

HERITAGE at HAWK RIDGE

Book 37 Page 64

A TRACT OF LAND BEING PART OF U.S. SURVEY 825 AND 1801, SECTION 4 AND 33, TOWNSHIP 46 AND 47 NORTH, RANGE 2 EAST, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI

FINAL DEVELOPMENT PLAN 489 LOTS / UNITS



PROPOSED LANDSCAPE BUFFER
A MIXTURE OF CONIFEROUS AND DECIDUOUS TREES @ 20' CENTERS

DEVELOPMENT NOTES

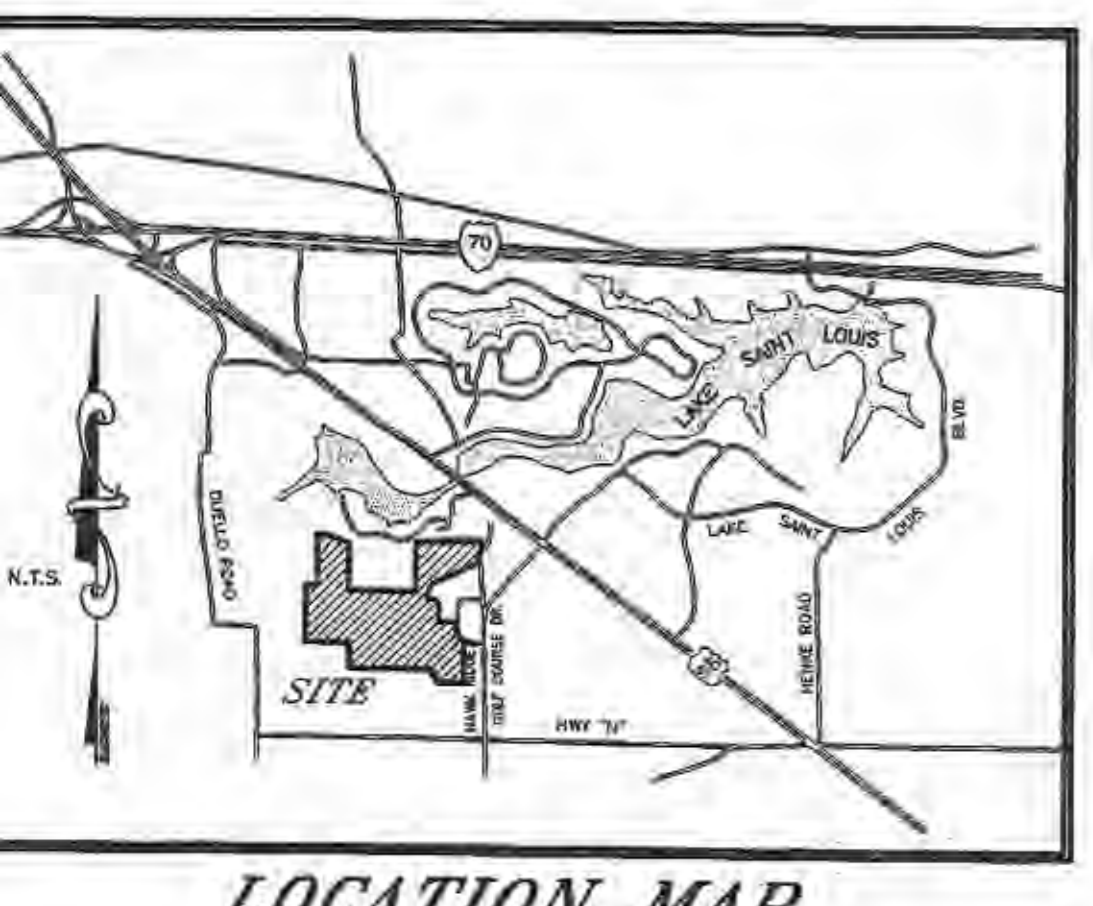
- Area of Development: 186.63 acres
- Present Zoning: "PA" Public Activity
- Proposed Use: 181.26 Acres "RH" Single Family Attached & Detached Residential Homes and 5.68 Acres "CB" Community Business (Commercial)
- Setback and Yard Requirements:
 - Lots S-1 thru S-34 & S-321 (with public Right-Of-Way)
 - a. Front - 25'
 - b. Rear - 15'
 - c. Side - 8'
 - Remaining lots (private streets)
 - a. Front - 25' from back of curb
 - b. Rear - 15'
 - c. Side - Zero (0) lot lines with 12' between buildings, 15' from back of curb on corner lots
- Height Requirements:
 - 3 stories or 40 feet, except additional height may be allowed by Special Use Permit.
- Lot Density:
 - Total Area of Tract = 186.63 Acres
 - 489 Total Lots / Units
 - 489 ÷ 186.63 = 2.62
 - 2.62 Lots / Units per Acre
 - 321 Single Family Lots = S-1 thru S-321
 - 168 Single Family Attached Lots = V-1 thru V-168
- Breakdown of Lots:
 - a. Executive Lots (65' wide) = 125
 - b. Garden Lots (55' wide) = 161
 - c. Villa lots = 57
 - d. Carriage Lots = 77
