

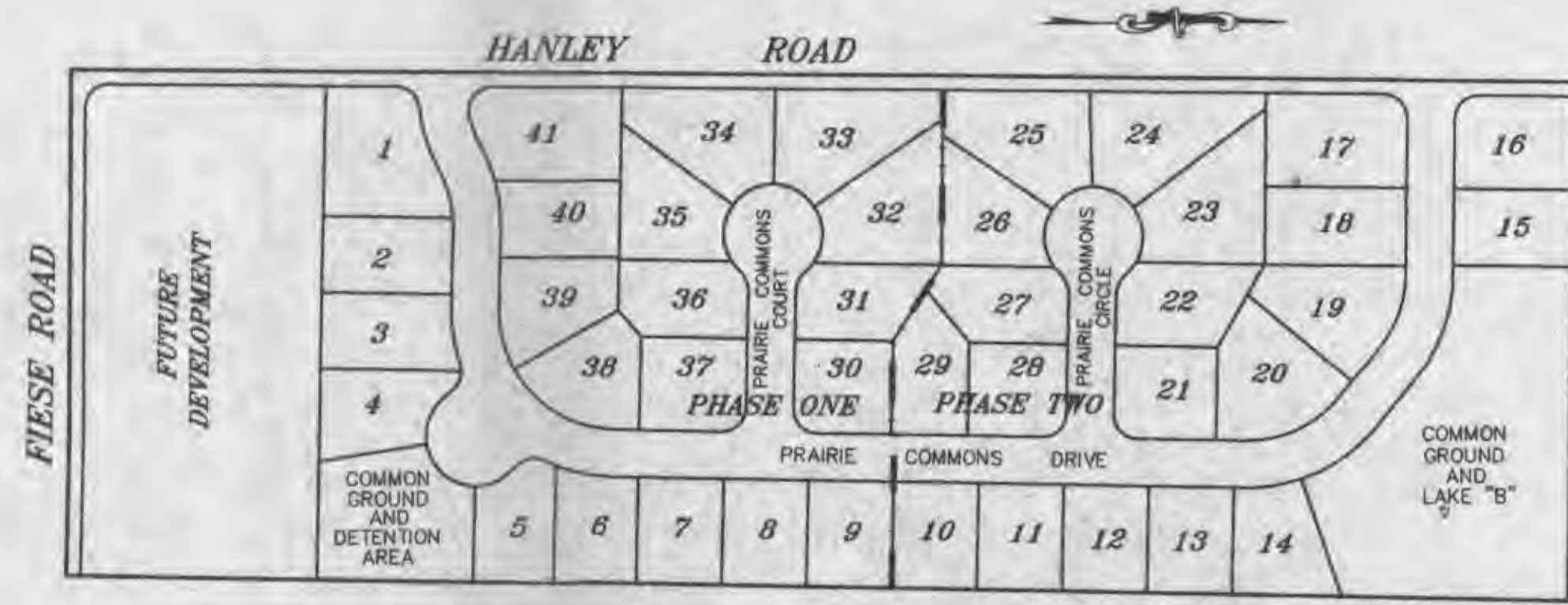
GENERAL NOTES

- PROPERTY IS LOCATED IN THE TOWN OF DARDENNE PRAIRIE.
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL MANHOLE AND INLET TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- ALL STREETS SHALL BE 26' WIDE CONCRETE PAVEMENT CENTERED IN A 50' WIDE PUBLIC RIGHT OF WAY.
- STORM SEWERS 16" DIAMETER AND SMALLER SHALL BE A.S.T.M. C-76, CLASS III MINIMUM, UNLESS OTHERWISE SHOWN ON THE PLANS.
- STORM SEWERS 21" DIAMETER AND LARGER SHALL BE A.S.T.M. C-76, CLASS III MINIMUM, UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL STORM PIPE IN THE RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE PIPE (A.S.T.M. C-78 CLASS III MINIMUM).
- 8" P.V.C. SANITARY SEWER PIPE SHALL MEET THE FOLLOWING STANDARDS: A.S.T.M.-D-3034 SDR-35, WITH WALL THICKNESS COMPRESSION JOINT A.S.T.M.-D-3322. AN APPROPRIATE RUBBER SEAL WATERSTOP AS APPROVED BY THE SEWER DISTRICT SHALL BE INSTALLED BETWEEN P.V.C. PIPE AND MASONRY STRUCTURES.
- THE ACCESS/WASH OFF AREA SHALL CONSIST OF A 6" - 8" LAYER OF AGGREGATE UNDERLAIN WITH FILTER CLOTH. WATER SHALL BE AVAILABLE AT THIS LOCATION FOR VEHICLE WASH OFF. ALL DRAINAGE SHALL BE AWAY FROM BATES ROAD AND ADJACENT PROPERTIES OR HAVE ADEQUATE SILTATION CONTROL TO PROTECT THESE ADJACENT OFFSITE AREAS.
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- ALL SANITARY HOUSE CONNECTIONS HAVE BEEN DESIGNED SO THAT THE MINIMUM VERTICAL DISTANCE FROM THE LOW POINT OF THE BASEMENT TO THE FLOW LINE OF A SANITARY SEWER AT THE CORRESPONDING HOUSE CONNECTION IS NOT LESS THAN THE DIAMETER OF THE PIPE PLUS A VERTICAL DISTANCE OF 2 1/2 FEET.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1 OR AS CALLED FOR IN THE SOILS REPORT FOR THE PROJECT. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT ST. CHARLES COUNTY & THE TOWN OF DARDENNE PRAIRIE STANDARDS.
- ALL SOILS TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- EASEMENTS SHALL BE PROVIDED FOR STORM SEWERS, SANITARY SEWERS, AND ALL UTILITIES ON THE RECORD PLAT. SEE RECORD PLAT FOR LOCATION AND SIZE OF EASEMENTS.
- MAINTENANCE AND UNWEED OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR SUCCESSORS.
- A 25' BUILDING LINE SHALL BE ESTABLISHED ALONG ALL PUBLIC RIGHTS-OF-WAY.
- ALL WATER LINES SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY SANITARY SEWER, STORM SEWER, OR MANHOLE. WHENEVER WATER LINES MUST CROSS SANITARY SEWERS, LATERALS OR STORM DRAINS THE WATER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER LINE IS 18 INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. A FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER LINE TO BE CROSSED SO THAT THE JOINTS WILL BE EQUALLY DISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER LINE LOCATED WITHIN 10 FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN IT CROSSES.
- ALL SANITARY MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR IN ACCORDANCE WITH MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS TO CSR-B-1320 (71).
