

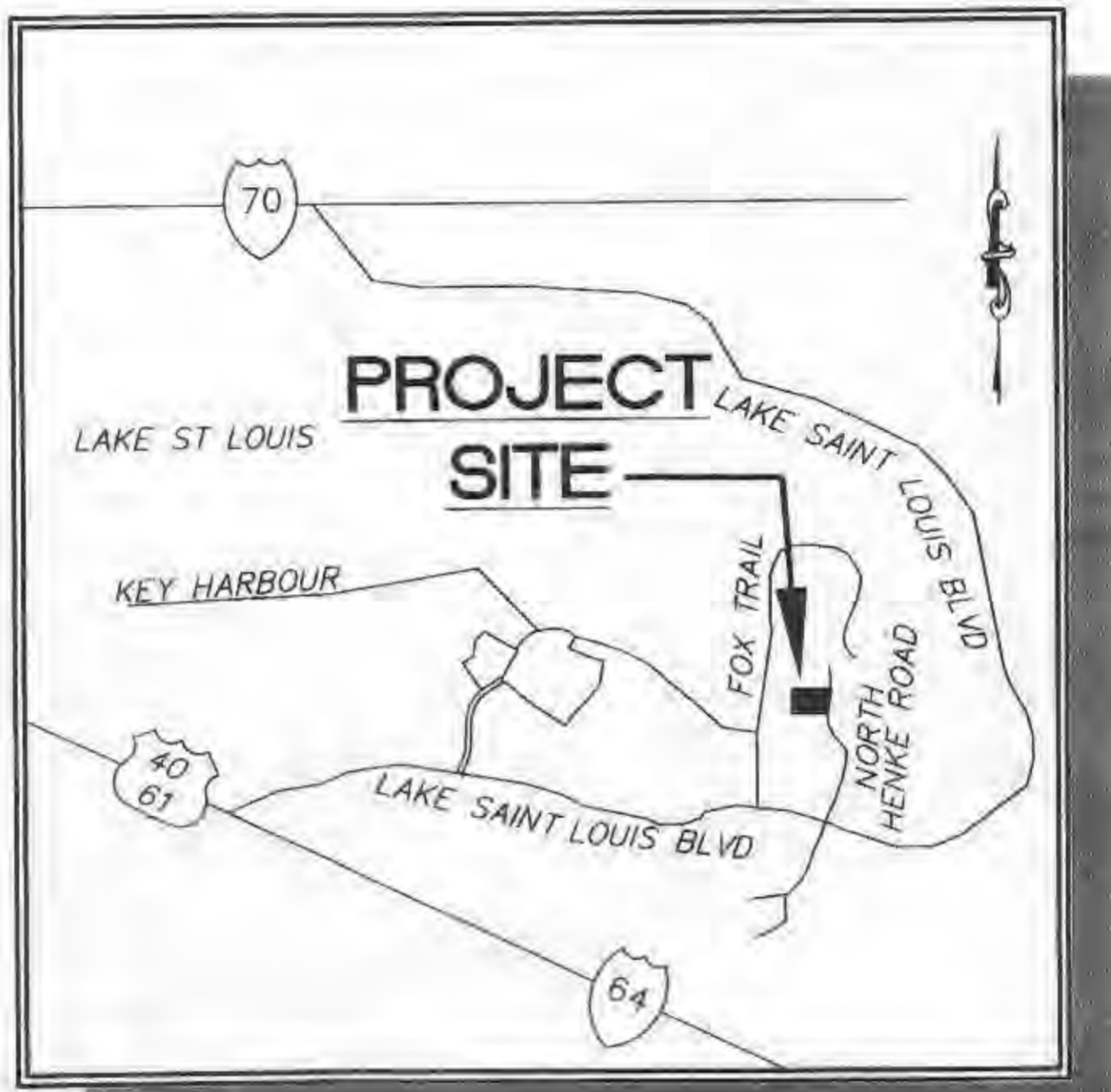
# RIDGESTONE TERRACE

PART OF LOT 12 OF "THE DIVISION OF BATES LANDS"  
IN FRACTIONAL SECTION 35, TOWNSHIP 47 NORTH  
RANGE 2 EAST, ST. CHARLES COUNTY (CITY OF  
LAKE SAINT LOUIS), MISSOURI

## IMPROVEMENT PLANS 6 LOTS

### CITY OF LAKE SAINT LOUIS GENERAL NOTES

- Gas, water and other underground utilities shall not be installed in the same trench as sanitary and storm sewers, including house laterals.
- Underground utilities from other projects from available information and, therefore, their locations could be considered approximate only. The verification of the location of all underground utilities, where shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.
- Utility Clearance (PUC) shall conform to the requirements of ASIM D-3034 Standard Specifications for the PSM Highway Clearance (PUC) above Pipe and Poles, SDG 32.
- Storm sewers 18" in diameter or smaller shall be ASIM C-14.
- Storm sewers 21" in diameter or larger shall be ASIM C-20, Class 1.
- All storm sewer pipe under pavement, regardless of size, shall be reinforced concrete pipe (ASIM C-26, Class B) unless noted otherwise in the plans.
- Unsanitary catch pits shall conform to the standard specifications for unsewered catch pits M-34, ASIM C-0. See plans for details.
- The "Specification of Subsurface Conditions and Foundation Recommendations" refer to soils report is provided by Soil Consultants, Inc., dated December, 1998.
- All flood places under buildings, proposed sanitary and storm sewer lines, utility easel areas, including trench easels, and all other flood places within State, County, or City roads (Highways), shall be completed to at least 20% of the maximum dry density as determined by the "Manual AASHTO T-100 Compaction Test" (ASIM D-1007) unless otherwise specified by the local governing authority specifications. All tests will be verified by a soils engineer.
- All storm and sanitary trench backfills shall be with mixed 1" sieve rock compacted in place with a roller.
- Accessories shall be provided for storm sewers, sanitary sewers, and all utilities on the project site. See report 1001 for location and size of accessories. This does not apply to house laterals.
- No work shall be checked without the permission of the City Engineer and Inspector. The working limits shall be established and approved by the City Engineer prior to removal.
- All grades shall be within 0.2 feet (more or less) of those shown on the grading plan.
- Minimum slope shall be greater than 0.1 and shall be either unadvised or advised and marked as established as determined by the City Engineer.
- Level markers will consist of three (3) standard identification, Manual on Uniform Traffic Control Devices, and of roadway markers mounted on two (2) point "D" channel sign post. Each marker shall consist of an aluminum (AL) and diamond retroreflective red panel. The surface of each panel shall be mounted a minimum of two (2) feet above the elevation of the pavement surface.
- All manholes and curb inlet boxes shall without exception be furnished by the Engineer and will be the responsibility of the sewer contractor. At the time of construction stake-out of the sewer lines, all curb and grate inlets will be low stakes. If normal face stakes fall in line with sewer construction, the Engineer will set these stakes as a double stake. It shall be the responsibility of the sewer contractor to preserve all face stakes from destruction.
- All manhole street curb inlets to have front of inlet 3 feet behind curb.
- The minimum vertical distance from the low point of the pavement to the bottom of a sanitary sewer at the corresponding house connection shall not be less than the diameter of the sanitary sewer plus a vertical distance not less than two and one-half feet (2'-1/2').
- Water lines, valves, street, meter and etc. shall meet all specifications and installation requirements of the local governing authority.
- All cast iron pipe for water mains shall conform to A.W.W.A. specification C-106 and/or C-108. The cast iron fittings shall conform to A.W.W.A. specification C-110. All rubber gasket joints for water cast iron pressure pipe and fittings shall conform to A.W.W.A. specification C-111.
- All water hydrants and valves shall be cast iron and installed in accordance with plans and details.
- All sanitary and storm sewers shall meet all specifications and installation requirements of the local governing authority.
- All PVC water pipe shall have a minimum pressure rating of 100-200 or 300-21.
- All PVC sanitary sewer pipe shall be DR-35 or equal with crushed stone bedding uniformly graded between 1" and 1/4" size. This bedding shall extend from 6" below the pipe to 12" above the top of the pipe.
- All grading on Missouri State Highway and City of Lake Saint Louis Right-of-way shall be staked and marked and all disturbed Right-of-way markers shall be reset at the completion of grading.
- All streets must meet the specifications and installation requirements of the City of Lake Saint Louis.
- All sanitary manholes top shall be set 0.2' higher than the proposed ground except in pavement areas.
- All sanitary manholes shall have a 3/4" thick coat of roof tar pitch waterproofing.
- All sanitary service lines shall have a 6" diameter for multi-family and a 4" diameter for single family developments.
- Manhole frame and cover shall be 5/8" thick and 1500# or heavier R-1736 or heavier (15) or approved equal.
- A slope of 0.2 feet is required through each sanitary manhole.
- The City of Lake Saint Louis shall be notified at least 48 hours prior to construction of sanitary sewers for coordination and inspection.
- Block shall not be used for manholes.
- Under contractor shall maintain 24" vertical separation between all storm sewers and the storage pipe manhole. Contractor shall be responsible for verifying separative pipe to storm sewer installation.
- Waterproofing: Waterproofing will be required on the exterior of all manholes. The blanket shall consist of two coats of asphalt, coal-tar pitch, or a coating meeting American Society for Testing and Materials (ASTM) D-41. Asphalt shall conform to the requirements of ASTM D-549. Coal-tar pitch shall conform to the requirements of ASTM D-493. Coating shall be 3/16" thick.
- NOTE: The grading and elevations shown on the grading plans are for construction purposes only. Finished grades and slopes will vary from those shown on the plans depending upon the location, size and type of utility cut on the lot. However, care should be taken to insure that finished grading conforms to drainage area maps.
- All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (133%) - Steeper grades may be approved by the City Engineer, if the excavation is through rock or the excavation of the fill is adequately protected (a designed mat wall or tie wall may be required). Retaining walls that exceed a height of four (4) feet shall require the construction of safety guards as identified in the appropriate section(s) of the adopted BOCA Codes and must be approved by the City Building Department. Permanent safety guards will be constructed at accordance with the appropriate section(s) of the adopted BOCA Codes.
- Setback and erosion control plans for sites shall provide for sediment or siltation traps, silt traps or filters, silted water traps, or other approved measures to remove sediment from run-off water. The design to be approved by the City Engineer. Temporary erosion control measures (structures) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site. (Refer to Appendix A.)
- Where natural vegetation is removed during grading operations, the re-vegetation shall be established in such a density as to prevent erosion. Permanent type grasses shall be established within 30 days or less or during the next seeding period after grading has been completed. (Refer to Appendix A.)
- When grading operations are completed or suspended for more than 30 days permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary erosion control shall be provided according to the City Engineer's recommendation. (Refer to Appendix A.)
- All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (3:1) shall be mulched and topped at the rate of 100 pounds per 1,000 square feet when seeded.
- Provisions shall be made to accommodate the increased runoff caused by changed soil and surface conditions during and after grading. Unvegetated open channels shall be designed so that gradients result in velocities of 2 fps (feet per second) or less. Open channels with velocities more than 4 fps and less than 5 fps shall be established in permanent vegetation by use of commercial erosion control blankets or mats with rock rip-rap or concrete or other suitable materials as approved by the City Engineer. Detention basins, diversions, or other appropriate structures shall be constructed to prevent velocities above 3 fps. (Refer to Appendixes B, C, D, E, and F.)
- The adjoining ground to development sites (lots) shall be provided with protection from accelerated and increased surface water, silt from erosion, and any other consequences of erosion. Run-off water from developed areas (parking lots, paved areas and buildings) above the area to be developed shall be directed to diversions, detention basins, concrete gutters and/or underground outlet systems. Sufficiently anchored storm water may be temporarily substituted with the approval of the City Engineer. (Refer to Appendixes B, C, D, E and F.)
- Development along natural watercourses shall have residential lot lines, commercial or industrial improvements, parking areas or driveway set back a minimum of 25 feet from the top of the existing stream bank. The watercourse shall be maintained and made the responsibility of the subdivision trustees or, in the case of a site plan by the property owner. Permanent vegetation should be left intact. Variations will include designed streambank erosion control measures and shall be approved by the City Engineer. FEMA and U.S. Army Corps of Engineers guidelines shall be followed where applicable regarding site development areas designated as flood plains and wetlands.
- Front and side yards shall be sodded. Rear yards can be sodded or sodded. Cash arrows can be established during winter months to allow occupancies during unfavorable ground conditions.
- All erosion control devices shall be constructed and in place prior to grading. A staging area shall be provided next to the grading area. This area will be used for storage and project staging. The staging area shall have all erosion control devices in place prior to construction.
- All erosion control must be installed as shown on Sediment / erosion Control Detail Sheet.
- Topsoil shall be stored and used for the finishing of lot grading.
- Site is served by or located in the following:  
a. Water - St. Charles County Water District No. 2  
b. Sanitary Sewers - St. Charles County Water District No. 2  
c. Gas - St. Charles Gas Company  
d. Telephone - CENTURYTEL  
e. Fire - Lake St. Louis Fire Protection District  
f. Electric - Culture River Electric  
g. School - Wentzville "R-4" School District  
h. Cable - Charter Communications