- Site is served by or located in the following:
 - a. Water - St. Charles County Water District No. 2
 - b. Sanitary Sewers - St. Charles County Water Dist. No. 2
 - c. Gas - St. Charles Gas Company
 - d. Telephone - G.T.E. Missouri
 - e. Fire - Wentzville Fire Protection District
 - f. Electric - Duquesne Electric
 - g. School - Wentzville "R-4" School District
- All street pavement shall have integral raised curbs.
- All 26" wide pavement will be 7" thick non-reinforced P.C. concrete on 8" of Class Four aggregate base unless noted otherwise.
- Easements, monuments and sight line reservations shall be part of Improvement plans and/or record plat.
- Parking Required:
 - Two (2) Parking spaces per dwelling unit, and a two (2) car garage.
 - 489 units x (2 spaces + 2 car garage) = 1,956 spaces
 - Thirty additional spaces designated as "Additional Guest Parking" have been provided.
 - Parking provided: 1,986 spaces.
- Temporary sedimentation basins and erosion control shall be constructed prior to site grading.
- No flood plain exists on this property per FEMA No. 28183C0215 E & 29183C0220 E, dated August 2, 1996.
- All utilities will be available, functioning & usable at time project is ready for occupancy and be located underground.
- Tree Preservation:
 - Existing acreage of trees on site = 30.57 Acres
 - Existing acreage of trees to be removed = 16.32 Acres
 - Existing acreage of trees to remain = 14.05 Acres