- SILTATION CONTROL DEVICES SHALL BE AS SHOWN ON PLANS, AND APPROVED BY THE LOCAL GOVERNING AUTHORITY. ADDITIONAL SILTATION CONTROL, IF REQUIRED, WILL BE PLACED AT THE DIRECTION OF THE SOILS ENGINEER ON-SITE AND/OR THE LOCAL GOVERNING AUTHORITY PRIOR TO PLACEMENT.
- BRICK SHALL NOT BE USED ON MANHOLES.
- THE ST. CHARLES COUNTY WATER DISTRICT NO. 2 SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OF SANITARY SEWERS AND WATER MAINS FOR COORDINATION AND INSPECTION.
- ALL STORM AND SANITARY TRENCH BACKFILLS SHALL BE WATER JETTED. GRANULAR BACKFILL WILL BE USED UNDER PAVEMENT AREAS.
- ALL P.V.C. SANITARY SEWER PIPE IS TO BE SDR-35 OR EQUAL WITH "CLEAN" 1/2" TO GRANULAR STONE BEDDING. THE BEDDING SHALL EXTEND FROM AT LEAST 12" BELOW THE PIPE TO SPRINGLINE OF PIPE. IMMEDIATE BACKFILL OVER PIPE SHALL CONSIST OF SAME SIZE "CLEAN" OR MINUS STONE FROM SPRINGLINE OF PIPE TO 12" ABOVE THE TOP OF PIPE.
- CONCRETE PIPE JOINTS SHALL BE MSD TYPE "A" APPROVED COMPRESSION-TYPE JOINTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE, USING FLEXIBLE, WATER-TIGHT, RUBBER-TYPE GASKETS ASTM 0443. BAND-TYPE GASKETS DEPENDING ENTIRELY ON CEMENT FOR ADHESION AND RESISTANCE TO DISPLACEMENT DURING JOINTING SHALL NOT BE USED.
- ALL WATER MAINS SHALL BE PVC CLASS 200, SDR 21 WITH LOCATOR WIRE AND TRACER TAPE EXTENDED TO RIM OF THE LID OF VALVE BOXES.
- FIRE HYDRANTS SHALL BE 6" THREE WAY WITH AUXILIARY VALVE AND BOX. STEAMER CONNECTIONS SHALL BE INSTALLED FACING THE STREET. HYDRANTS SHALL BE MUELLER "CENTURION" OR CLOW "EDDY".
- ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M.-D-1557). ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- GAS, WATER AND OTHER UNDERGROUND UTILITIES SHALL NOT CONFLICT WITH THE DEPTH OR HORIZONTAL LOCATION OF EXISTING OR PROPOSED SANITARY OR STORM SEWERS, INCLUDING HOUSE LATERALS.
- ALL EXISTING SITE IMPROVEMENTS DISTURBED, DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED TO CLOSELY MATCH PRE CONSTRUCTION CONDITIONS.
- THE CONTRACTOR SHALL PREVENT ALL STORM, SURFACE WATER, MUD AND CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER SYSTEM.
- PRE-MANUFACTURED ADAPTERS SHALL BE USED AT ALL PVC TO DIP CONNECTIONS. RUBBER BOOT / MISSION-TYPE COUPLINGS WILL NOT BE ALLOWED.
- ALL FILLED PLACES IN PROPOSED AND EXISTING ST. CHARLES COUNTY ROADS (HIGHWAYS) SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90 PERCENT MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557). PAVED AREAS IN THE CUTS SHALL MEET THE SAME COMPACTION REQUIREMENTS. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING OPERATIONS.
- PLEASE NOTIFY THE CHIEF INSPECTOR OF THE ST. CHARLES COUNTY HIGHWAY DEPARTMENT 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERDIE, THE UPPER PIPE SHALL BE PLACED ON A SHELVE AND THE LOWER PIPE SHALL BE BEDDED IN COMPACTED GRANULAR FILL TO THE FLOW LINE OF THE UPPER PIPE.
- ALL OUL-DE-SACS MUST BE HAND FORMED BEGINNING AT THE PCS OF THE ROUNDINGS. A CONTINUOUS SLOPE MUST BE MAINTAINED FROM THE CENTER OF THE OUL-DE-SAC TO THE CURB.

