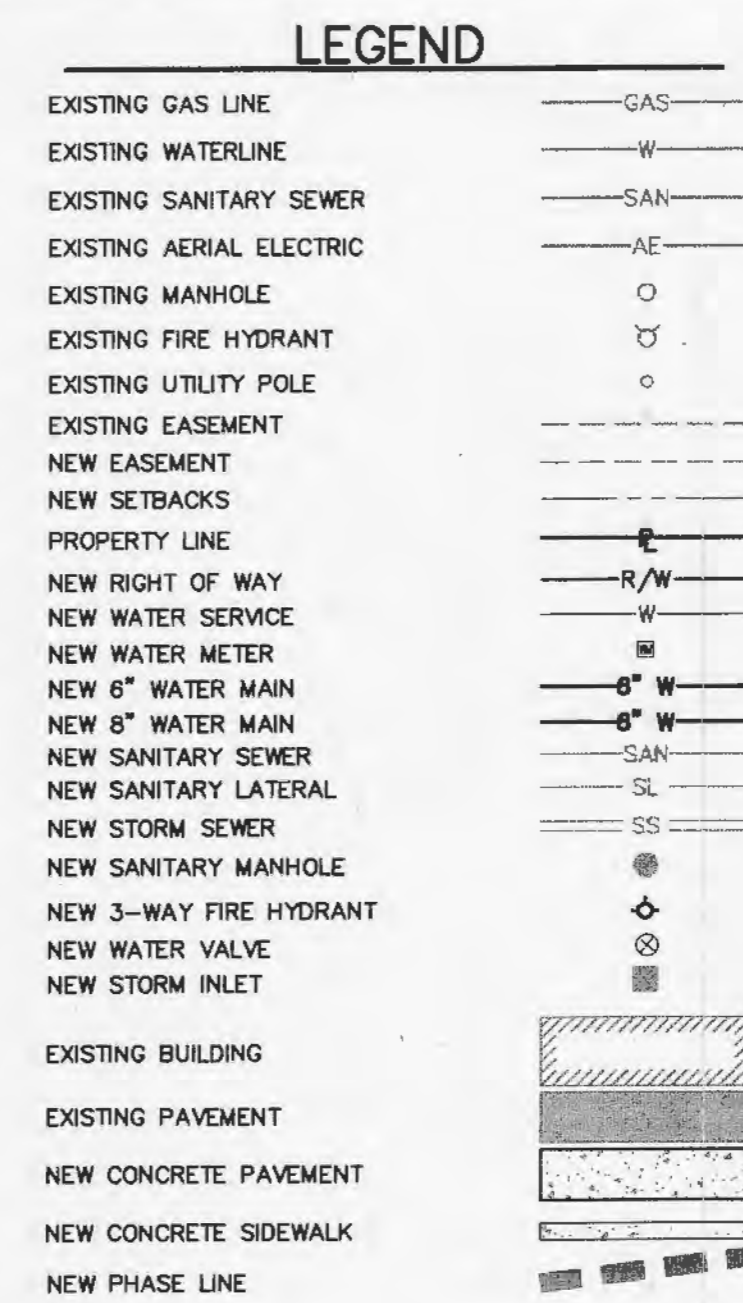
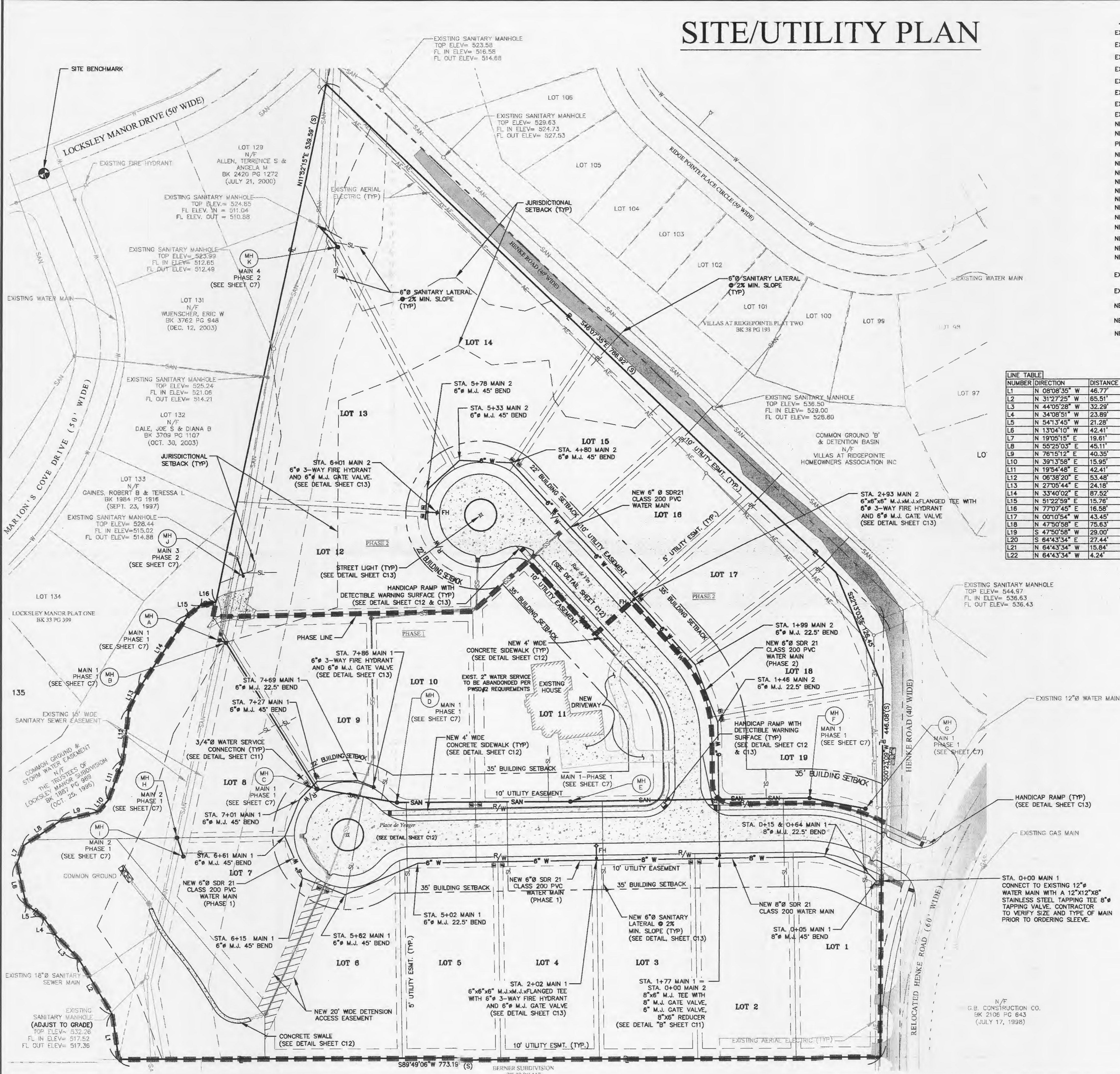