### LEGEND

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**BENCH MARK**  
BENCH MARK: "1" IN MUELLER ON FIRE HYDRANT AT THE PROPERTY LINE OF BAY OAKS PLAT 2, BETWEEN LOTS 41 AND 42. ELEV. = 500.19  
BENCH MARK: CUT "1" AT NORTHEAST CORNER OF CONCRETE PATIO AT REAR OF HOUSE ON LOT 55. ELEV. = 548.97

### DEVELOPMENT NOTES:

- Area of Development: 2.0 acres
- Present Zoning: "SR" Single Family Residential
- Proposed Use: "DR" (Dense Residential) Zoning District, Single Family Detached Homes
- Setback and Yard Requirements:  
a. Front - None (Minimum 20 foot front pavement for parking)  
b. Rear - None  
c. Side - None
- Height Requirements:  
3 stories or 40 feet, except additional height may be allowed by Special Use Permit
- Maximum Number of Living Units:  
8 units per acre to maximum per ordinance  
2.0 acres x 8 units / acre = 12 units  
Maximum Number Living Units Allowed = 12 Units
- Number of Living Units Provided = 6 Units
- Site is served by or located in the following:  
a. Water - St. Charles County Water District No. 2  
b. Sanitary Sewer - St. Charles County Water District No. 2  
c. Gas - St. Charles Gas Company  
d. Telephone - CenturyTel (Verizon)  
e. Fire - Lake Saint Louis Fire Protection District  
f. Electric - Culture River Electric Company  
g. School - Wentzville "R-4" School District  
h. Cable - Charter Communications

### DRAWING INDEX

Sheet	Description
1	COVER SHEET
2	SITE PLANS
3	GRADING PLANS
4	STREET PROFILES / DETAILS
5	SANITARY SEWER PROFILES / STORM SEWER PROFILES
6	DRAINAGE AREA MAPS
7	WATER LAY-OUT
8-11	CONSTRUCTION DETAILS

Prepared For:  
GREATER MISSOURI BUILDERS, INC.  
1511 WALL STREET  
ST. CHARLES, MO. 63303  
PHONE: (636) 946-9992

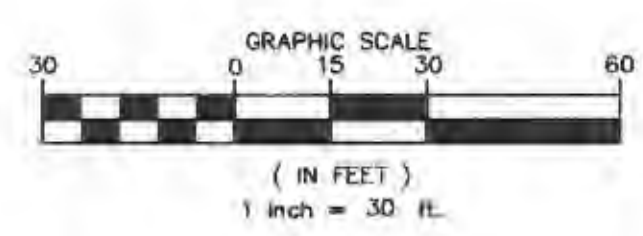
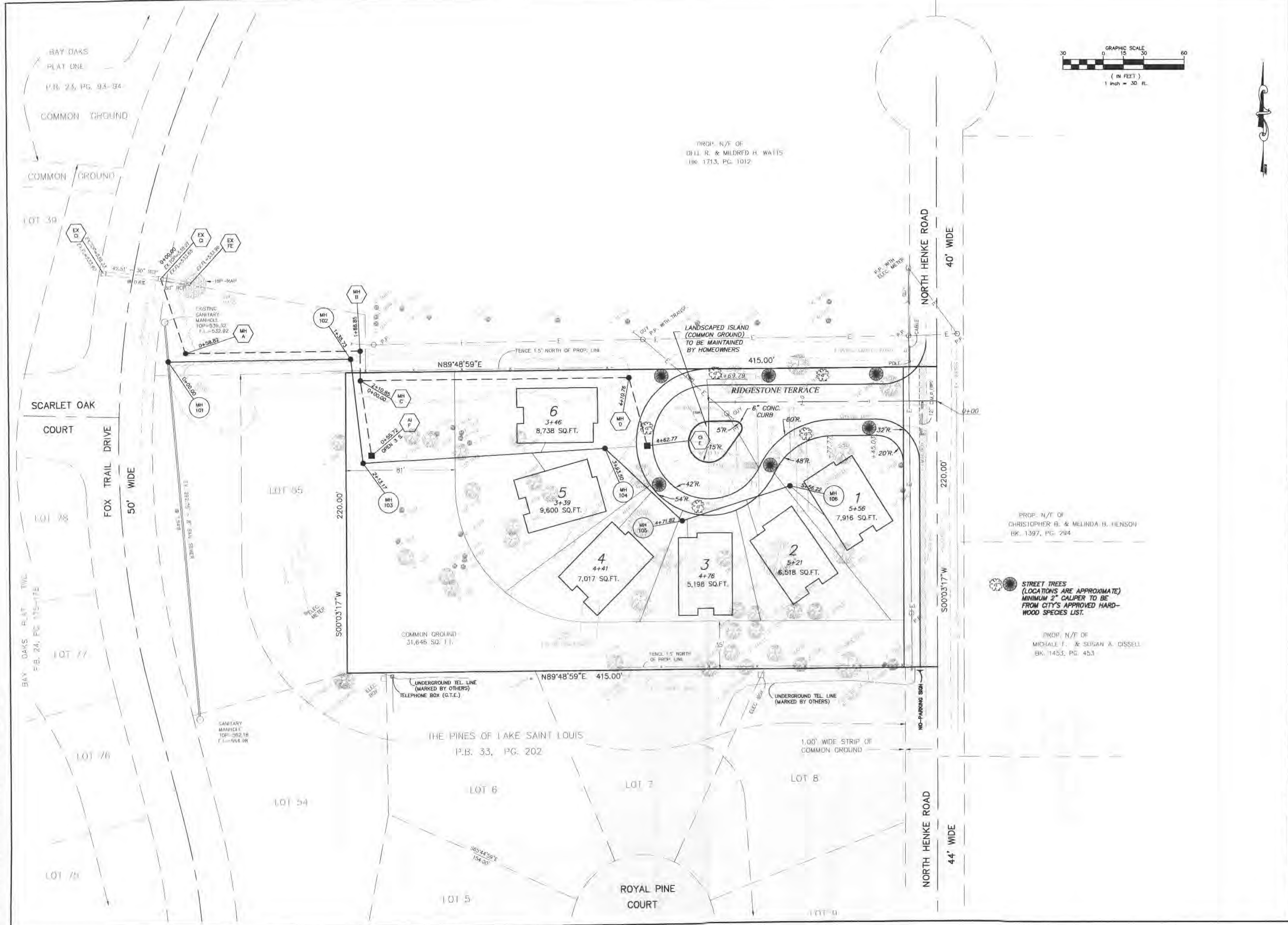
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CIVIL ENGINEERS  
PLANNERS  
LAND SURVEYORS  
333 Mid Rivers Mall Drive  
St. Peters, MO 63276  
Phone (636) 397-1211  
Fax (636) 397-1104

**RIDGESTONE TERRACE**  
IMPROVEMENT PLANS  
COVER SHEET  
1511 WALL STREET  
ST. CHARLES, MO. 63303  
Phone: (636) 946-9992  
Prepared For:  
GREATER MISSOURI BUILDERS, INC.

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RIDGESTONE TERRACE COVER SHEET			
SHEET 1 OF 11			
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**RIDGESTONE TERRACE**  
 IMPROVEMENT PLANS  
 SITE PLAN  
 Prepared For:  
 GREATER MISSOURI BUILDERS, INC.  
 1351 WALL STREET  
 St. Peters, MO 63376  
 Phone: (636) 944-9922

REVISIONS NO.	DATE	DESCRIPTION PER CLIENT
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 SITE PLAN  
 SHEET 2 OF 11  
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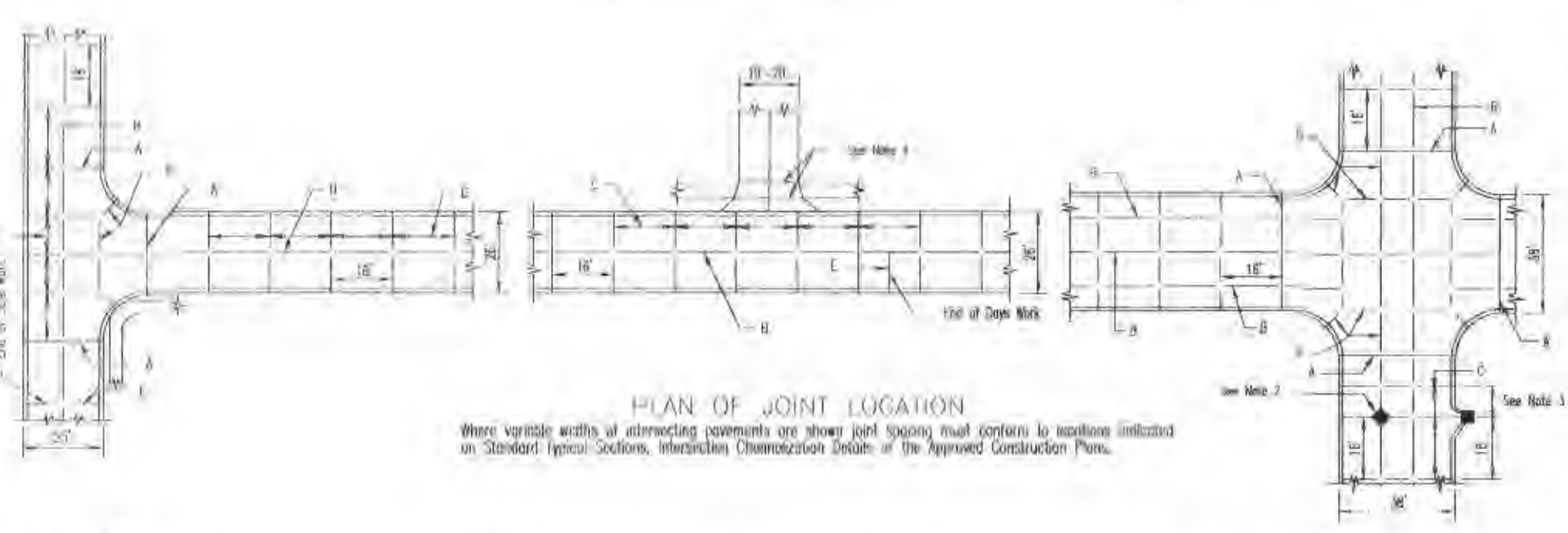
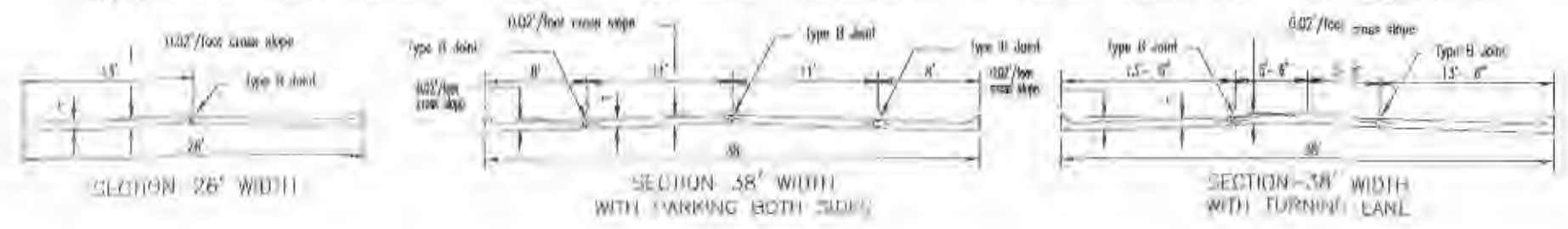
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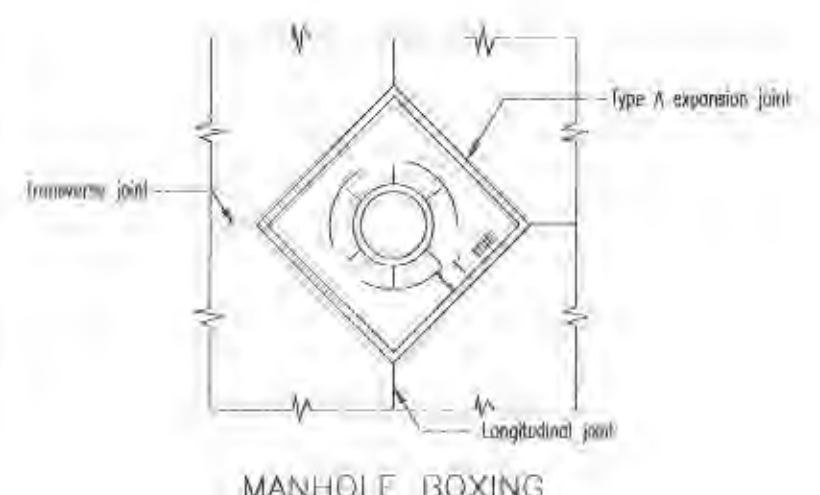


