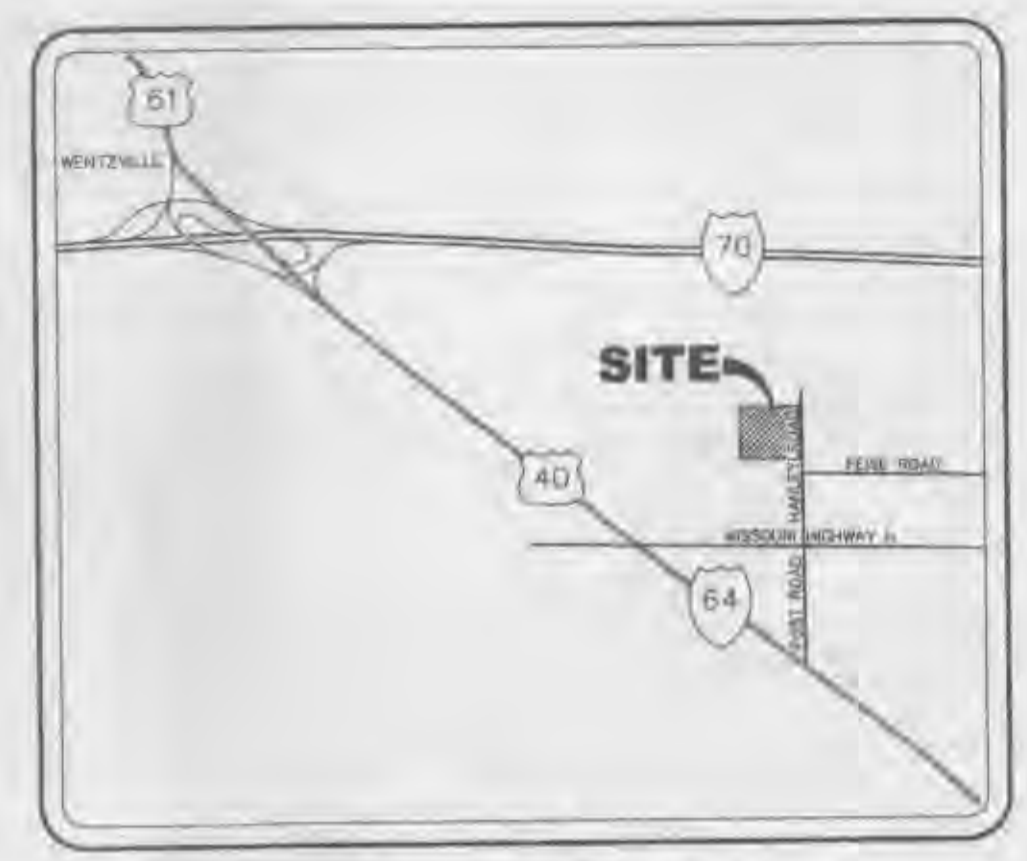
GRADING NOTES

- All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (1:1). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or low wall may be required).
- Temporary siltation control measures (structures) shall be maintained by the contractor until vegetative cover is established at a sufficient density to provide erosion control on the site. (Refer to Appendix A.)
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a manner as to prevent erosion. Permanent type species shall be established as soon as possible during the next seeding period after grading has been completed. (Refer to Appendix A.)
- When grading operations are completed or suspended for more than 30 days permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided. (Refer to Appendix A.) All finished grades (grass not to be disturbed by future improvement) in excess of 20% slopes (2:1) shall be mulched and topped at the rate of 100 pounds per 1,000 square feet when needed.
- The existing ground to development sites (lots) shall be provided with protection from gopherholes and increased surface water, soil erosion, and any other consequences of erosion. Sufficiently anchored stone piles may be temporarily substituted with the approval of the Designated Official.
- All lots shall be seeded and mulched at the minimum rates defined in Appendix A or submitted before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unobtainable ground conditions.
- Designated officials shall be the City of Dardenne Prairie.