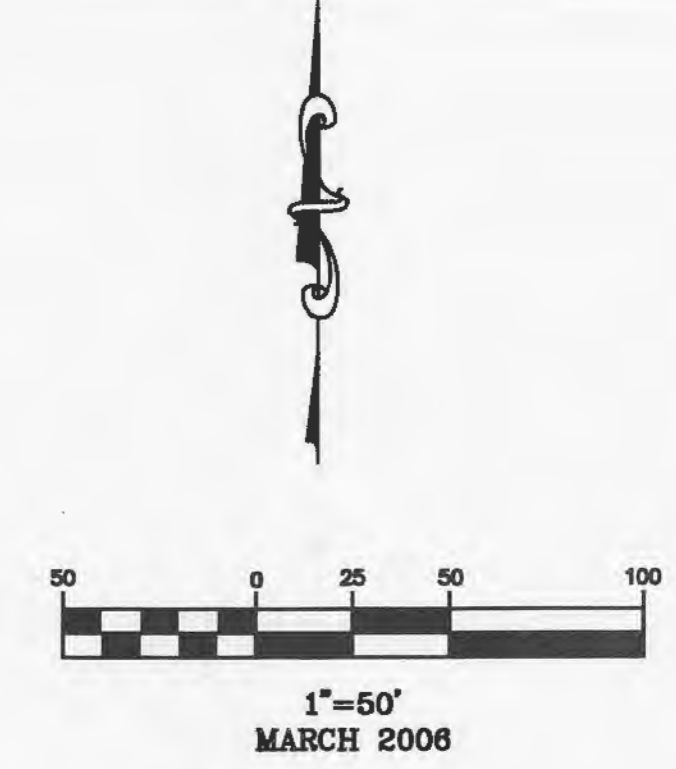
# SITE/UTILITY PLAN



### LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N 08°08'35" W	46.77'
L2	N 31°27'25" W	65.51'
L3	N 44°05'28" W	32.29'
L4	N 34°08'51" W	23.89'
L5	N 54°13'45" W	21.28'
L6	N 13°04'10" W	42.41'
L7	N 19°05'15" E	19.61'
L8	N 55°25'03" E	45.11'
L9	N 76°15'12" E	40.35'
L10	N 39°13'58" E	15.95'
L11	N 19°54'48" E	42.41'
L12	N 06°36'20" E	53.48'
L13	N 27°05'44" E	24.18'
L14	N 33°40'02" E	87.52'
L15	N 51°22'59" E	15.76'
L16	N 77°07'45" E	16.58'
L17	N 00°10'54" W	43.45'
L18	N 47°50'58" E	75.63'
L19	S 47°50'58" W	29.00'
L20	S 64°43'34" W	27.44'
L21	N 64°43'34" W	15.84'
L22	N 64°43'34" W	4.24'

