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**Sponsored by: Council Members Smith and Roth**

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**AN ORDINANCE APPROVING A FINAL PLAN FOR MEADOWOOD ESTATES – PHASE III,  
SUBJECT TO CERTAIN CONDITIONS AND REQUIREMENTS.**

**WHEREAS**, an application has been filed for final plan approval for the property hereinafter described pursuant to the provisions of Sections 400.236 through 400.236.16 of Article V of Chapter 400 of the Code of Ordinances of the City of O'Fallon; and

**WHEREAS**, the application has been reviewed and considered by the Planning and Zoning Commission of the City, which conducted a public hearing thereon after due notice as required by law, and the Commission has recommended approval to the City Council; and

**WHEREAS**, the City Council held a public hearing with respect to the application and this Ordinance after due notice as required by law and all relevant reports, information, comments and recommendations have been duly considered; and

**WHEREAS**, the City Council also finds, determines and declares that the proposed final plan meets the intent of Chapter 400 of the O'Fallon Code of Ordinances and all the standards specified for final plans pursuant to Sec. 400.236.10(A)(1) through (3) of Article V of Chapter 400 of the Code of Ordinances of the City of O'Fallon;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF O'FALLON, MISSOURI, AS FOLLOWS:**

**SECTION 1:** The property was rezoned to R-4/PUD Apartment Building District Planned Unit Development and is hereinafter described as:

A tract of land located in U.S. Survey 3037 and Section 22 T47N R3E, in O'Fallon, St. Charles County, Missouri, being part of Lot 2B of the Replat of Meadowood Estates, recorded at document number 2023R-007451, further described as follows:

Beginning at the northeast corner of Lot 2B of the Replat of Meadowood Estates, recorded at document number 2023R-007451, thence along the easterly line of said lot, S 2°12'40" W 528.62 feet; thence leaving said line, N 50°44'40" W 57.29 feet; thence S 79°27'10" W 53.86 feet; thence S 38°36'00" W 30.57 feet; thence S 79°27'10" W 247.74 feet; thence N 1°59'50" E 365.33 feet to the southeasterly corner of Lot 1 of the Replat of Meadowood Estates, recorded at document number 2023R-007451; thence along the easterly line of said lot, N 14°21'40" W 185.72 feet; thence N 0°38'10" E 41.99 feet to the southwesterly corner of said Lot 2B, S 87°47'20" E 413.49 feet to the point of beginning, and containing 4.62 acres.

**SECTION 2:** Pursuant to the provisions of Sections 400.236 through 400.236.16 of Article V of Chapter 400 of the Code of Ordinances of the City of O'Fallon, the following Final Plan for the property described in Section One, above, is hereby approved, subject to the terms, conditions and further procedures and approvals specified by the Ordinances of the City of O'Fallon and the additional terms and conditions set forth in Section Three, below, to wit: the Final Plan specified on that document entitled "Final Plan Meadowood Estates – Phase III" as prepared by



Engineering Surveys & Services and dated March 18, 2025, consisting of Sheets C1.01, C1.02, C2.01, C2.02, C3.01, C3.02, L1.01, L1.02, L1.03, L1.04, L1.05, L1.06, SL0, SL1, SL2, SL3, SL4, SL5, A-1, A-2, A-3 and A-4 filed in the offices of the O'Fallon Department of Planning and Development. A reduced copy of the cover page of the approved Final Plan is attached hereto as Exhibit A for ease of reference only. The official copy referenced above on file with the Department shall govern.

**SECTION 3:** The Final Plan approval provided above permits for site improvements and permits for construction of other improvements, are expressly conditioned upon and made subject to the following terms and conditions:

1. This approval is conditional upon all applicable requirements provided within Title IV of the City's Municipal Code being addressed on the Construction Site Plan.
2. The Phase 3 contribution for road improvements is \$12,650. This is due before construction plan approval.
3. Provide the sidewalk along Tom Ginnever Avenue on Lot 4.
4. Remove the fence from the front yard setback.
5. Coordinate with city staff for timing and construction of roundabout.
6. Provide Fire District, MDNR, Sanitary, and Water District approval.
7. Provide Differential run off calculations for 100-year 20-minute storm.
8. Provide a sanitary effluent survey for businesses in the O'Fallon Sewer District.
9. Provide documentation regarding habitat removal from the FFW services.