INTEGRAL ROLLED CURB AND CONCRETE PAVEMENT TYPICAL SECTIONS AND DETAILS



PLAN OF JOINT LOCATION

STREET	JOINT TYPE	JOINT AND BAR REQUIREMENTS						
RESIDENTIAL 3 LANE 36' wide pavement 7\"/> <tr> <td>Longitudinal</td> <td>TYPE B Within a poured section and at the edge between two poured sections TYPE B 5/8\"/&gt; </td></tr> <tr> <td rowspan="2">RESIDENTIAL 2 LANE 26' wide pavement 6\"/&gt; <tr> <td>Longitudinal</td> <td>TYPE B Full Width Construction: TYPE B 1/2\"/&gt; </td></tr> <tr> <td></td> <td>Expansion</td> <td>TYPE A no steel bars</td> </tr> </td></tr>	Longitudinal	TYPE B Within a poured section and at the edge between two poured sections TYPE B 5/8\"/>	RESIDENTIAL 2 LANE 26' wide pavement 6\"/> <tr> <td>Longitudinal</td> <td>TYPE B Full Width Construction: TYPE B 1/2\"/&gt; </td></tr> <tr> <td></td> <td>Expansion</td> <td>TYPE A no steel bars</td> </tr>	Longitudinal	TYPE B Full Width Construction: TYPE B 1/2\"/>		Expansion	TYPE A no steel bars
	Longitudinal	TYPE B Within a poured section and at the edge between two poured sections TYPE B 5/8\"/>						
RESIDENTIAL 2 LANE 26' wide pavement 6\"/> <tr> <td>Longitudinal</td> <td>TYPE B Full Width Construction: TYPE B 1/2\"/&gt; </td></tr> <tr> <td></td> <td>Expansion</td> <td>TYPE A no steel bars</td> </tr>	Longitudinal	TYPE B Full Width Construction: TYPE B 1/2\"/>		Expansion	TYPE A no steel bars			
	Longitudinal	TYPE B Full Width Construction: TYPE B 1/2\"/>						
	Expansion	TYPE A no steel bars						



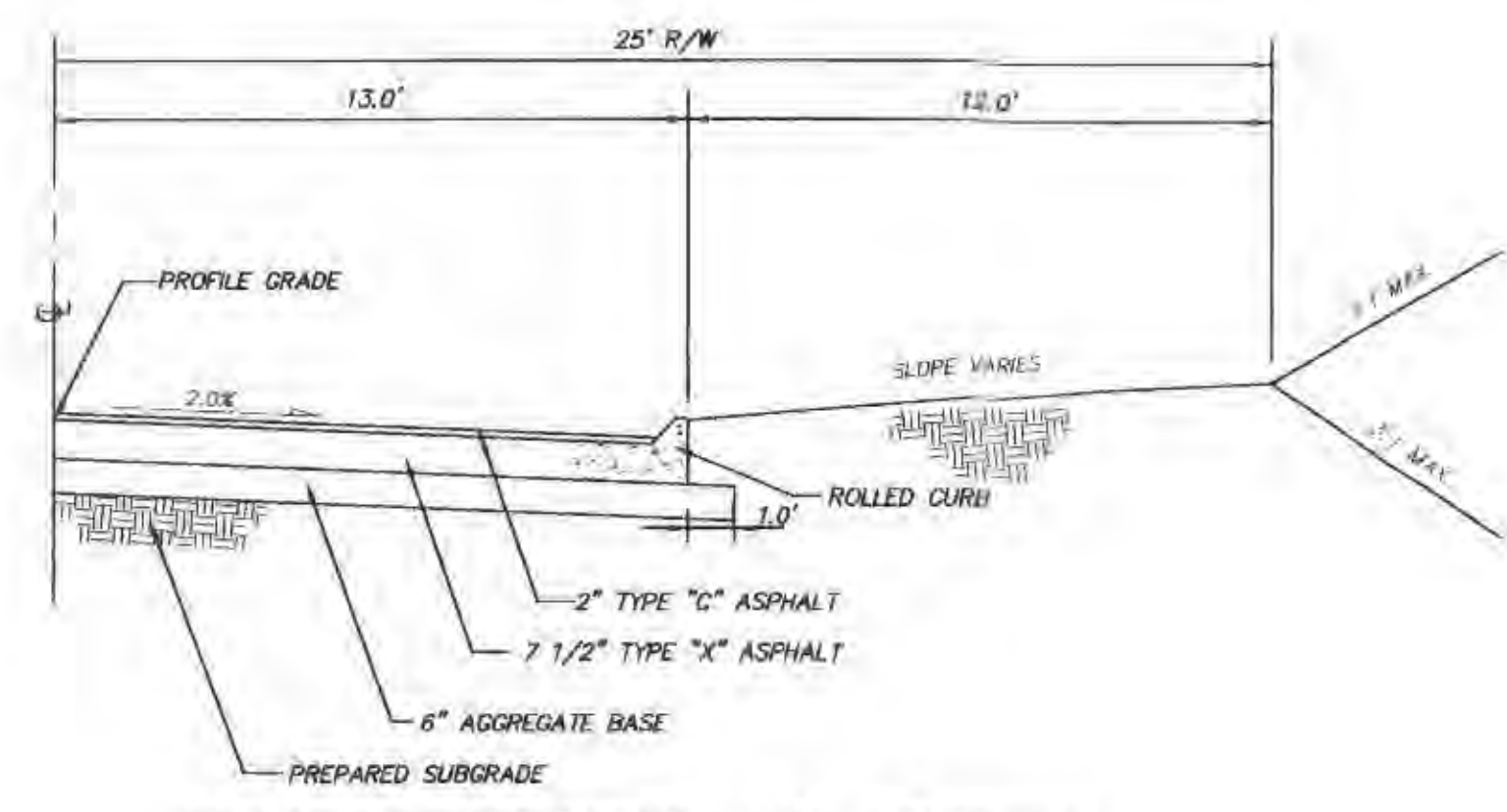
MANHOLE BOXING

- GENERAL NOTES**
- Use not scale drawings. Follow dimensions.
  - All street inlets shall be separated from the pavement and curb by expansion joint material extending completely through curb and slab. Mortar casting within the pavement joints shall be boxed up.
  - When a joint falls within 6\"/>

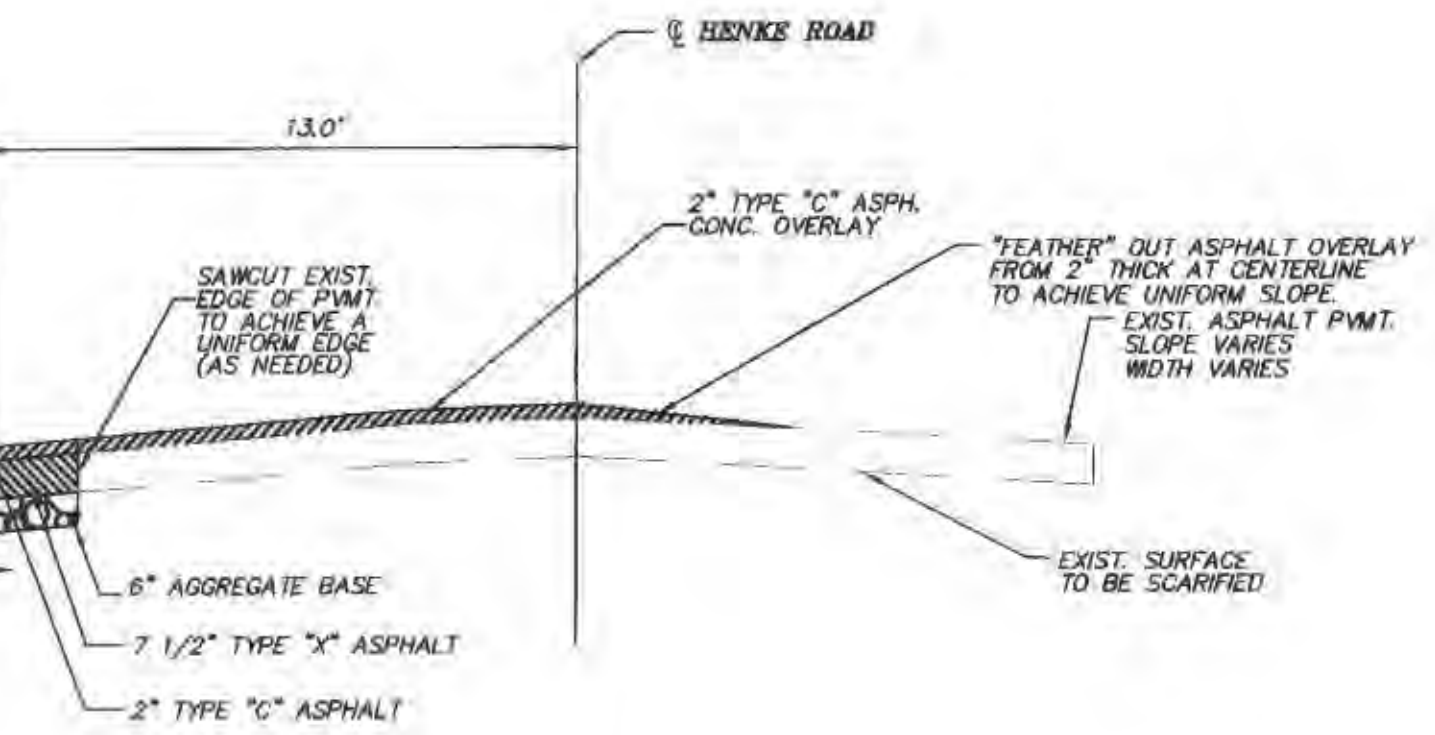
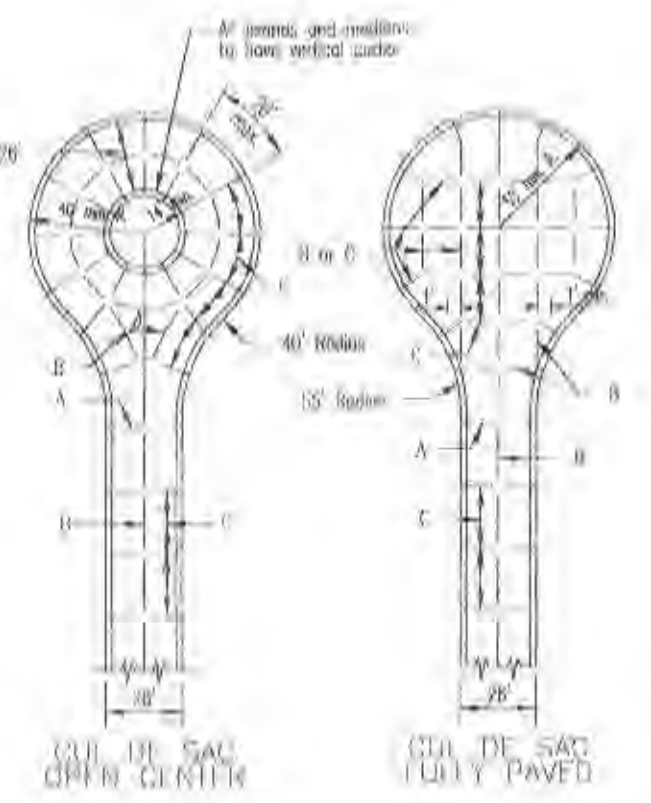
**NOTE**  
Joint bar material shall meet ASTM designations as follows:  
 Expansion type: ASTM D-3465  
 Non-reinforcing deformed bilaminar type (bar): ASTM D-1511-90  
 Non-reinforcing deformed non-bilaminar type (bar): ASTM D-1511-90  
 Joint sealant material shall meet ASTM and AASHTO designations as follows:  
 ASTM D-3465  
 ASTM D-1180-94  
 or other material listed