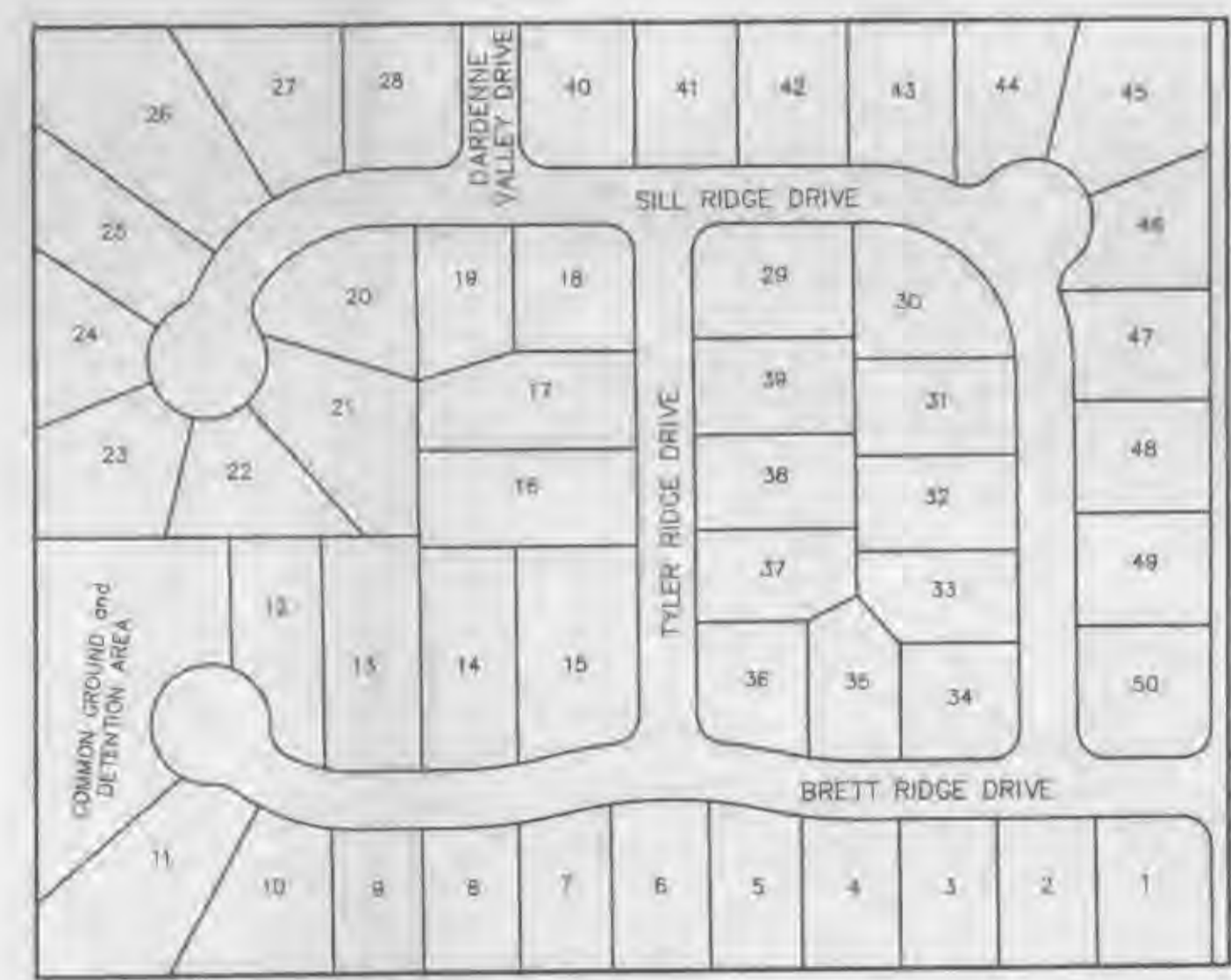
- All grading operations, removal of septic tanks, drain fields and treatment of existing wells shall be coordinated with the Soils Engineer.
- Any well (and/or springs) which may exist on this property shall be located and tested in a manner acceptable to the St. Charles County and the City of Dardenne Prairie.
- All trees and shrubs on-site, either existing or off-site, must be removed and properly disposed of.
- Soft soils at the bottom and banks of existing pond shall be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material shall be placed in proposed public right-of-way locations or on any storm sewer location. Fill materials in existing pond shall be compacted to 90% of maximum dry density as determined by the "Modified Proctor Test" or to whatever the surrounding ground is. All compaction shall be coordinated with soil consultant.
- Please notify Mr. Paul Larson of George Butler Associates 48 hours prior to the commencement of grading and/or prior to the commencement of construction. No building permits will be issued by the City of Dardenne Prairie until construction plans are approved and the final plat is recorded.
- All areas shall be protected from sediment with straw bales.