GRADING NOTES

- All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or toe wall may be required).
- Temporary siltation control measures (structural) shall be maintained by the contractor until vegetative cover is established at a sufficient density to provide erosion control on the site. (Refer to Appendix A.)
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible during the next seeding period after grading has been completed. (Refer to Appendix A.)
- When grading operations are completed or suspended for more than 30 days permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided. (Refer to Appendix A.) All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.
- The adjoining ground to development sites (lots) shall be provided with protection from accelerated and increased surface water, silt from erosion, and any other consequence of erosion. Sufficiently anchored straw bales may be temporarily substituted with the approval of the Designated Official.
- All lots shall be seeded and mulched at the minimum rates defined in Appendix A or sodded before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.
- Designated official shall be the Town of Dardenne Prairie.
- All grading operation, removal of septic tanks, drain fields and treatment of existing wells shall be coordinated with the Soils Engineer.
- Any wells and/or springs which may exist on this property shall be located and sealed in a manner acceptable to the St. Charles County and the Town of Dardenne Prairie.
- All trash and debris on-site, either existing or from construction, must be removed and properly disposed of off-site.
- Soft soils in the bottom and banks of existing pond shall be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material shall be placed in proposed public right-of-way locations or on any storm sewer location. Fill materials in existing pond shall be compacted to 90% of maximum dry density as determined by the "Modified Proctor Test" or to whatever the surrounding ground is. All compaction shall be coordinated with soil consultant.
- Please notify Brett Hawke of George Butler Associates 48 hours prior to the commencement of grading and/or prior to the commencement of construction. No building permits will be issued by the Town of Dardenne Prairie until construction plans are approved and the final plat is recorded.
- All area inlets shall be protected from sediment with straw bales.
- All siltation control devices shall be inspected by the contractor after any rain at 1/2" or more with any appreciable accumulation of mud to be removed and siltation measures required where necessary.
- All siltation control measures are to be installed in accordance with the composite agency manual "Protecting Water Quality".
- All unpaved areas shall be seeded and mulched within one week of final grading at that part of site.
- Concrete swales shall be installed after construction is completed.
- Drains shall be over-excavated to contain sediment per approved grading plan.
- Equipment and vehicles shall be cleaned before entering public roadways so that no mud shall be tracked onto the streets. A tractor with a back, a boom tractor, a street sweeper or a high pressure wash truck shall be available to the site at all times for the removal of mud from the streets.
- Trees, organic debris and other deleterious materials shall be removed from the site and disposed in compliance with all applicable laws and regulations. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district.
- George Butler Associates shall be contacted at (636)240-2444 for inspection of initial siltation control measures prior to grading.
- Seeding shall conform to Appendix A of the St. Charles County Soil and Water Conservation District Model Sediment and Erosion Control Regulation.