INTEGRAL ROLLED CURB AND CONCRETE PAVEMENT TYPICAL SECTIONS AND DETAILS

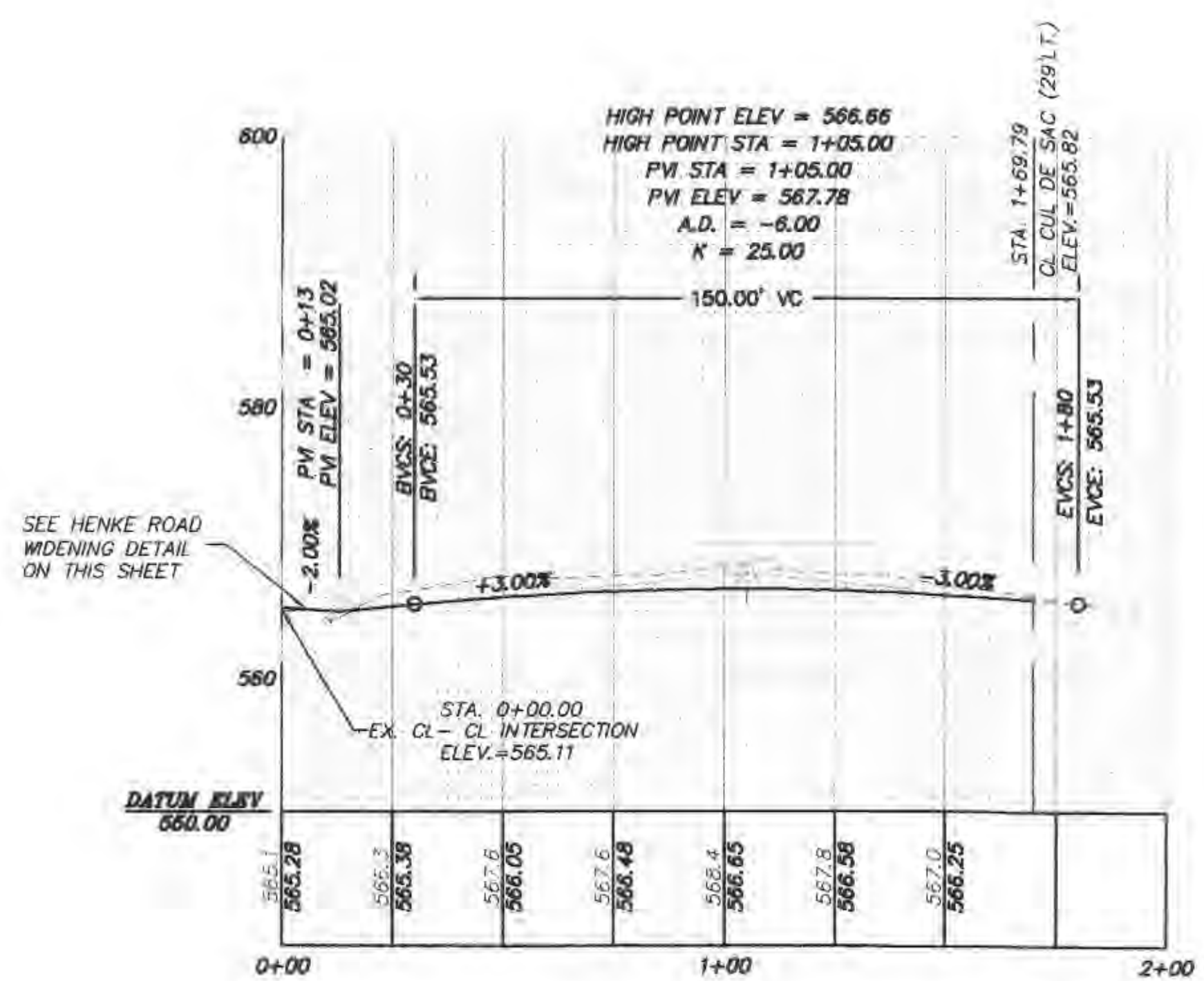
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TYPICAL PAVEMENT 1/2 SECTION



HENKE ROAD WIDENING (N.T.S.)



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 333 Mid Rivers Mall Drive  
 St. Peters, MO 63376  
 Phone (636) 397-1211  
 Fax (636) 397-1104

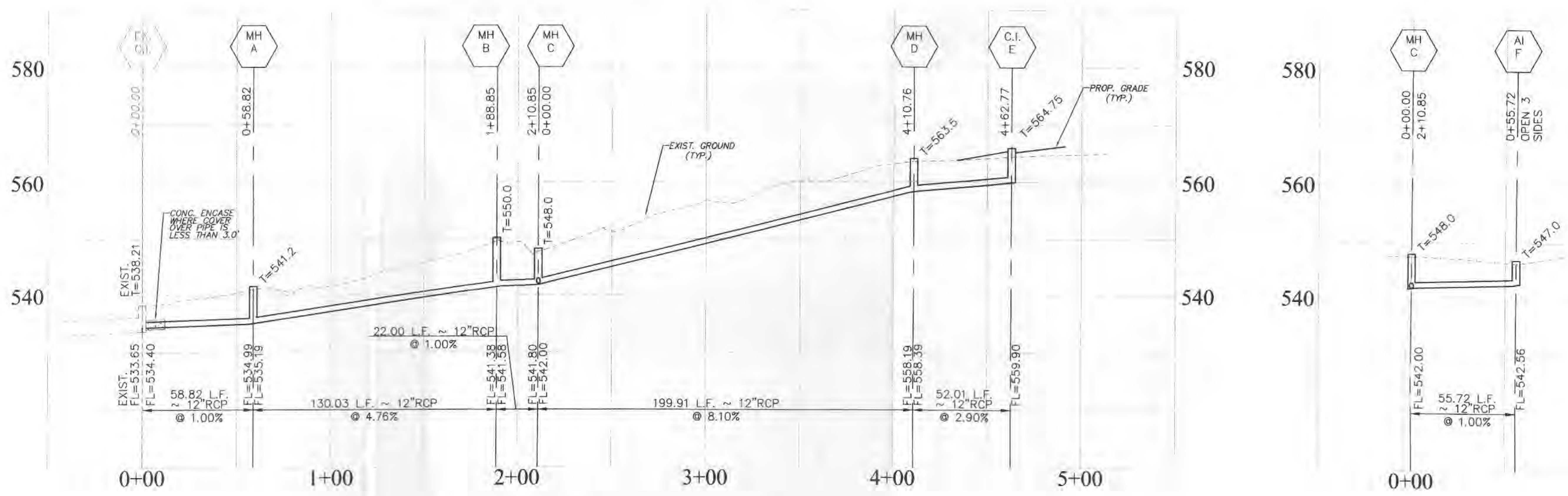
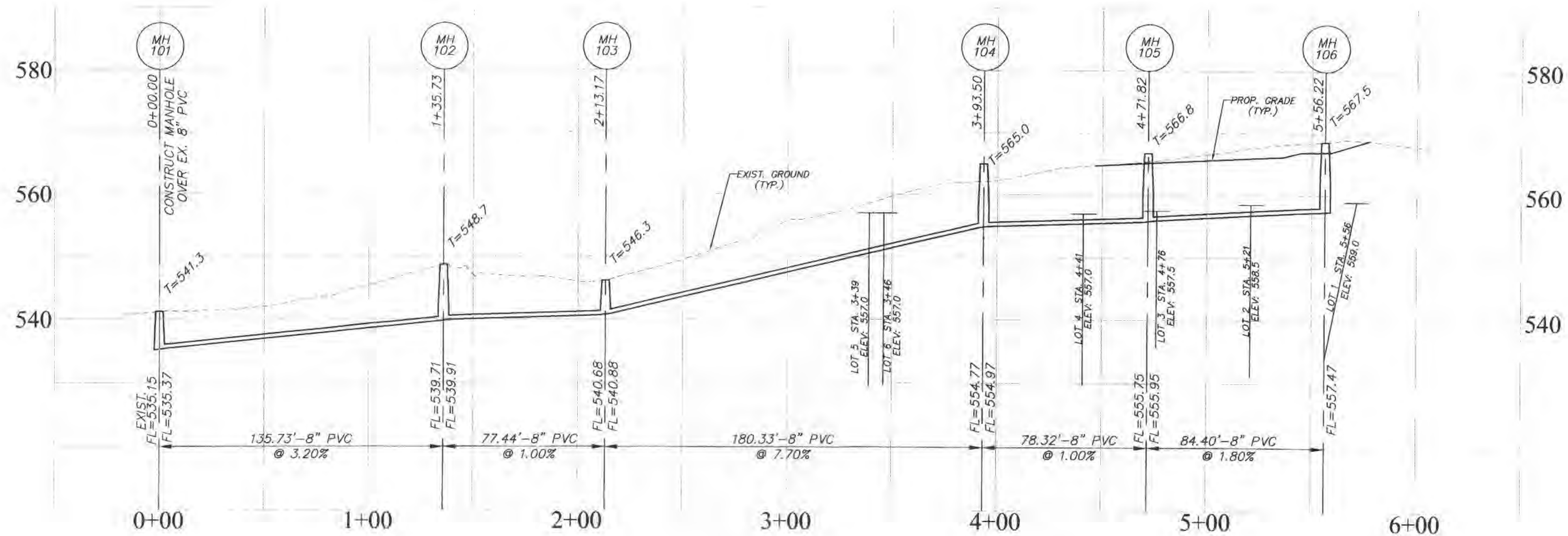
**RIDGESTONE TERRACE**  
 IMPROVEMENT PLANS  
 STREET PROFILE  
 Prepared For:  
 GREATER MISSOURI BUILDERS, INC.  
 155 WALL STREET  
 St. Charles, MO 63301  
 Phone: (636) 949-9992

REVISIONS NO.	DATE	PER CLIENT
1	12/11/02	

**ENGINEERS AUTHENTICATION**  
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.  
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 St. Peters, MO 63376  
 Phone (636) 397-1211  
 Fax (636) 397-1104

**RIDGESTONE TERRACE**  
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 SEWER PROFILES  
 Prepared For:  
 GREATER MISSOURI BUILDERS, INC.  
 1551 WALL STREET  
 St. Charles, MO 63033  
 Phone: (636) 948-9992

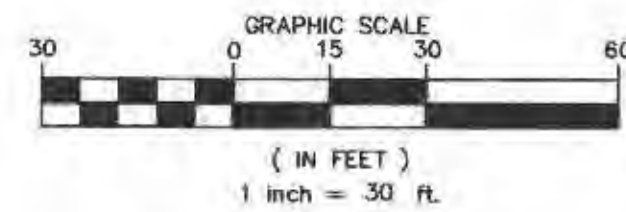
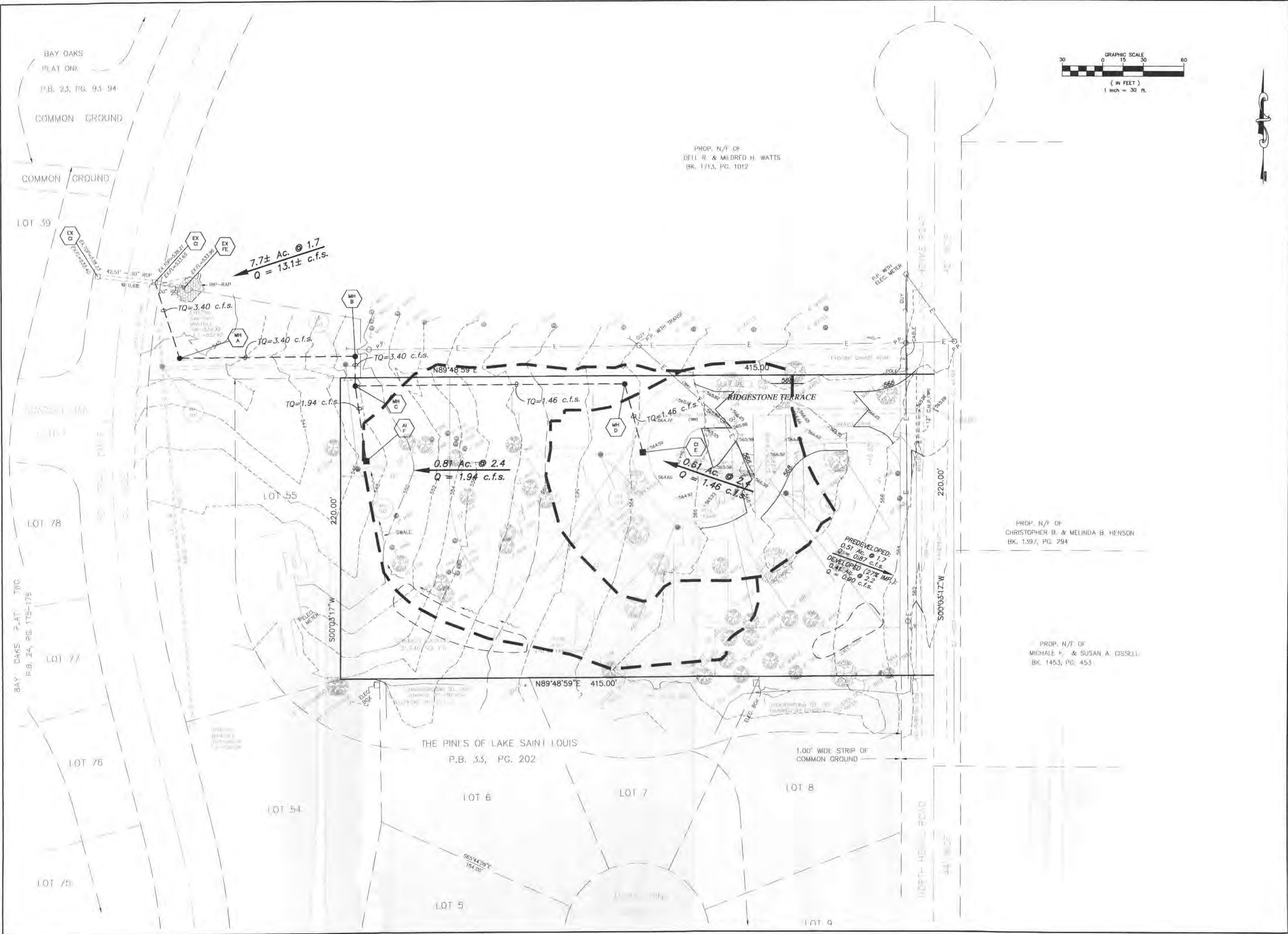
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TASK #	3	FIELD BOOK	2002B

SCALE: HORZ. 1" = 30'  
 VERT. 1" = 10'

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 SEWER PROFILES  
 SHEET 5 OF 11  
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 Phone (636) 397-1211  
 Fax (636) 397-1104

**RIDGESTONE TERRACE**  
 IMPROVEMENT PLANS  
 DRAINAGE AREA MAP

Prepared For:  
 GREATER MISSOURI BUILDERS, INC.