- ### NOTES:
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON PLANS.
  - THE PROJECT BENCHMARK IS "A STANDARD ALUMINUM DISK" THE STATION IS ON THE PROPERTY MANAGED BY MR. HOLLEBERG AT #301 FEISE RD. ON THE SOUTHWEST CORNER OF THE SMALL POND. ELEVATION = 667.65
  - SITE BENCHMARK IS A CUT CROSS AT THE INTERSECTION OF LOCKSLEY MANOR DRIVE & MARION'S COVE DRIVE. ELEVATION = 537.49
  - EXISTING ZONING IS PD, PLANNED DEVELOPMENT PER THE CITY LAKE SAINT LOUIS ZONING SETBACK REQUIREMENTS ARE:  
FRONT YARD: VARIES  
SIDE YARD: VARIES  
REAR YARD: VARIES
  - THIS PROPERTY LIES WITHIN FLOOD ZONE "X", DEFINED AS AREAS TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FOR ST. CHARLES COUNTY, MISSOURI, AND INCORPORATED AREAS, PANEL 22V OF 525, MAP NO. 29183C022DF, DATED MARCH 17, 2003
  - EFFORTS WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DISCHARGE POINTS.
  - ALL STORM WATER RUNOFF SHALL MEET CITY OF LAKE SAINT LOUIS STANDARDS.
  - THE SITE LAND USE WILL BE SINGLE FAMILY HOMES.
  - THE SITE SHALL CONFORM TO CITY OF LAKE SAINT LOUIS STANDARDS.
  - THE BOUNDARY & TOPOGRAPHIC INFORMATION AS SHOWN IS FROM A SURVEY DONE BY COCHRAN INC. DATED JUNE 2005.
  - TOTAL SITE ACREAGE 11.75± AC.
  - THIS SITE IS SERVED BY:  
WATER — P.W.S.D. NO. 2  
SEWER — P.W.S.D. NO. 2  
SCHOOL — WENTZVILLE SCHOOL DISTRICT  
FIRE — WENTZVILLE FIRE PROTECTION DISTRICT  
GAS — LACLEDE GAS  
TELEPHONE — CENTURYTEL
  - THIS SITE SHALL BE DEVELOPED IN TWO PHASES.
  - THE DEVELOPMENT SHALL BE SERVED BY UNDERGROUND ELECTRIC.
  - ALL UTILITIES ARE TO BE LOCATED UNDERGROUND
  - THIS DRAWING DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY
  - NO INVESTIGATION HAS BEEN PERFORMED BY COCHRAN REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT SHOWN HEREON.
  - THIS SURVEY WAS EXECUTED WITHOUT A TITLE COMMITMENT AND IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, CONDITIONS, ETC. OF RECORD.
  - UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.
  - CONTRACTOR TO CONTACT TELEPHONE, ELECTRIC, GAS, CABLE AND WATER COMPANIES TO HAVE UNDERGROUND UTILITIES LOCATED ON THIS SITE AND ADJACENT TO THIS SITE PRIOR TO ANY EXCAVATING.
  - LOCATION, REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
  - DUE TO CITY'S TREE PRESERVATION REQUIREMENTS, 30% OF THE EXISTING TREES ON THE LOT MUST BE PRESERVED. FOR LOTS 9, 12, 13, 14, AND 15 THIS REQUIREMENT CAN BE MET BY PRESERVING WOODLAND A. A DEED RESTRICTION SHALL BE PLACED ON LOTS 9, 12, 13, 14, AND 15 PROHIBITING THE REMOVAL OF TREES WITHIN THE PRESERVED WOODLAND AREA.
  - ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH CURRENT ST. CHARLES COUNTY PWS# #2 GUIDE LINES & SPECIFICATIONS AS APPROVED BY MDNR REVIEW NO. 61996-04R.
  - ALL SANITARY SEWERS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ST. CHARLES COUNTY PWS# #2 GUIDE LINES AND SPECIFICATIONS.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - ALL PAVING TO BE IN ACCORDANCE WITH LAKE SAINT LOUIS STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF LAKE SAINT LOUIS.



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**COCHRAN**

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North Office  
8 East Main Street  
Wentzville, Missouri 63385

**SITE IMPROVEMENT PLANS**  
**Chateau du Bois**  
**LAKE SAINT LOUIS, MISSOURI**

### SITE/UTILITY PLAN

DATE	REV.	DESCRIPTION
10-1-09	1	PER CLIENT REQUEST
10-22-09	2	REV. PER THE CITY OF LAKE SAINT LOUIS
10-22-09	3	REV. PER P.W.S.D.#2 COMMENTS
10-30-09	4	REV. PER P.W.S.D.#2 COMMENTS
11-13-09	5	REV. PER THE CITY OF LAKE SAINT LOUIS
11-24-09	6	REV. PER P.W.S.D.#2 COMMENTS
12-09-09	7	REV. PER P.W.S.D.#2 COMMENTS

DATE: MAR. 24, 2006  
SCALE: 1"=50'  
PROJECT NO.: 6320-06  
DATE: 3/29/2009

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