A SET OF IMPROVEMENT PLANS FOR
PRAIRIE COMMONS
 A TRACT OF LAND BEING PART OF
 LOT 1 OF THE SUBDIVISION OF CAROLYN M. BATES FARM, ALSO
 BEING PART OF LOTS NO. 12 AND 17 OF WALNUT GROVE TRACT,
 ALL IN.U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 3 EAST
 OF THE FIFTH PRINCIPAL MERIDIAN,
 ST. CHARLES COUNTY, MISSOURI



KEY MAP
N.T.S.

DEVELOPMENT NOTES

- Area of Entire Tract: 18.45 Acres
- Area of right-of-way dedications for Hanley Road and Fiese Road: 0.72 acres
- Existing Zoning: R-1D PUD and C-1
- Number of Lots Proposed: 41 Single Family Lots
- The proposed height and lot setbacks for R-1D PUD are as follows:
 Minimum Front Yard: 25 feet
 Minimum Side Yard: 7 feet
 Minimum Rear Yard: 25 feet
 Minimum Lot Area: 10,000 square feet
 Minimum Lot Width: 80 feet
 Minimum Lot Depth: 100 feet
 Maximum Height of Building: 35 feet
 Maximum Lot Coverage: 30%
- Current Owner under Contract and Developer: St. Charles County Investment Group, L.L.C., 841 Dunbarton Drive, Weldon Spring, MO 63304, 636-441-4017
- Flood Plain does not exist on this tract per F.I.R.M. #29183C0220E, dated August 2, 1996
- Site is served by:
 Sewers: Public Water Supply District No. 2 (636)561-3737
 Electric: Culver River Electric Cooperative, Inc. (636)327-5282
 Gas: St. Charles Gas Company (636)946-5937
 Water: Public Water Supply District No. 2 (636)561-3737
 Telephone: Verizon 1-800-483-1000
 Fire: Wentzville Fire Protection District (636)327-6334
- All streets will be constructed in Village of Dardenne Prairie and St. Charles County standards. Streets will consist of 26 foot wide concrete pavement with integral roll rolled curb centered in a 50 foot right-of-way. Minimum radius shall be 150 feet.
- Off street parking shall be provided for each lot.
- All proposed utilities shall be located underground.
- Street Lighting shall be provided at intersections and cul-de-sacs, and shall be maintained by Culver River Electric Company.
- There are no deviations from R-1D or C-1 zoning district requirements. Deviations from Town regulation requirements include only that sidewalks shall be omitted from bubbles and cul-de-sacs.
- Builders shall provide one tree per fifty feet of street frontage within 10 feet of the front property line at time of final seeding.
- Sidewalks shall be 4" thick, 4' wide concrete, along both sides of streets.
- Homeowners' Association shall be organized by the Developer when 50% of the lots are sold to individuals or builders.



TYPICAL RESIDENTIAL LOT
N.T.S.

SHEET INDEX

- COVER SHEET
- SITE PLAN
- GRADING PLAN
- WATER PLAN
- 5-6 STREET PROFILES & WARPINGS
- SANITARY SEWER PROFILES
- STORM SEWER PROFILES
- DRAINAGE AREA MAP
- PRE-DEVELOPED D. A. MAP
- 11-17 CONSTRUCTION DETAILS

LEGEND

CU	CURB INLET	SW	STREET LIGHT
D.C.A.	DOUBLE CURB INLET	EX	EXISTING CONTOUR
A.I.	AREA INLET	PC	PROPOSED CONTOUR
M.H.	MANHOLE	5x6	STREET SIGN
F.E.	FLARED END SECTION	CP	NO PARKING SIGN
END PIPE	END PIPE	CMWP	COMPOSITE METAL PIPE
CP	CONCRETE PIPE	CLP	CASE IRON PIPE
RCPP	REINFORCED CONCRETE PIPE	W.C.	POLY W/VE. CHLORIDE (PLASTIC)
CO	CLEAN CUT	BO	BLOW OFF ASSEMBLY
FI	FIRE HYDRANT		FLOWLINE ELEVATION OF HOUSE CONNECTION
SS	STORM SEWER		FLOWLINE ELEVATION OF SEWER MAIN
CS	SANITARY SEWER		

BENCHMARK

REFERENCE BENCHMARK: ELEVATION 667.66 NAVD 1929 DATUM (USGS)
 ST. CHARLES COUNTY GEOGRAPHIC REFERENCE STATION "OR" STANDARD BRASS DISK STAMPED "OR 1831" IN A SQUARE CONCRETE POST IN A SMALL MOUND 107'± NORTHWEST OF THE NORTHWEST CORNER OF A SHED ADDITION TO AN OLDER BARN; 20'-25' SOUTHWEST OF A SMALL POND; 39' NORTHEAST OF A LONE PEAR TREE, AND 24.9' NORTHEAST OF A METAL WITNESS POST AND SIGN, LOCATED AT 1301 BRYAN ROAD, 350' NORTHWEST OF HOUSE.