1561 WALL STREET  
 St. Charles, MO 63303  
 Phone: (636) 949-9992

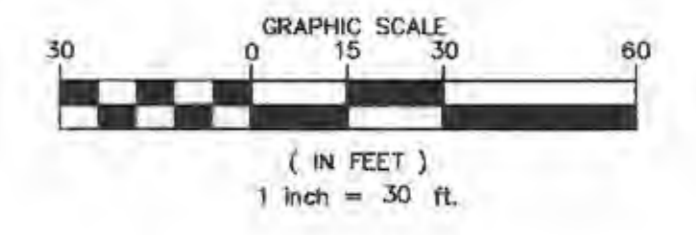
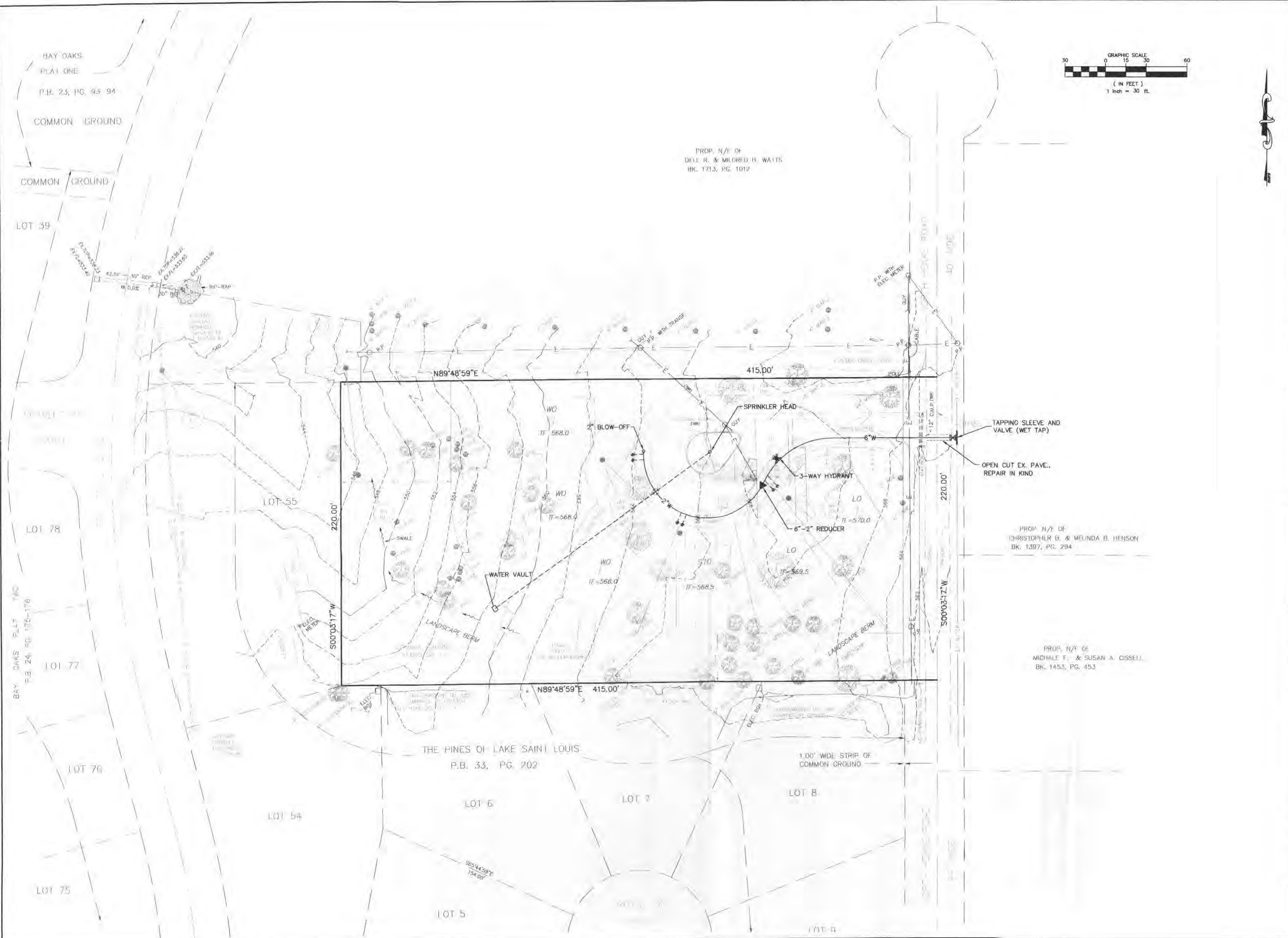
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 DRAINAGE AREA MAP  
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 LAND SURVEYORS

333 Mid Rivers Mall Drive  
 St. Peters, MO 63276  
 Phone (636) 397-1211  
 Fax (636) 387-1104

**RIDGESTONE TERRACE**  
 IMPROVEMENT PLANS  
 WATER LAYOUT

Prepared For:  
 GREATER MISSOURI BUILDERS, INC.

1551 WALL STREET  
 St. Charles, MO 63303  
 Phone: (636) 949-9992

REVISIONS NO.	DESCRIPTION	DATE
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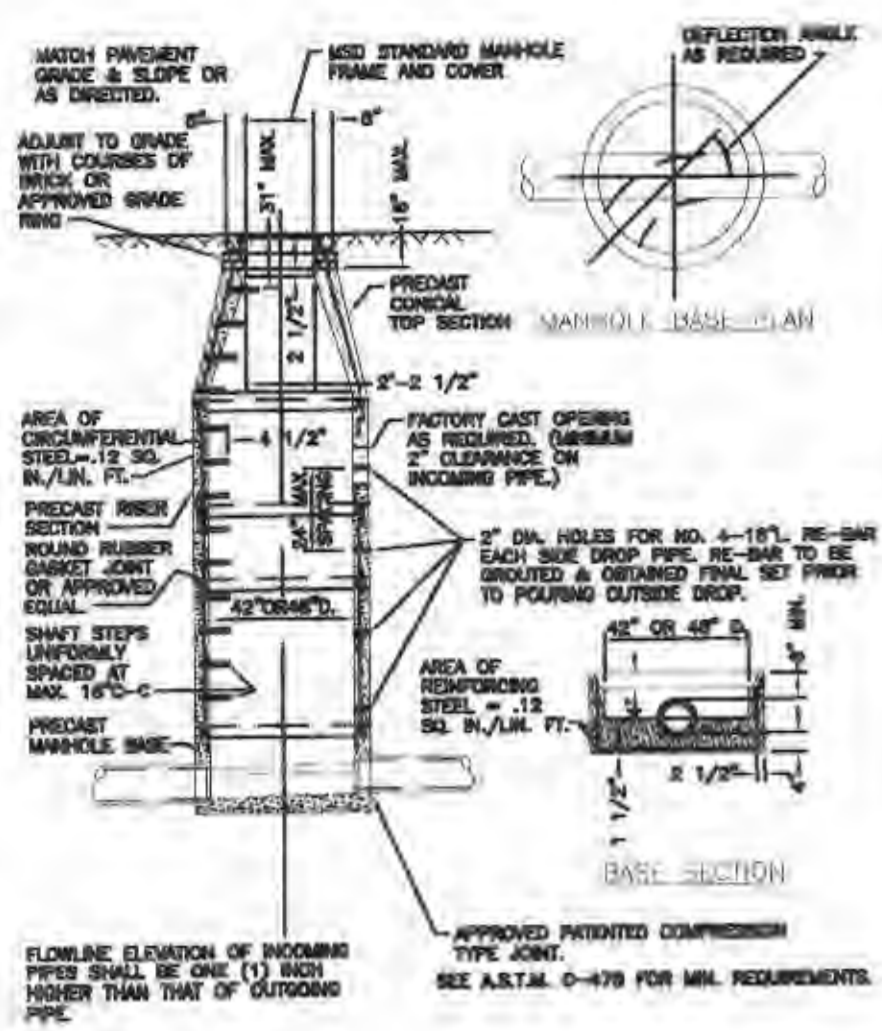
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 WATER LAYOUT  
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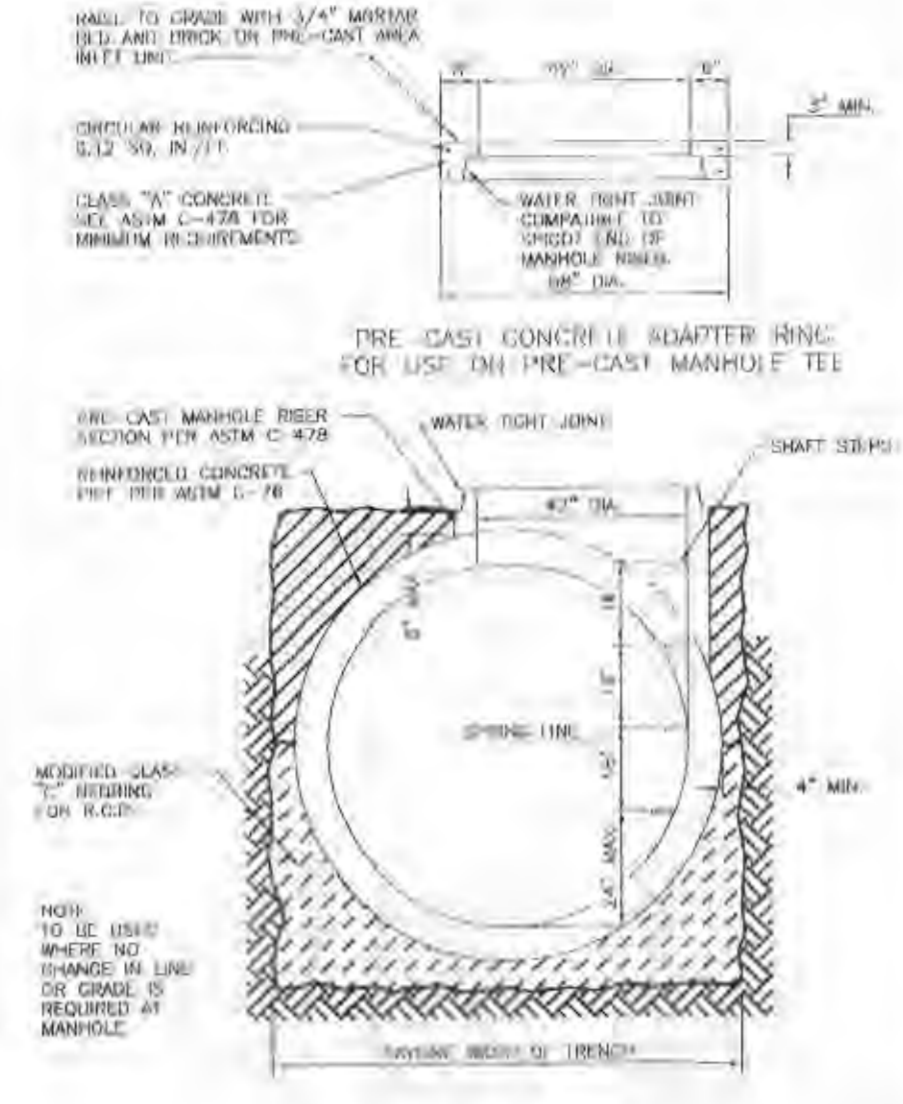