46 % of existing trees shall remain.

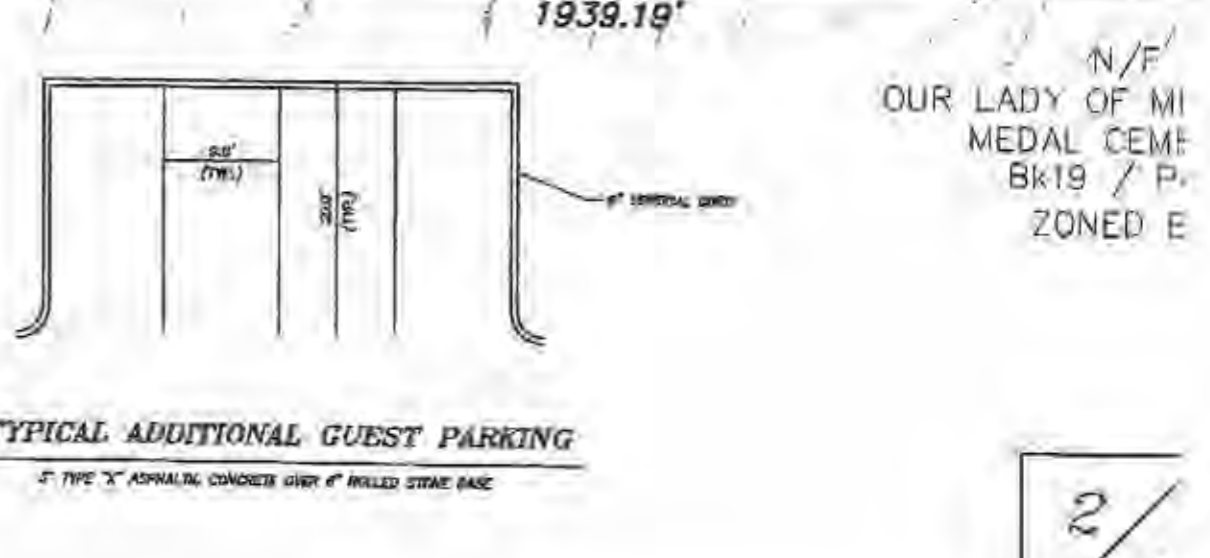
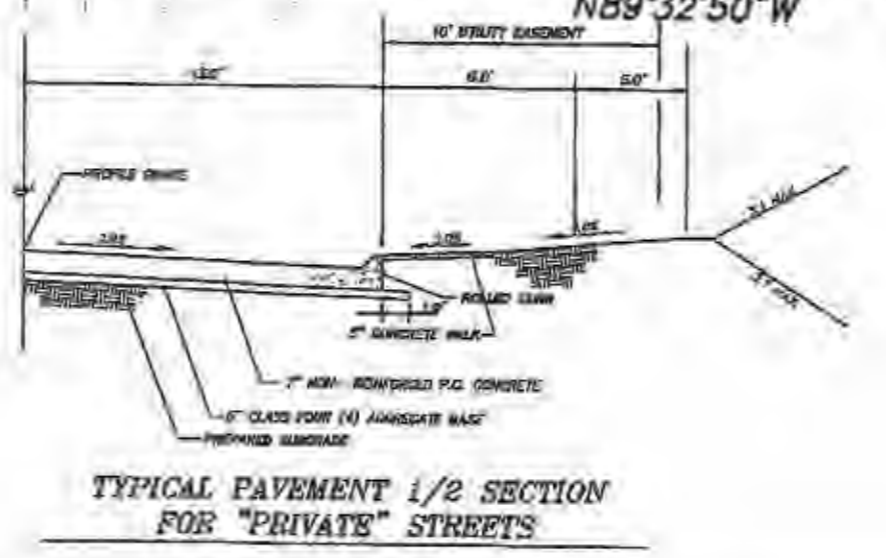
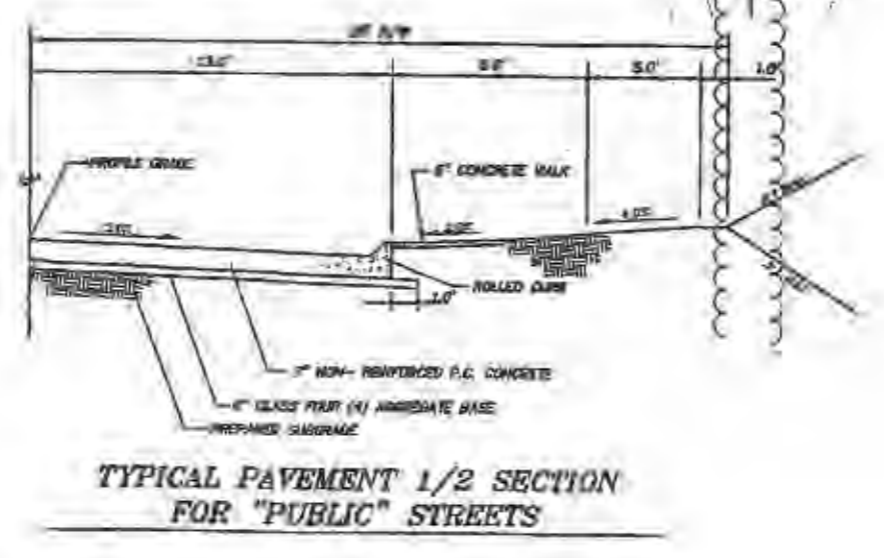
N/F HAWK RIDGE ON THE GREEN
SUBDIVISION
ZONED SR-1

N/F KRAEMER
Bk1506 / Pg1355
ZONED A-2

LEGEND:
X APPROXIMATE LOCATION OF STUMP BURIAL SITE/
DISPOSAL AREA BY CAMPBELL INC. DATED 5-14-93.