- All siltation control devices shall be installed by the contractor after any rain at 1/2" or more with any appreciable accumulation of mud to be removed and siltation measures repaired where necessary.
- All siltation control measures are to be installed in accordance with the consultant agency manual "Preventing Water Quality".
- All proposed areas shall be seeded and mulched within one week of final grading of that part of site.
- Concrete seeders shall be installed after construction is completed.
- Basins shall be over-excavated to contain sediment per approved grading plan.
- Equipment and vehicles shall be cleaned before entering public roadways so that no mud shall be tracked onto the streets. A tractor with a blade, a brush tractor, a street sweeper or a high pressure wash truck shall be available to the site at all times for the removal of mud from the streets.
- Trees, organic debris and other deleterious materials shall be removed from the site and disposed in compliance with all applicable laws and regulations. (Permit tickets for such disposal shall be maintained on file by the developer. Storing on site shall be allowed only by permit from the local fire district.)
- George Butler Associates shall be contacted at (636)240-2444 for inspection of final siltation control measures prior to grading.
- Seeding shall conform to Appendix A of the St. Charles County Soil and Water Conservation District Model Sediment and Erosion Control Regulation.

A SET OF IMPROVEMENT PLANS FOR
BRETRIDGE ESTATES
A TRACT OF LAND BEING PART OF
SECTION 2, TOWNSHIP 46 NORTH, RANGE 2 EAST
CITY OF DARDENNE PRAIRIE
ST. CHARLES COUNTY, MISSOURI



LOCATION MAP
NO SCALE



KEY MAP
N.T.S.

DEVELOPMENT NOTES

- Area of Entire Tract: 19.56 Acres (including existing Hanley Road Right-of-Way)
- Area of Right-of-Way Acquisition: 0.76 Acres
- Existing Zoning: R-10 (S.U.)
- Number of Lots Proposed: 50 Lots (Family Lots)
- The proposed height and lot setbacks are as follows:

Minimum Front Yard	35 Feet
Minimum Side Yard	7 Feet
Minimum Rear Yard	25 Feet
Minimum Lot Area	10,000 square feet
Minimum Lot Width	80 Feet
Minimum Lot Depth	100 Feet
Maximum Height of Building	35 Feet
Maximum Lot Coverage	30%
- Final Plat does not exist on this tract. File #2183300208, dated August 2, 1995.
- Site is served by:

Sewers:	Public Water Supply District No. 2
Electric:	Culver River Electric Cooperative, Inc.
Gas:	St. Charles Gas Company
Water:	Public Water Supply District No. 2
Telephone:	Verizon
Street:	Wentzville School District
Fire:	Wentzville Fire Protection District
- All streets will be constructed to City of Dardenne Prairie and St. Charles County standards. Streets will consist of 26 foot wide concrete pavement with integral rail rollers curb centered in a 50 foot right-of-way. Minimum radius shall be 100 feet.
- Off street parking shall be provided for each lot.
- All proposed utilities shall be located underground.
- Street lighting shall be provided at intersections and cul-de-sacs, and shall be maintained by the Homeowners' Association.
- Buildings shall provide one tree per fifty feet of street frontage within 10 feet of the front property line at time of final seeding.
- Boundary and topographic information per survey performed by Box Engineering, January 2001.
- Sidewalks shall be 4" thick, 4' wide concrete, along both sides of streets. There are no deviations from R-10 zoning district requirements. Deviations from the City of Dardenne Prairie regulation requirements include only that sidewalks shall be omitted from cul-de-sacs and cul-de-sacs.
- Homeowners' Association shall be organized by the developer within 90% of the lots sold to individuals or builders.