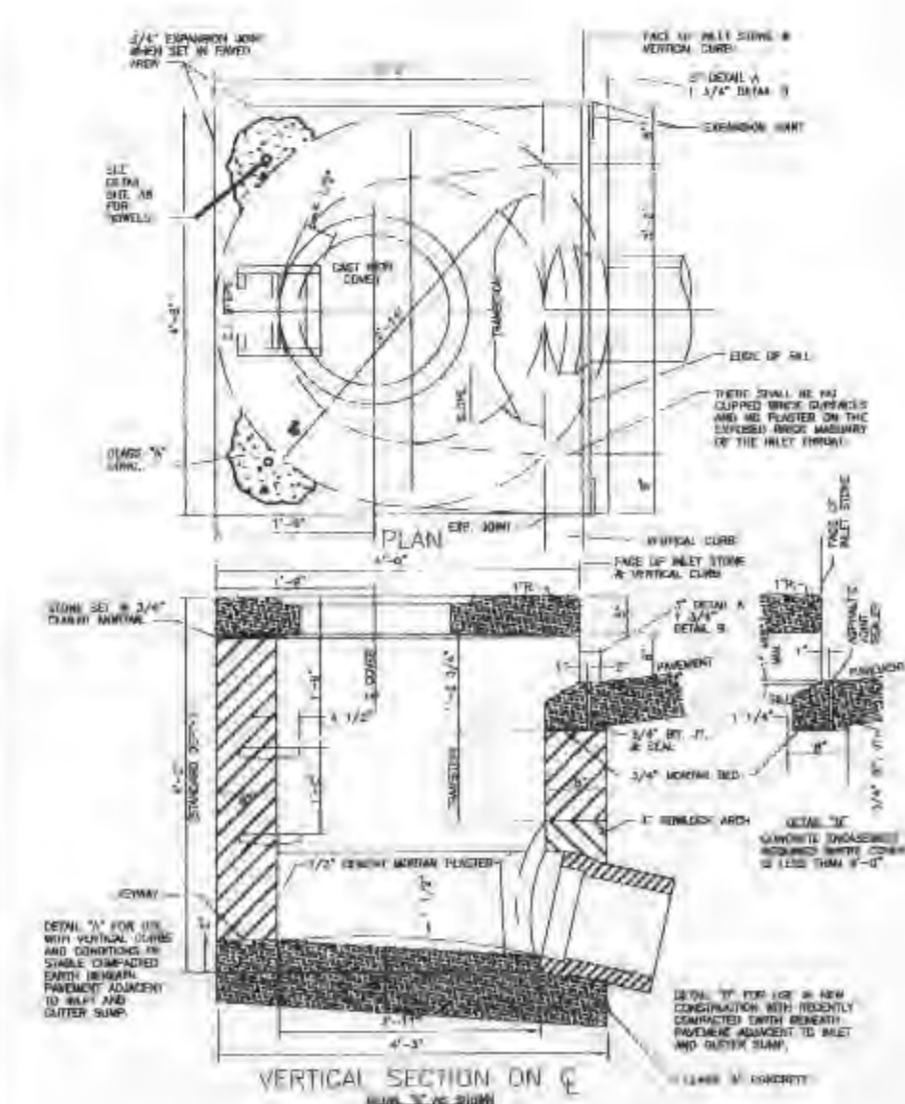




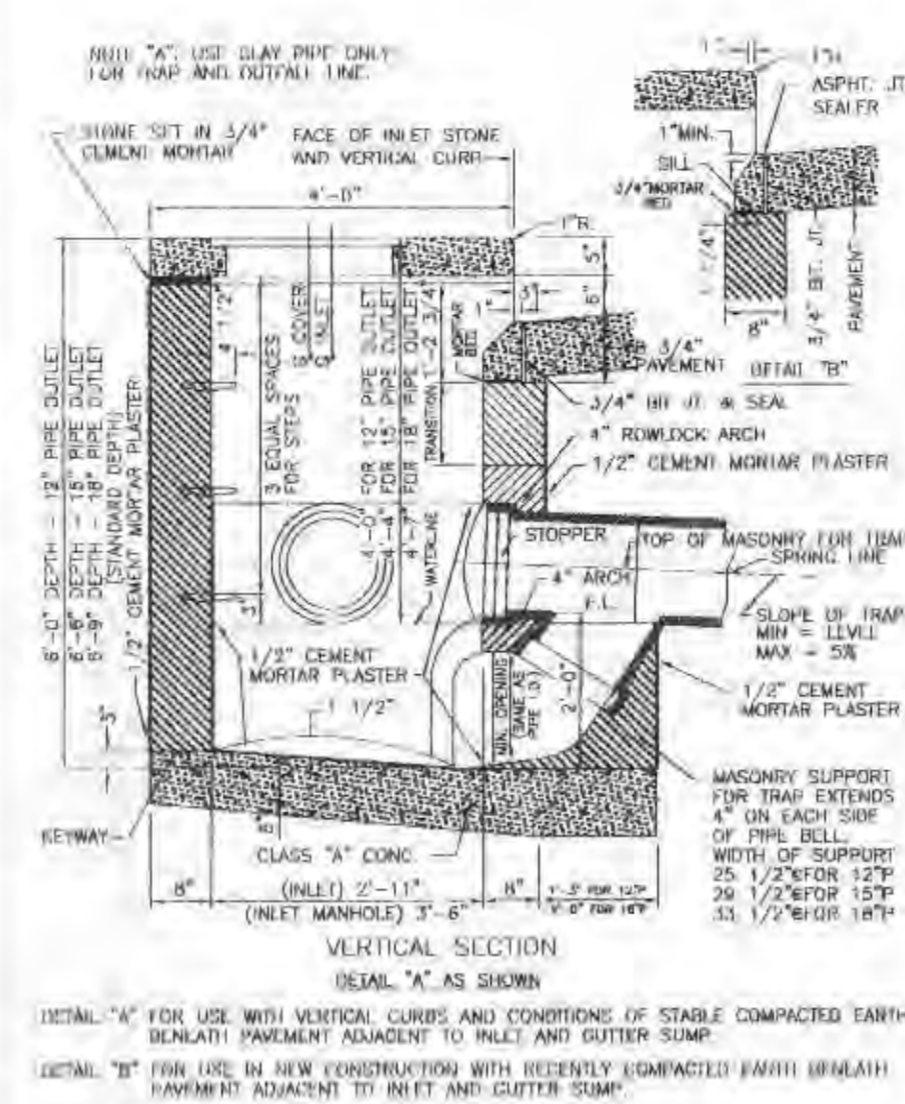
PRE-CAST CONCRETE MANHOLE FOR SEWERS 10" THROUGH 12"



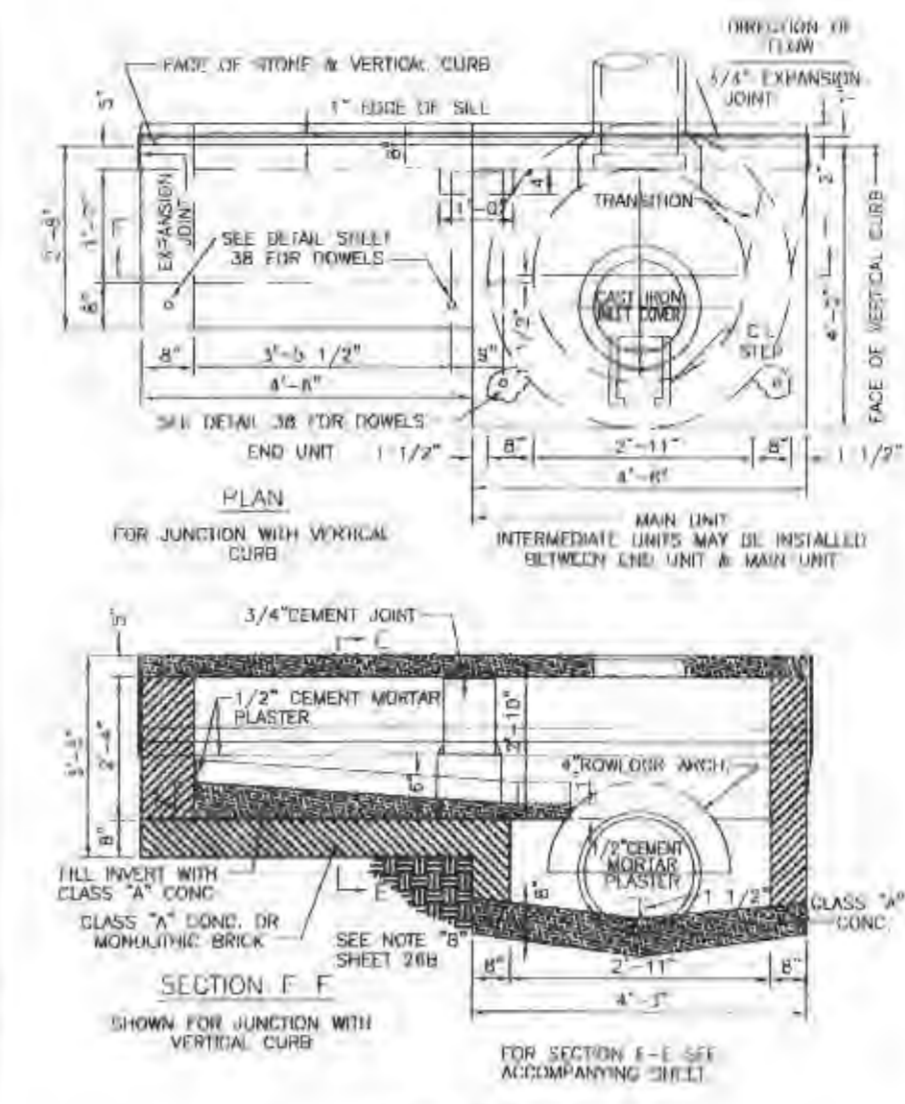
TYPICAL PRE-CAST CONCRETE PIPE FOR REINFORCED CONCRETE TRENCHES 48\"/>



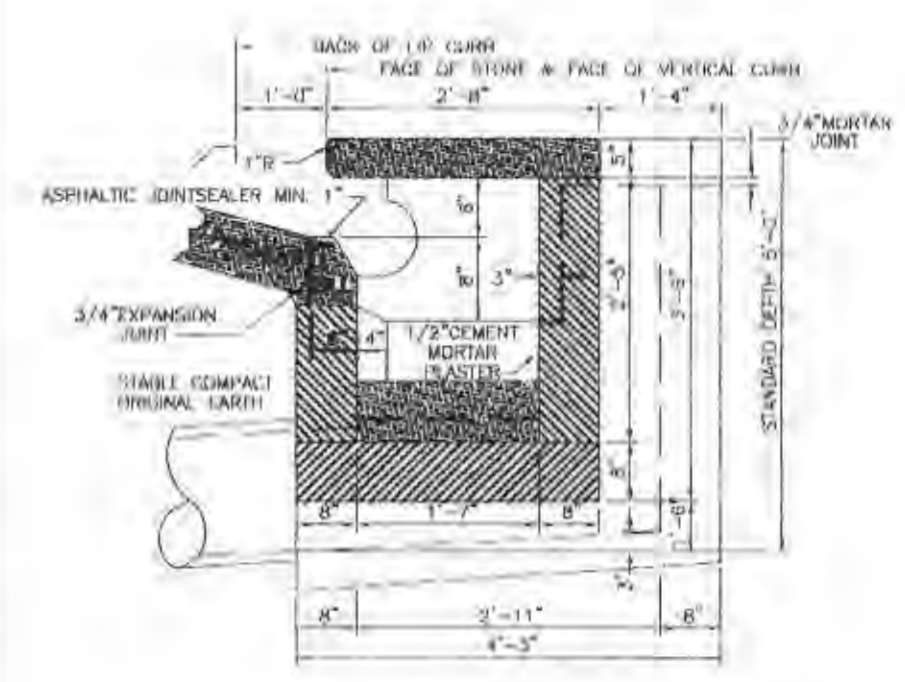
UNTRAPPED STREET INLET BRICK CONSTRUCTION



TRAPPED STREET INLET

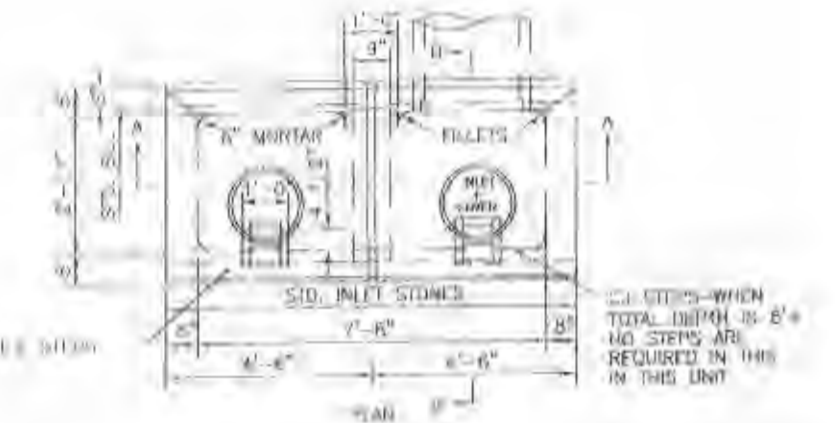


MULTIPLE STREET INLET BRICK CONSTRUCTION

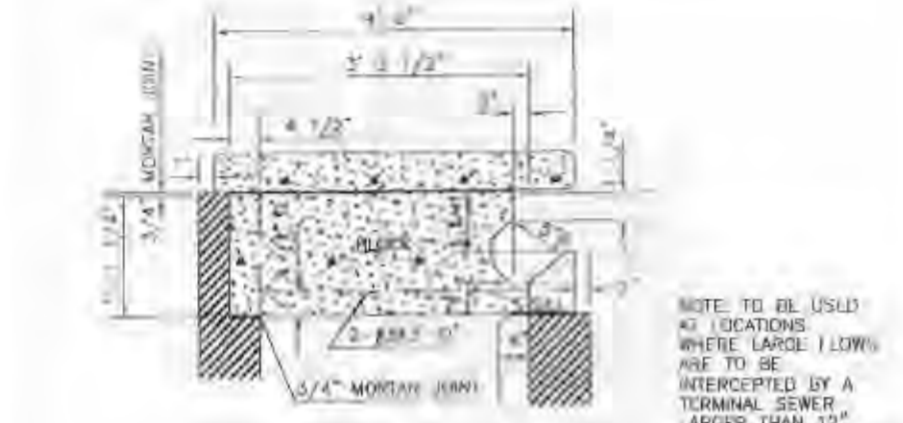


SECTION E-E

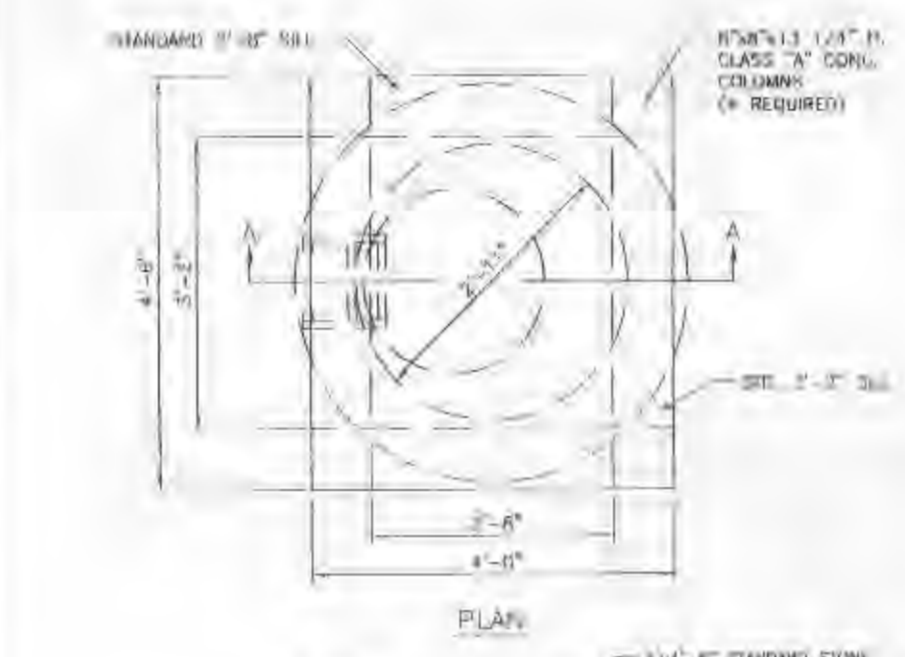
NOTES:  
A. MAXIMUM DIAMETER OF DOWN STREAM PIPE IS 24"  
B. CONSTRUCT ADDITIONAL UNITS ON UNDISTURBED EARTH OR COMPACTED CRUSHED LIMESTONE