SITE BENCHMARK: ELEVATION 622.85 NAVD 1929 DATUM (USGS)
 CHISELED SQUARE ON TOP OF BOX CULVERT NEAR SOUTHEAST CORNER OF SUBJECT PROPERTY.

PREPARED FOR: **PRAIRIE COMMONS**
ST. CHARLES COUNTY INVESTMENT GROUP, L.L.C.
 841 DUNBARTON DRIVE
 WELDON SPRING, MO. 63304
 (636) 441-4017

DESIGNER'S RESPONSIBILITY
 I, RICHARD L. FRANCOIS, LICENSED PROFESSIONAL ENGINEER, NUMBER E-25661, HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



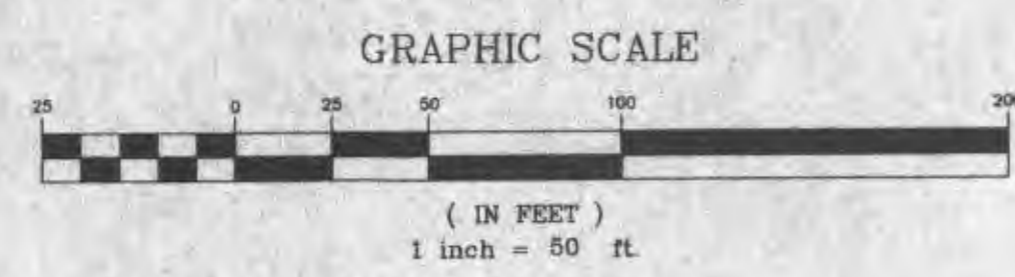
REVISIONS

1-18-01	WATER DIST. 2

ENG
 ENGINEERING
 PLANNING
 SURVEYING

1052 South Cloverleaf Drive
 St. Peters, MO. 63770-8445
 314-928-5552
 FAX 928-1710

01-08-01
 DATE
 00-11160
 PROJECT NUMBER
 1 OF 17
 SHEET OF
 11160CON.DWG
 FILE NAME
 BWF/JLK MGG
 DRAWN CHECKED



PROPERTY N/F
 DARDENE PARTNERSHIP
 2376/1599

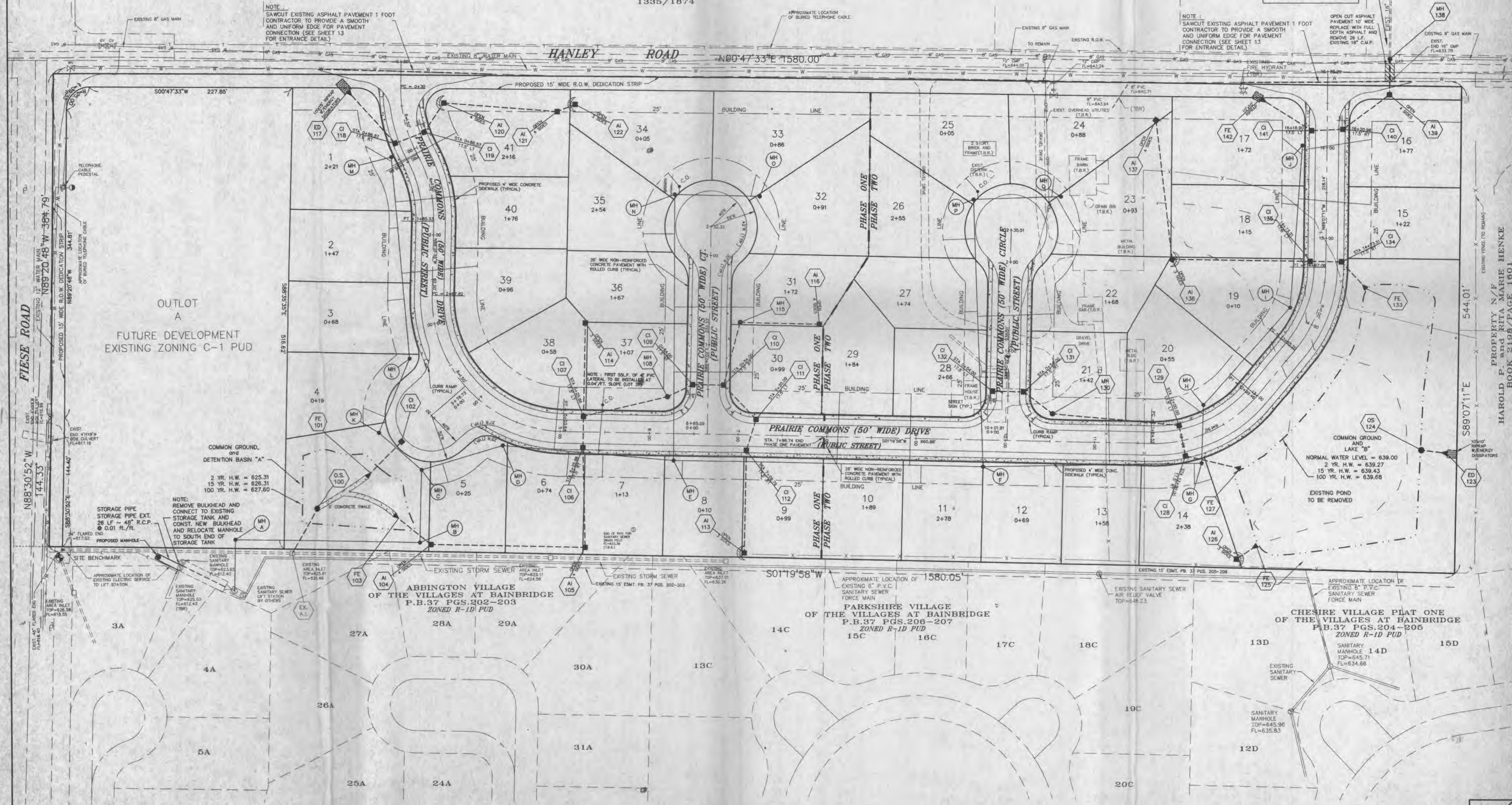
PROPERTY N/F
 LEONARD R. PROUHET AND
 LAWRENCE PROUHET, TRUSTEES
 1335/1874