SHEET INDEX

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| 12 | PRE-DEVELOPED D. A. MAP |
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LEGEND

- | | | | |
|---|---------------------------|---|-------------------------------------|
| ○ | CURB ASSET | □ | STREET LIGHT |
| ○ | DOUBLE CURB INLET | □ | SEWER |
| ○ | AREA INLET | □ | SEWER CONDUIT |
| ○ | MANHOLE | □ | PROPOSED CONDUIT |
| ○ | FINISH LINE BETWEEN | □ | EXISTING MAN |
| ○ | LAND MARK | □ | NO PARKING SIGN |
| ○ | CONCRETE PIPE | □ | WATER VALVE |
| ○ | REINFORCED CONCRETE PIPE | □ | BLUR BY ASSEMBLY |
| ○ | CORROSION RESISTANT PIPE | □ | FLUSH ELEVATION OF HOUSE CONNECTION |
| ○ | CAST IRON PIPE | □ | FLOWLINE ELEVATION OF SEWER MAIN |
| ○ | PRE-CAST CONCRETE (PILES) | □ | |
| ○ | CLAY TILE | □ | |
| ○ | VINE HYDRANT | □ | |
| ○ | STORM SEWER | □ | |
| ○ | SANITARY SEWER | □ | |



TYPICAL RESIDENTIAL LOT
NO SCALE

BENCHMARK

REFERENCE BENCHMARK: ELEVATION 867.66 NAVD 1929 DATUM (USGS)
ST. CHARLES COUNTY GEOGRAPHIC REFERENCE STATION "ORF" STANDARD BRASS DISK STAMPED "ORF 1931" IN A SQUARE CONCRETE POST IN A SMALL MOUND 107' ± NORTHWEST OF THE NORTHWEST CORNER OF A SHED ADDITION TO AN OLDER BARN; 20'-25' NORTHWEST OF A SMALL POND; 39' NORTHEAST OF A LONE PEAR TREE AND 24.5' NORTHEAST OF A METAL WITNESS POST AND SIGN, LOCATED AT 1301 BRYAN ROAD, 350' NORTHWEST OF HOUSE.

SITE BENCHMARK: ELEVATION 822.85 NAVD 1929 DATUM (USGS)
CHISELED SQUARE ON TOP OF BOX CULVERT NEAR NORTHEAST CORNER OF FEISE RD. AND HANLEY RD.

BRETRIDGE ESTATES
PREPARED FOR:
RENAISSANCE PARTNERSHIP
4633 CROSSHAVEN COURT
ST. CHARLES, MO 63304
(314) 614-1336



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REVISIONS



1002 South Cleveland Drive
St. Peters, MO 63376-0445
314-928-5552
APR 19 2007
FAX 928-1718
CITY OF FALLON, NV

01-11-02
DATE
01-11-27C
PROJECT NUMBER
1 OF 19
SHEET OF
11127A.CON.DWG
FILE NAME
BWF/JLK/MGC
DRAWN CHECKED

PROPERTY N/F
 MARIA A. AND WESLEY W. WOODS
 BOOK 1859/PAGE 735
 ZONED R-1A

PRAIRIE COMMONS
 ZONED R-1D PUD
 FUTURE DEVELOPMENT

PRAIRIE COMMONS (50' WIDE)
 CIRCLE (PUBLIC STREET)

PRAIRIE COMMONS (50' WIDE) CT.
 (PUBLIC STREET)