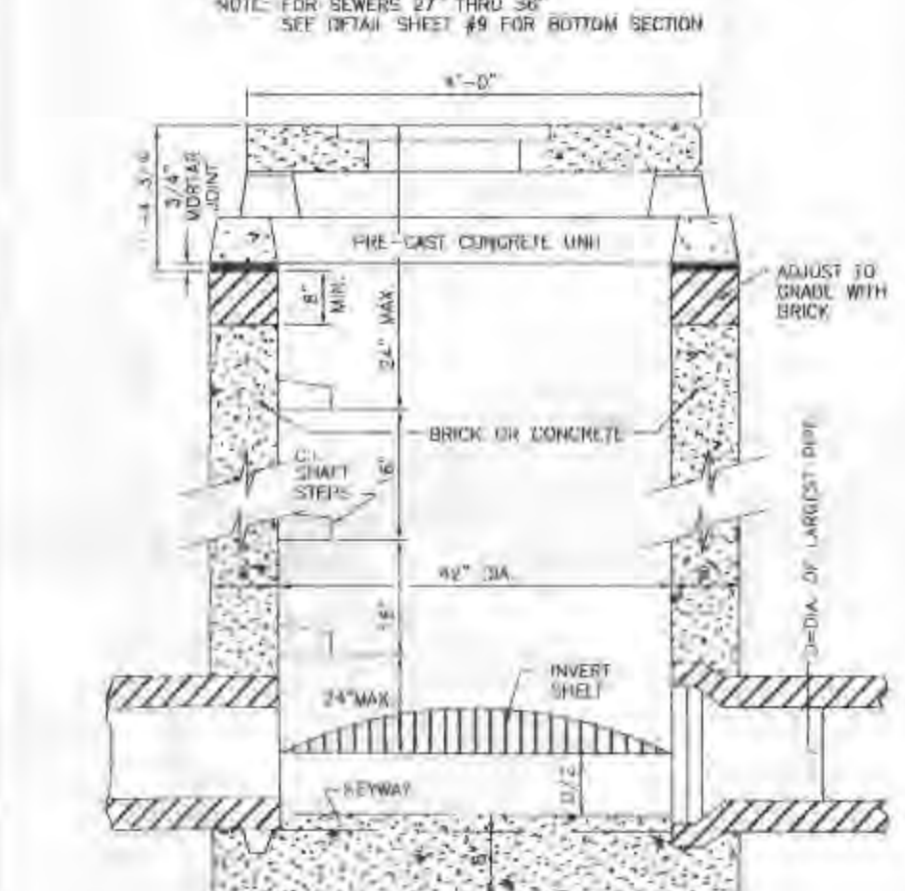
DOUBLE UNTRAPPED INLET



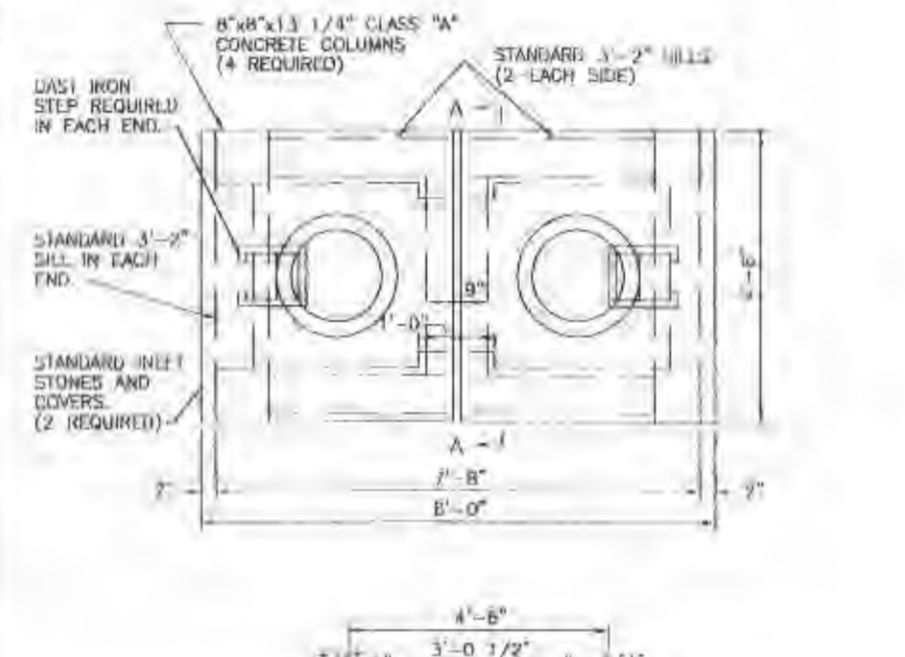
DETAIL OF BRICK INLET



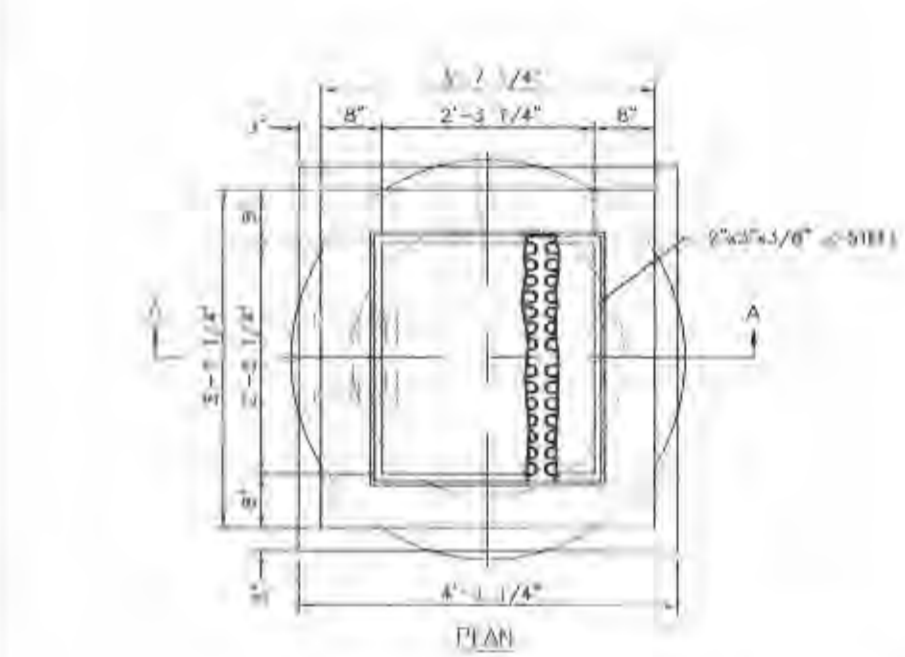
BRICK AREA INLET OPEN 4 SIDES



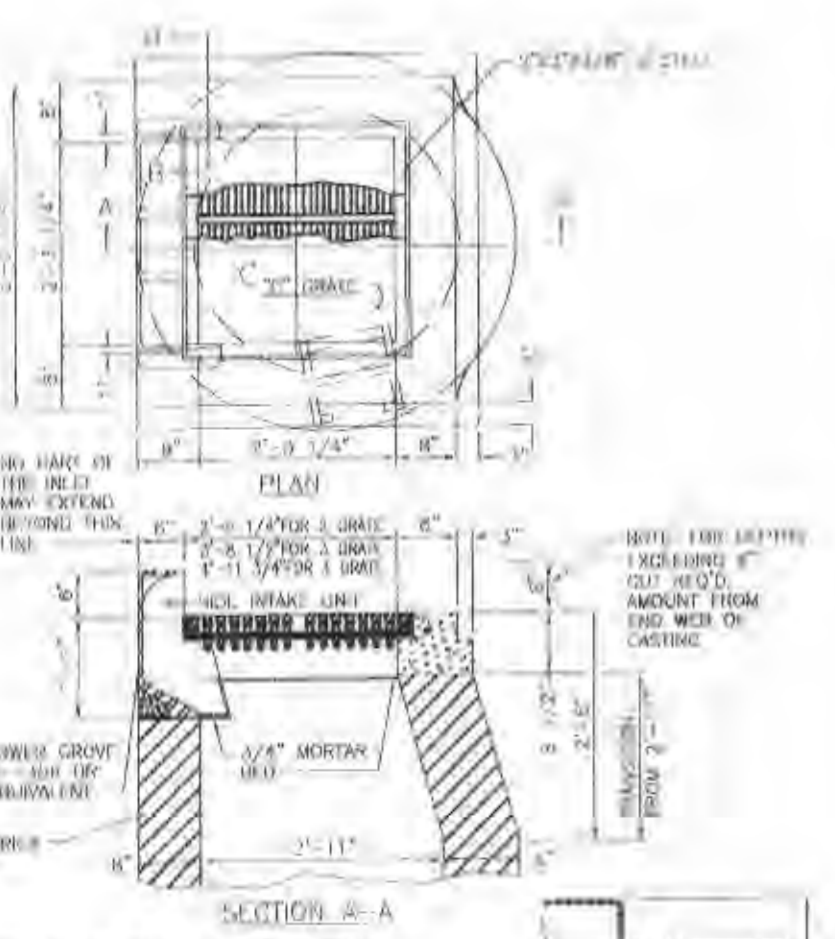
AREA INLET (12" THRU 24")