PROPERTY N/F
 MARIA ANN WOODS AND
 WESLEY WAYNE WOODS
 1859/735

PROPERTY N/F
 JOHN AND HELEN PUND
 1799/1461

PROPERTY N/F
 LEANDER AND LORETTA
 VEIHE
 BOOK 751/PAGE 100

CAUTION / HAZARD
 EXISTING UNDERGROUND UTILITIES
 CALL BEFORE EXCAVATING



EXISTING 8" GAS MAIN
 EXISTING 6" WATER MAIN
 EXISTING 12" WATER MAIN
 EXISTING 15" WIDE R.O.W. DEDICATION STRIP
 PROPOSED 15" WIDE R.O.W. DEDICATION STRIP
 EXISTING 4" WATER MAIN
 EXISTING 6" GAS MAIN
 EXISTING 8" GAS MAIN
 EXISTING 12" WATER MAIN
 EXISTING 15" WIDE R.O.W. DEDICATION STRIP
 PROPOSED 15" WIDE R.O.W. DEDICATION STRIP

OUTLOT
 A
 FUTURE DEVELOPMENT
 EXISTING ZONING C-1 PUD

COMMON GROUND,
 and
 DETENTION BASIN "A"
 2 YR. H.W. = 625.31
 15 YR. H.W. = 626.31
 100 YR. H.W. = 627.60

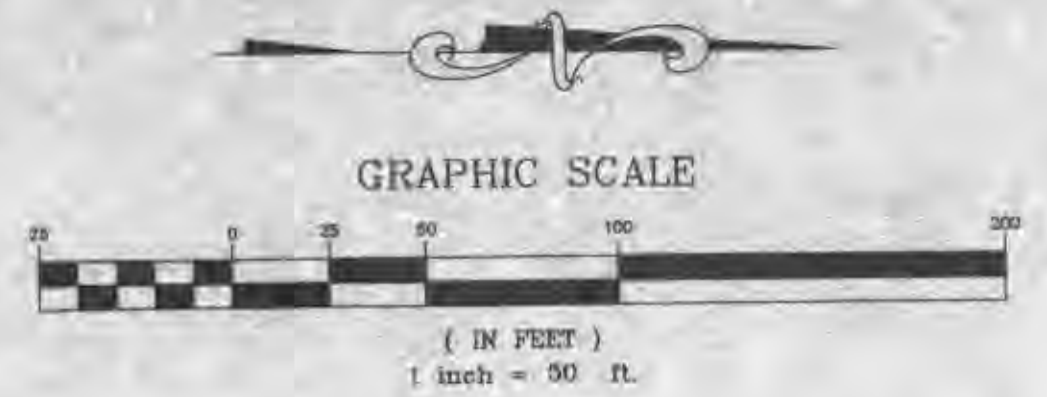
NOTE: REMOVE BULKHEAD AND
 CONNECT TO EXISTING
 STORAGE TANK AND
 CONST. NEW BULKHEAD
 AND RELOCATE MANHOLE
 TO SOUTH END OF
 STORAGE TANK