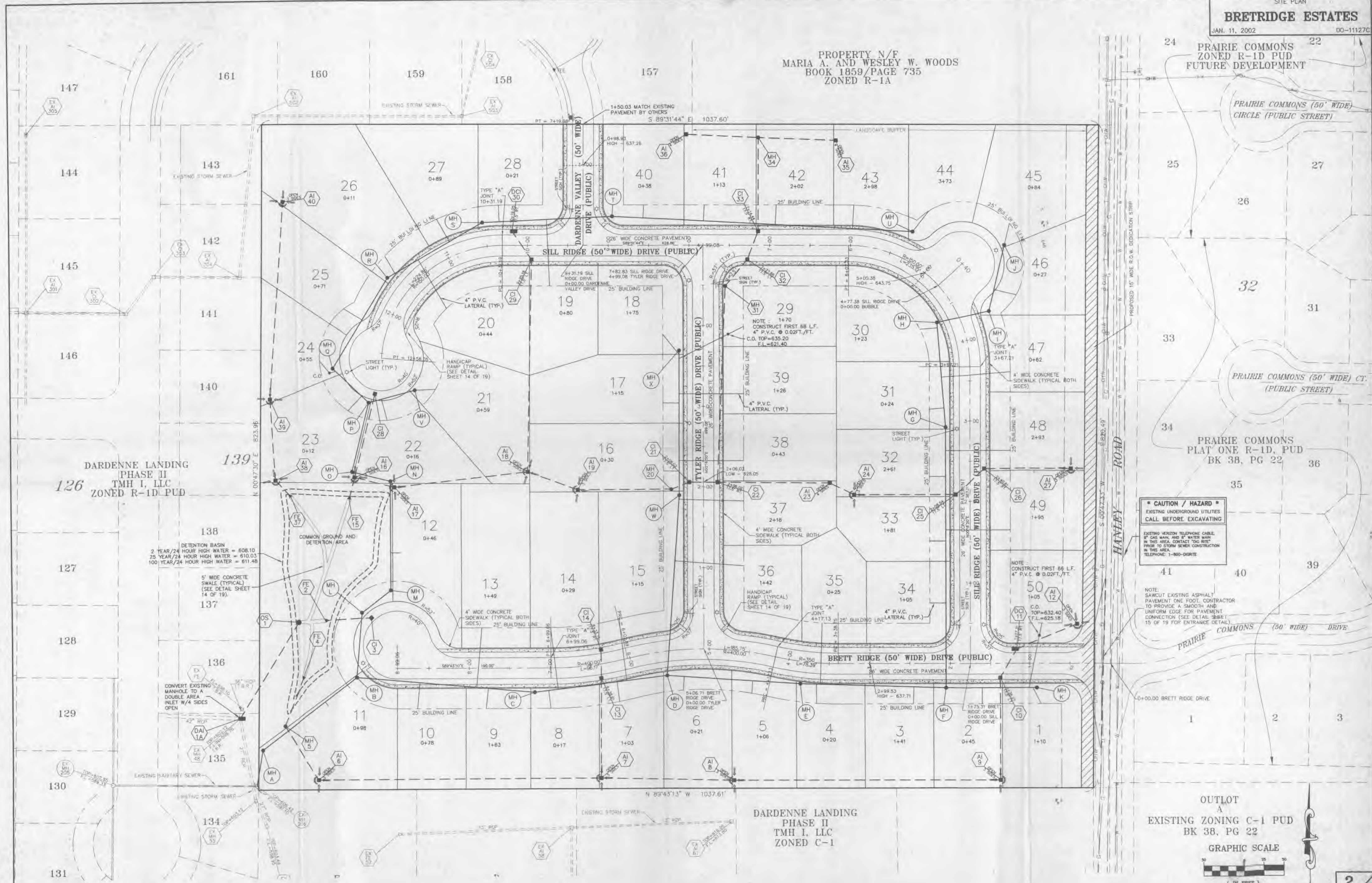
PRAIRIE COMMONS
 PLAT ONE R-1D, PUD
 BK 38, PG 22

*** CAUTION / HAZARD ***
 EXISTING UNDERGROUND UTILITIES
 CALL BEFORE EXCAVATING

NOTE:
 SAWCUT EXISTING ASPHALT
 PAVEMENT ONE FOOT. CONTRACTOR
 TO PROVIDE A SMOOTH AND
 UNIFORM EDGE FOR PAVEMENT
 CONNECTION (SEE DETAIL SHEET
 15 OF 19 FOR ENTRANCE DETAIL)

OUTLOT
 A
 EXISTING ZONING C-1 PUD
 BK 38, PG 22

GRAPHIC SCALE
 1 inch = 50 ft.