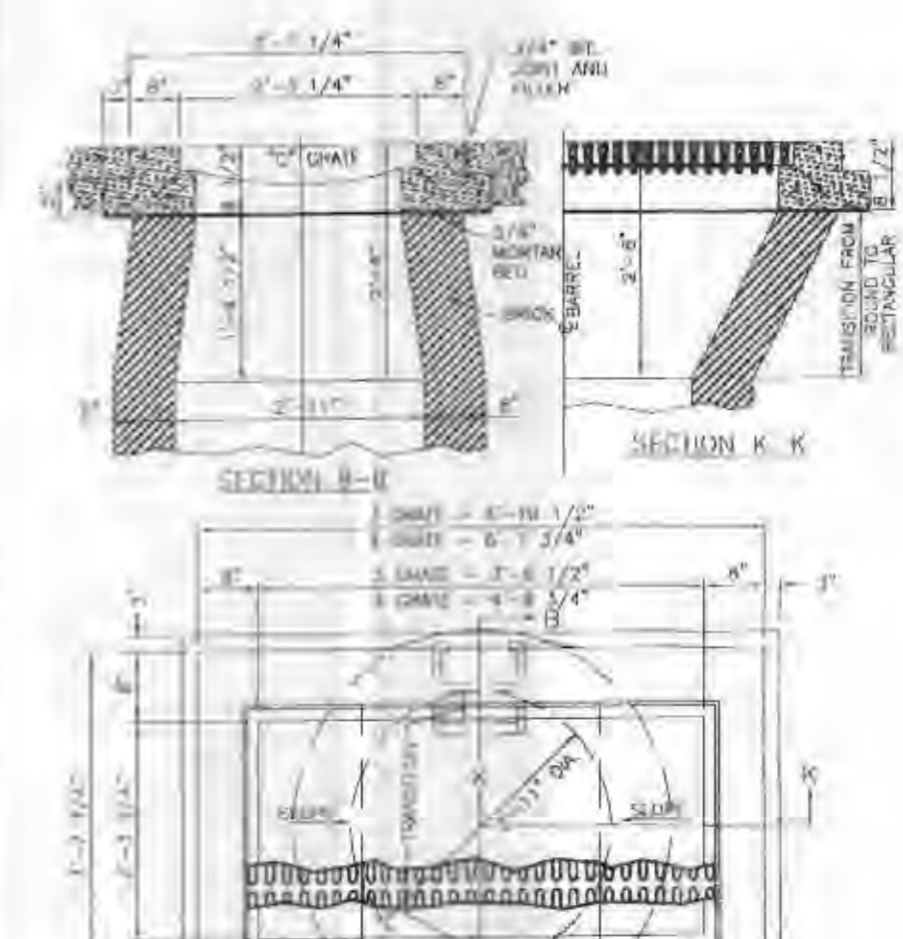
DOUBLE AREA INLET OPEN 4 SIDES



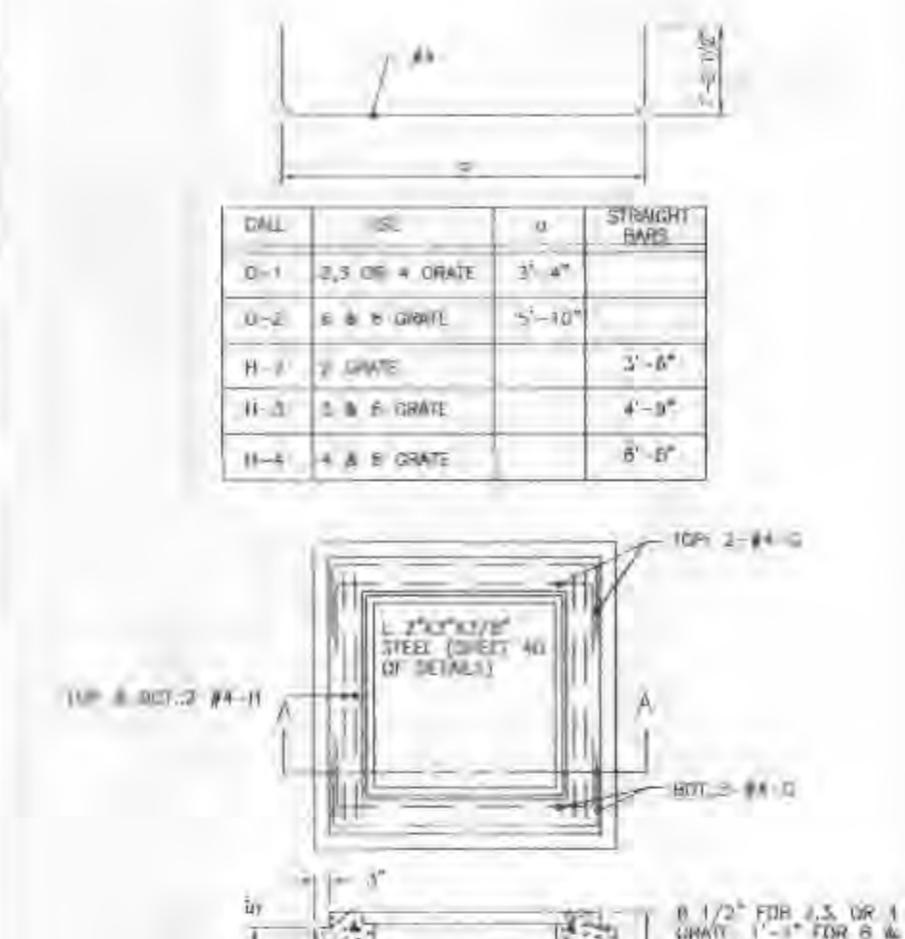
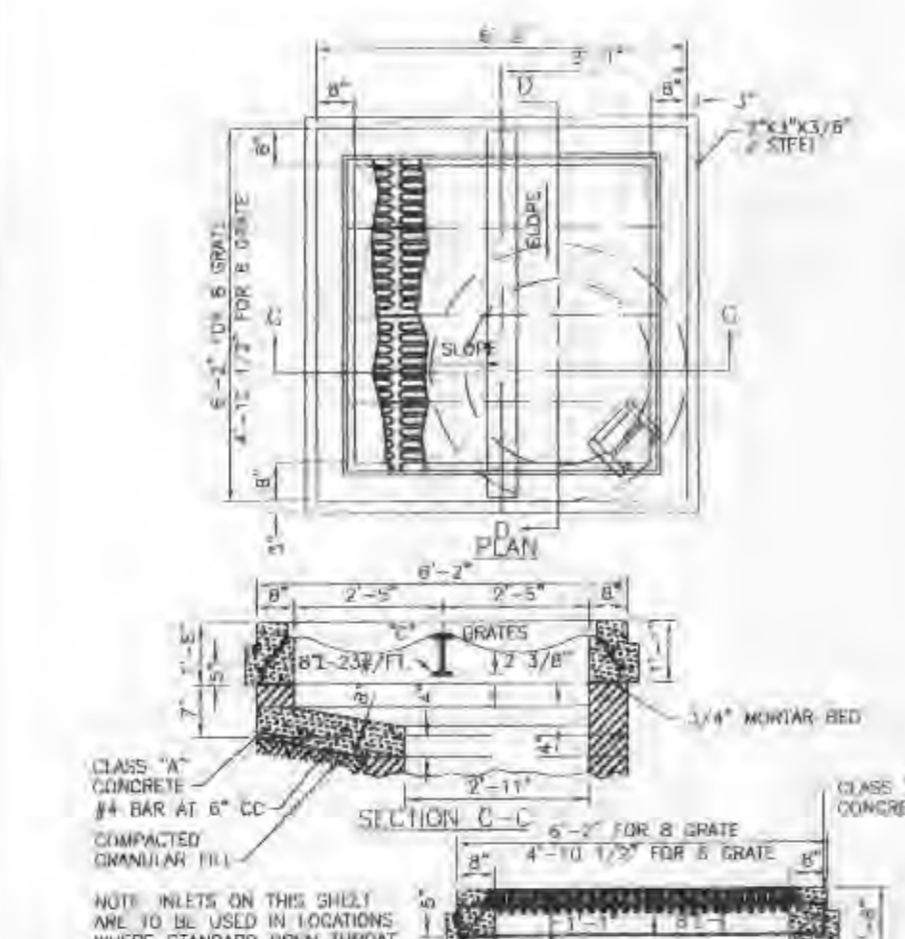
24" GRATE INLET



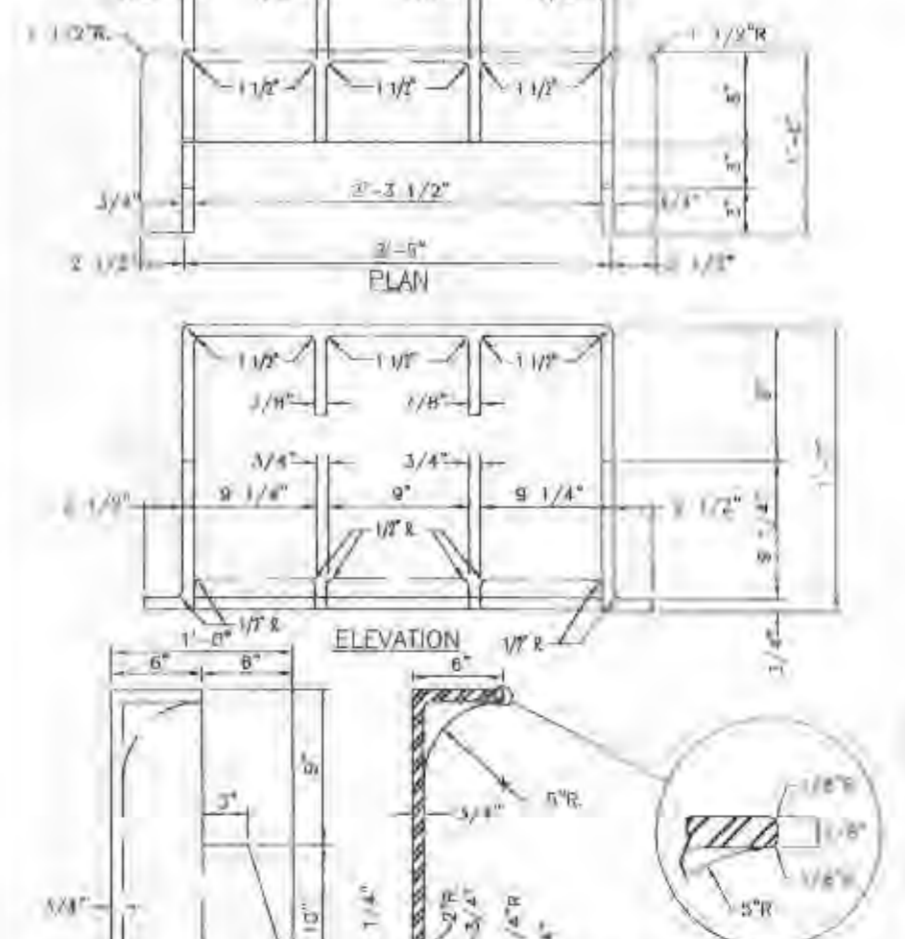
24" GRATE INLET



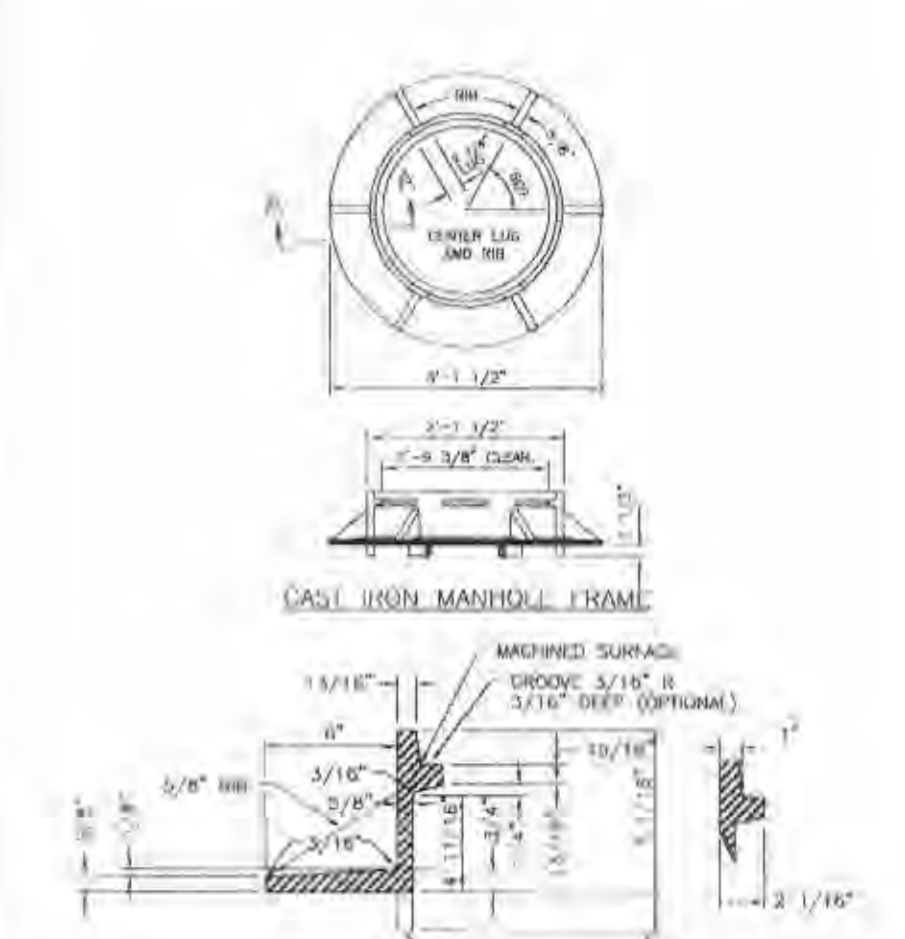
36" & 48" GRATE INLET



STEEL REQUIREMENTS FOR GRATE INLET SEAT



CAST IRON SIDE INTAKE UNIT FOR GRATED INLETS 240 LBS.



CAST IRON MANHOLE FRAME

**PICKETT RAY & SILVER**  
CIVIL ENGINEERS  
PLANNERS  
LAND SURVEYORS  
383 Mid Rivers Mall Drive  
St. Peters, MO 65376  
Phone (636) 397-1211  
Fax (636) 397-1104

**RIDGESTONE TERRACE**  
CONSTRUCTION DETAILS  
IMPROVEMENT PLANS  
Prepared For:  
GREATER MISSOURI BUILDERS, INC.  
1551 WALL STREET  
St. Charles, MO 63303  
Phone: (636) 469-9992

REVISIONS	NO.	DATE

**ENGINEERS AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.  
**PICKETT, RAY & SILVER, INC.**  
Professional Engineer Seal for Mark J. Pickett, No. EA 7751, State of Missouri.

DRAWN **ABK** DATE **11-27-02**  
CHECKED **DWD** DATE **11-27-02**  
PROJECT # **02157ORM.OOR** FIELD **X**  
TASK # **3** BOOK

**RIDGESTONE TERRACE**  
CONSTRUCTION DETAILS  
SHEET **9** OF **11**  
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