ABBINGTON VILLAGE
 OF THE VILLAGES AT BAINBRIDGE
 P.B.37 PGS.202-203
 ZONED R-1D PUD

PARKSHIRE VILLAGE
 OF THE VILLAGES AT BAINBRIDGE
 P.B.37 PGS.206-207
 ZONED R-1D PUD

CHESHIRE VILLAGE PLAT ONE
 OF THE VILLAGES AT BAINBRIDGE
 P.B.37 PGS.204-205
 ZONED R-1D PUD

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 DARDENNE PARTNERSHIP
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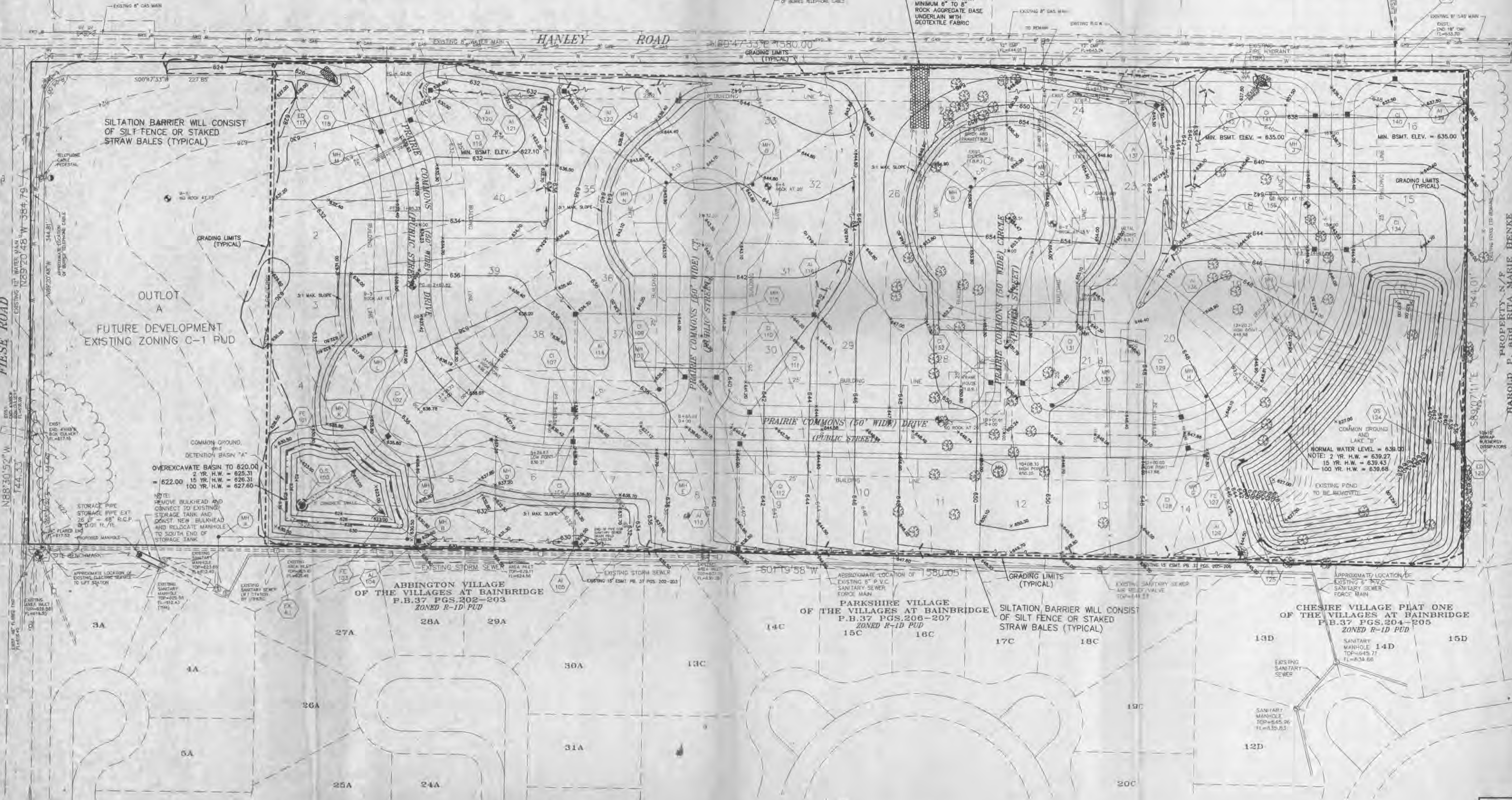