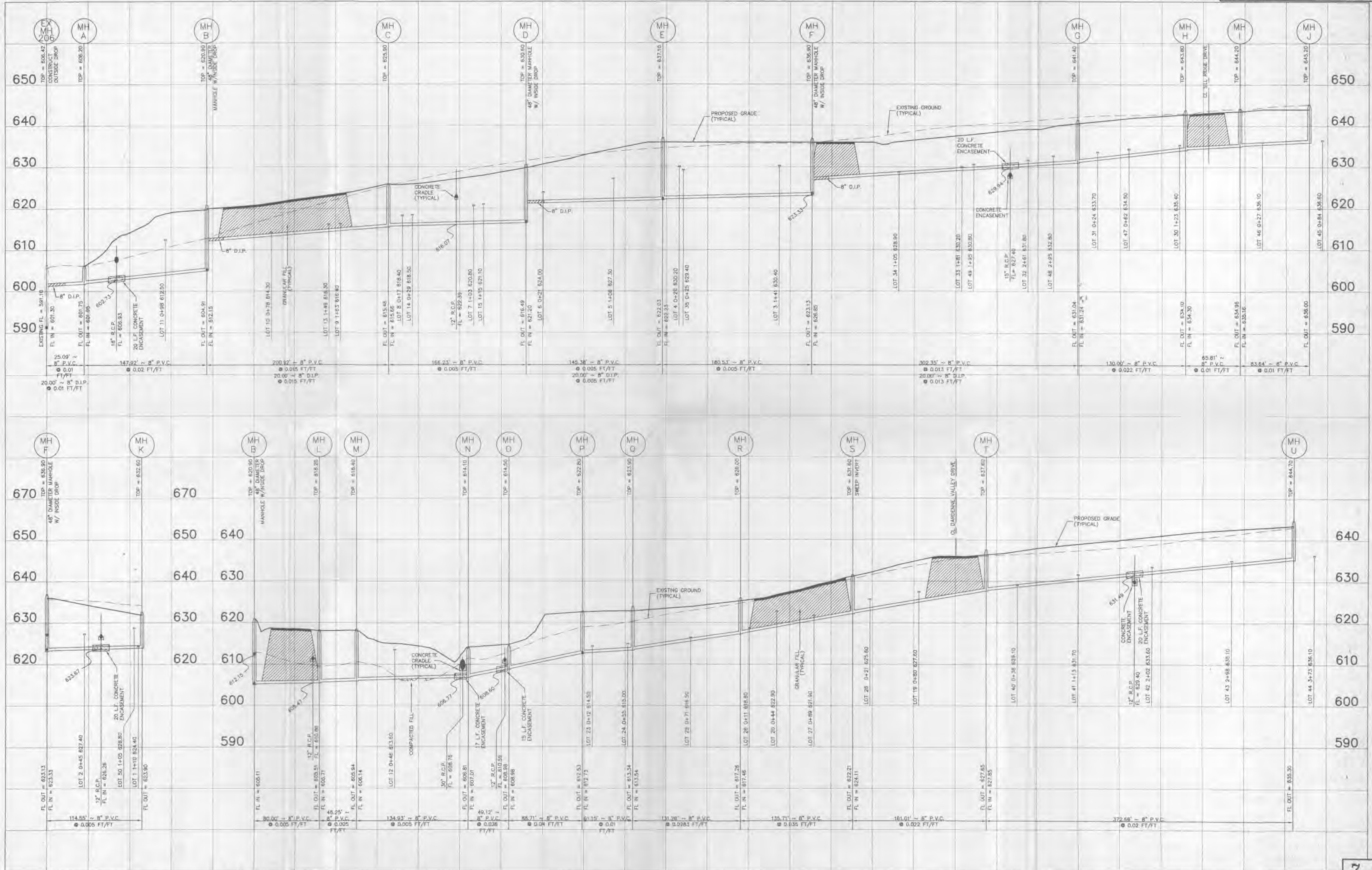


DARDENNE LANDING
 PHASE II
 TMH I, LLC
 ZONED R-1D PUD

DARDENNE LANDING
 PHASE II
 TMH I, LLC
 ZONED C-1

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ALL SANITARY SEWER LATERAL TAILSTAKE ELEVATIONS HAVE BEEN DESIGNED FOR AN 8.0' BASEMENT POUR IN HOMES WITH THE TOP OF FOUNDATION ELEVATION BEING SET 2.5' ABOVE THE TOP OF CURB ELEVATION AT THE DRIVEWAY.

SCALE:
 VERTICAL = 1" = 10'
 HORIZONTAL = 1" = 50'



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