**SECTION 4:** This ordinance shall be in full force and effect from and after its passage and approval by the Mayor.

First Reading: April 10, 2025


Second Reading: April 24, 2025

**PASSED BY THE CITY COUNCIL FOR THE CITY OF O'FALLON, MISSOURI, THIS 24<sup>TH</sup> DAY OF APRIL, 2025.**

Attest:

  
Bess Bacher, City Clerk



  
\_\_\_\_\_  
Presiding Officer



BILL NO. 7743


ORDINANCE NO. 7203

APPROVED BY THE MAYOR FOR THE CITY OF O'FALLON, MISSOURI, THIS 24<sup>TH</sup> DAY OF APRIL, 2025.

Attest:

  
Bess Bacher, City Clerk



  
Bill Hennessy, Mayor

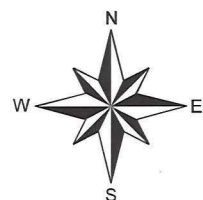
Approved as to Form:

  
Kevin M. O'Keefe, City Attorney









0      150      300      450  
 Ft

### Legend

Subject Property  
Location

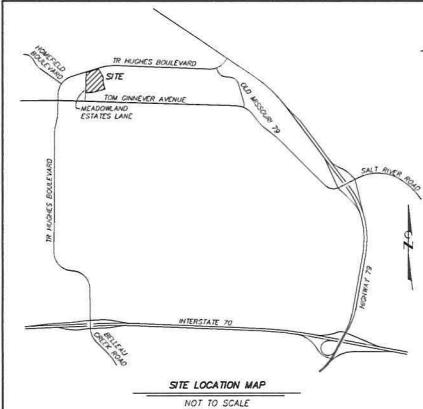
**R-1** Area Zoning Designation

O'Fallon  
City Limits



## Meadowoods Estates





**SITE LOCATION MAP**  
NOT TO SCALE

**LEGEND**

CC	PROPERTY LINE
FE	ELECTRIC LINE
PH	FIBER OPTIC LINE
FL	STORM SEWER LINE
CV	WATER LINE
LS	TREE & BRUSH LINE
ROP	EXISTING CONTOUR
UV	ANCHOR
WV	IRON
WV	CUT CROSS
WV	FLARED END SECTION
WV	FIRE HYDRANT
WV	FLUM LINE
WV	GAS VALVE
WV	LIGHT STANDARD
WV	REINFORCED CONCRETE PIPE
WV	UTILITY POLE
WV	WATER VALVE
WV	PROPOSED SANITARY SEWER LINE
WV	PROPOSED WATER LINE
WV	PROPOSED UNDERGROUND ELECTRIC
WV	PROPOSED UNDERGROUND TELEPHONE
WV	PROPOSED STORM SEWER
WV	TREE PRESERVATION AREA
WV	PROPOSED FENCE LINE
WV	PROPOSED WATER VALVE
WV	PROPOSED FIRE HYDRANT & VALVE
WV	THRUST BLOCK
WV	THRUST COLLAR
WV	PROPOSED TRANSFORMER PAD
WV	AREA INLET
WV	CURB INLET
WV	ORAIN BASIN
WV	IRIGNE DRAIN
WV	LOCATION BOX
WV	OUTFALL CONTROL STRUCTURE
WV	SIDE OPEN INLET
WV	BASE FLOW PREVENTER
WV	WATER METER
WV	TOP OF WALL ELEVATION
WV	FRESH GRADE ELEVATION
WV	RAMP
WV	LANDING

**TREE NOTE - ALL PHASES**

EXISTING TREE MASS  
7.47 ACRES  
TREE MASS PRESERVED  
2.12 ACRES  
20% TOTAL MASS TO BE PRESERVED  
1.82 ACRES  
TREES PROVIDED ARE SHOWN IN LANDSCAPE PLAN LEGEND

**AREA NOTE**

TOTAL SITE AREA = 20.1 ACRES  
RIGHT-OF-WAY DEDICATION = 0.39 ACRES  
LOT 1 = 6.65 ACRES  
LOT 2 = 4.14 ACRES  
PROPOSED LOT 3 = 4.62 ACRES  
PROPOSED LOT 4 = 3.70 ACRES

**PROPERTY DESCRIPTION**

LOT 1, 2A, AND 3B OF MEADOWLAND ESTATES, LOCATED IN SECTION 27, T4N, R3E, IN OTTAWA, ST. CHARLES COUNTY, MISSOURI, RECORDED IN 2023R-007453.