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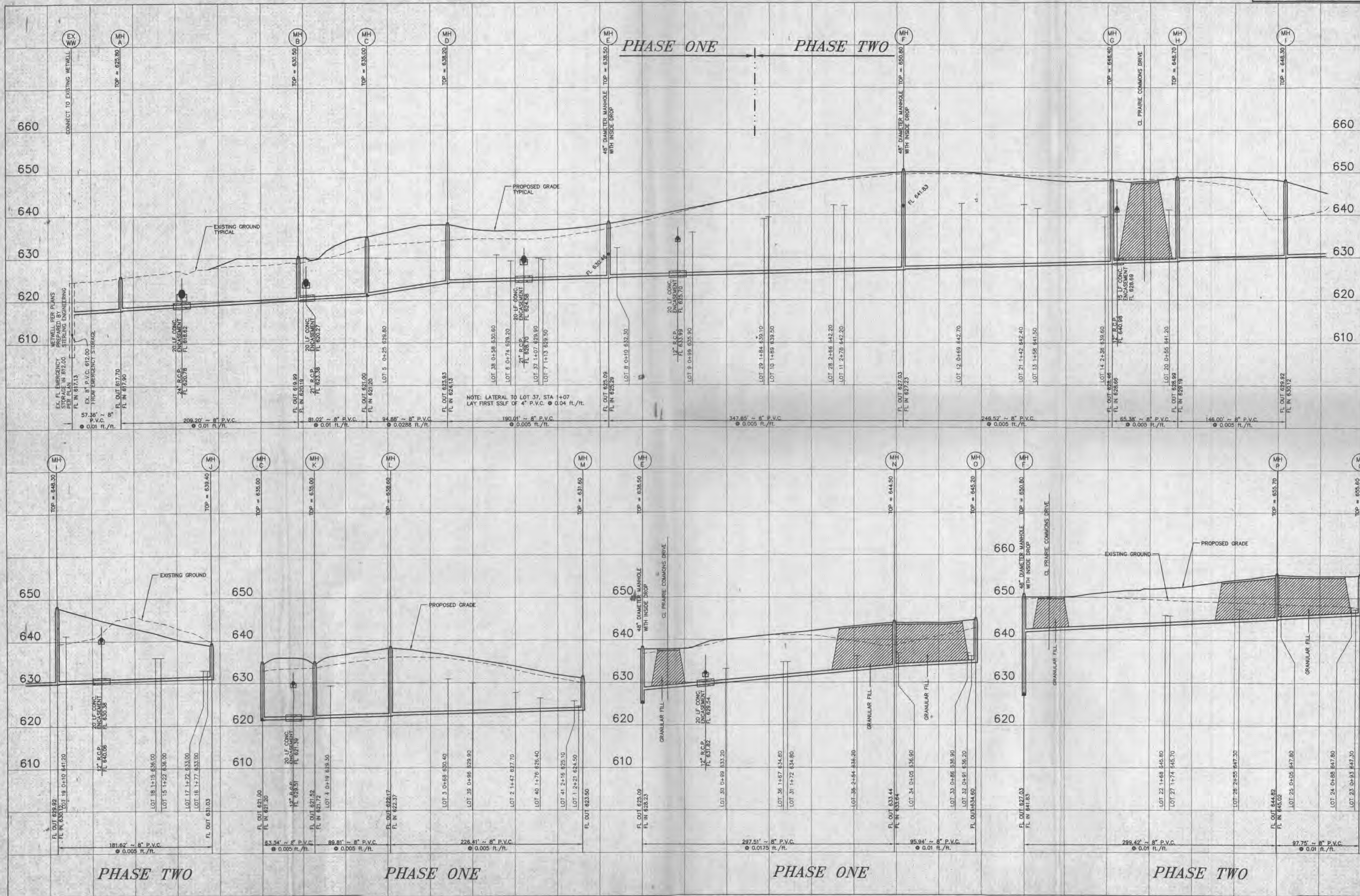
PROPERTY N/F
 LEANDER AND LORETTA
 VEHIGE
 BOOK 751/PAGE 100

*** CAUTION / HAZARD ***
 EXISTING UNDERGROUND UTILITIES
 CALL BEFORE EXCAVATING

EXISTING VERIZON TELEPHONE CABLE,
 6" GAS MAIN, AND 8" WATER MAIN
 IN THIS AREA. CONTACT THE CITY
 PRIOR TO STORM SEWER CONSTRUCTION
 IN THIS AREA.
 TELEPHONE: 1-800-DIGIT-8



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SCALE:
 VERTICAL : 1" = 10'
 HORIZONTAL : 1" = 50'