N/F THOROUGHMAN, HERCULES
BK538 / Pg981
ZONED A-2



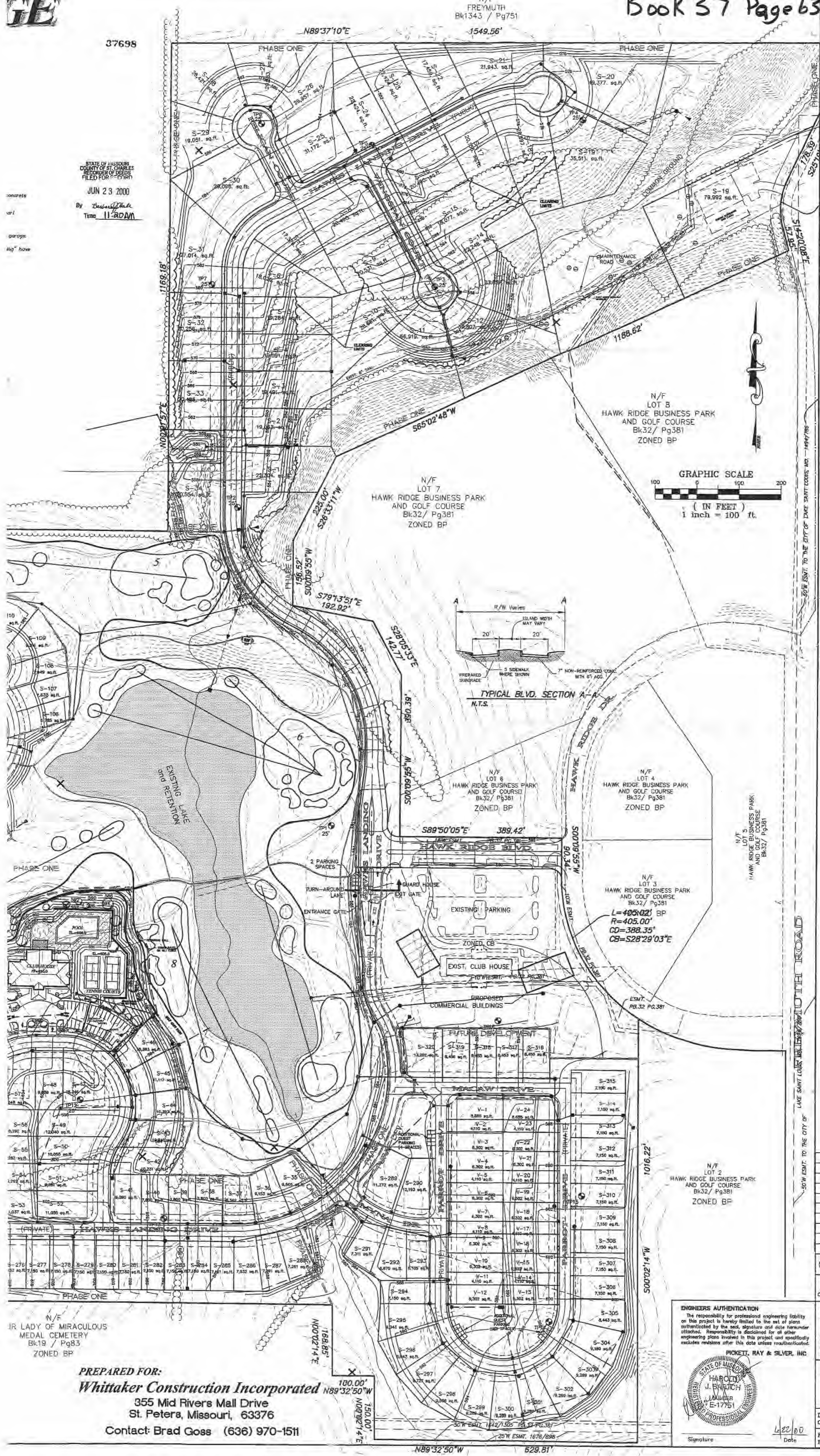
N/F OUR LADY OF MI
MEDICAL CEM
BK19 / P.
ZONED E

NOTE:
ROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN
LOCATED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND
THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY.
LOCATION OF ALL UNDERGROUND STRUCTURES AND
UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE
THE RESPONSIBILITY OF THE CONTRACTOR.



37698

STATE OF MISSOURI
COUNTY OF ST. CHARLES
RECORD OF DEEDS
FILED FOR...
JUN 23 2000
By [Signature]
Time 11:20AM



N/F WAYNE CHLANDA
ZONED INDUST.
L=114.23'
R=165.00'
CD=111.96'
CB=S05°29'52"W

LOT 3
TESZAR'S SUBDIVISION
ZONED HC

N/F LOT 8
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 7
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 6
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 5
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 4
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 3
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED CB
L=405.02' BP
R=405.00'
CD=388.35'
CB=S28°29'03"E

N/F LOT 2
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 1
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT 0
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -1
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -2
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -3
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -4
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -5
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -6
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -7
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -8
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

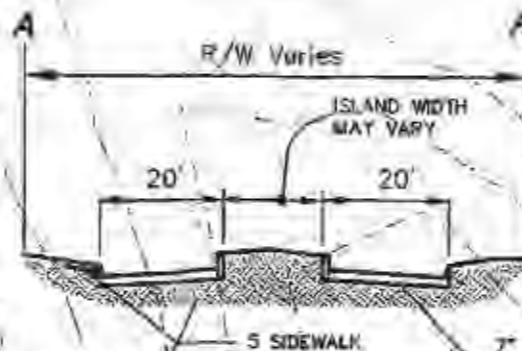
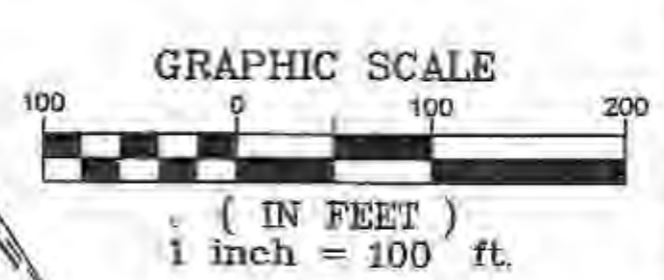
N/F LOT -9
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -10
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -11
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -12
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP

N/F LOT -13
HAWK RIDGE BUSINESS PARK
AND GOLF COURSE
Bk32 / Pg381
ZONED BP



NOTE: DUE TO THE DENSITY OF THIS DRAWING, THE TYPICAL LOT SIZE AND DIMENSIONS ARE AS FOLLOWS:

TYPICAL MINIMUM SINGLE FAMILY LOTS S-35 thru S-320



TYPICAL MINIMUM SINGLE FAMILY ATTACHED LOTS V-1 thru C-168

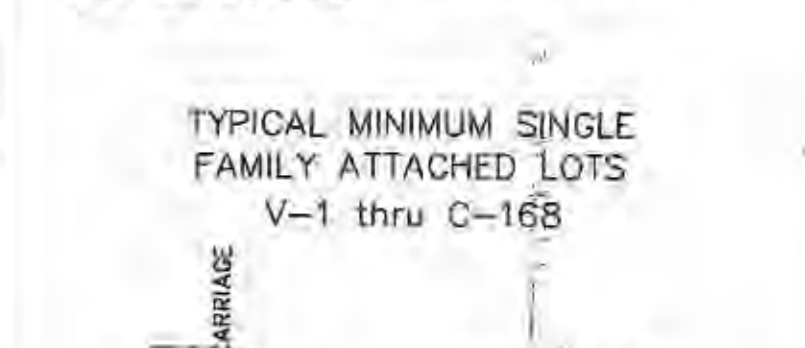


Table with 4 columns: NO., DATE, DESCRIPTION, BY. Lists revision history for the plan.

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PICKETT RAY & SILVER

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HERITAGE at HAWK RIDGE FINAL DEVELOPMENT PLAN

DRAWN: ROW, CHECKED: DATE: 04-13-2000, PROJECT # 88212.WHCO.DOR, JOB ORDER #

PREPARED FOR: Whittaker Construction Incorporated, 355 Mid Rivers Mall Drive, St. Peters, Missouri, 63376. Contact: Brad Goss (636) 970-1511

ENGINEERS AUTHENTICATION. The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthorized.



Signature: [Signature], Date: 4/22/00

99212.WHCO.DOR 19