**OWNER, APPLICANT & DEVELOPER**

JEFFREY L. SMITH INVESTMENT CO. LLC (OWNER)  
JES DEVELOPMENT, INC. (DEVELOPER)  
206 PEARCE WAY  
COLUMBIA, MO 65203

**FLOODPLAIN NOTE**

THIS PROPERTY IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 2818C020250, DATED JANUARY 30, 2016.

**BENCH MARK**

BM - MISSOURI DEPARTMENT OF NATURAL RESOURCES GEOGRAPHIC REFERENCE SYSTEM MONUMENT "C-47" LOCATED SOUTH OF A PRIVATE ROAD TO BELLEVUE PARKING AND 51' NORTHEAST OF THE CENTERLINE OF MISSOURI HIGHWAY 79, 26.8' SOUTHWEST OF UTILITY POLE #1354 AND 15.5' WEST OF A SIGN. ELEVATION = 445.87  
TBM 1 - CHISELED SQUARE ON THE SOUTHWEST CORNER OF CURB INLET LOCATED ON THE SOUTH SIDE OF TR HUGHES BOULEVARD 150' EAST OF MEADOWLAND ESTATES LANE. ELEVATION = 511.59  
TBM 2 - CHISELED SQUARE ON THE NORTHEAST CORNER OF CURB INLET LOCATED AT THE NORTHEAST CORNER OF THE ROUNDABOUT ON THE WEST SIDE OF MEADOWLAND ESTATES LANE. ELEVATION = 514.62

**PARKING NOTE**

**EXISTING LOT 1:**  
REQUIRED PARKING: 6.5 SPACES / UNIT \* 60 UNITS = 390 SPACES  
1 SPACE / 2 EMPLOYEES \* 2 EMPLOYEES = 1 SPACE  
PROVIDED PARKING: 73 SPACES  
ACCESSIBLE SPACES: 22 SPACES  
TOTAL = 95 SPACES

**EXISTING LOT 2:**  
REQUIRED PARKING: 6.5 SPACES / UNIT \* 54 UNITS = 351 SPACES  
1 SPACE / 2 EMPLOYEES \* 2 EMPLOYEES = 1 SPACE  
PROVIDED PARKING: 53 SPACES  
ACCESSIBLE SPACES: 16 SPACES  
TOTAL = 69 SPACES

**LOT 3:**  
REQUIRED PARKING: 6.5 SPACES / UNIT \* 54 UNITS = 351 SPACES  
1 SPACE / 2 EMPLOYEES \* 2 EMPLOYEES = 1 SPACE  
PROVIDED PARKING: 53 SPACES  
ACCESSIBLE SPACES: 16 SPACES  
TOTAL = 69 SPACES

**LOT 4:**  
REQUIRED PARKING: 6.5 SPACES / UNIT \* 54 UNITS = 351 SPACES  
1 SPACE / 2 EMPLOYEES \* 2 EMPLOYEES = 1 SPACE  
PROVIDED PARKING: 53 SPACES  
ACCESSIBLE SPACES: 16 SPACES  
TOTAL = 69 SPACES

**DENSITY DETERMINATION**

SENIOR COMMUNITY OVERLAY DISTRICT  
1 NURSING UNIT = 2 INDEPENDENT LIVING UNITS  
R4 AND C2 PERMITTED DENSITY  
12 NURSING UNITS/ACRE = 24 DWELLING UNITS/ACRE

**LOT 1:**  
ALLOWED: 6.65 ACRES \* 24 DWELLING UNITS/ACRE = 159 UNITS  
PROVIDED: (10) 6-FLEX APARTMENTS = 60 UNITS

**LOT 2A:**  
ALLOWED: 4.14 ACRES \* 24 DWELLING UNITS/ACRE = 111 UNITS  
PROVIDED: 54 UNIT BUILDING = 54 UNITS

**LOT 3:**  
ALLOWED: 4.62 ACRES \* 24 DWELLING UNITS/ACRE = 111 UNITS  
PROVIDED: 54 UNIT BUILDING = 54 UNITS

NO SKILLED NURSING UNITS ARE TO BE PROVIDED IN ANY DWELLING.

**UTILITY NOTES**

THE LOCATIONS, SIZES AND MATERIAL TYPES OF UNDERGROUND UTILITIES INDICATED ON THIS PLAN ARE NOT VISIBLE OR APPARENT FROM THE SURFACE, ARE SHOWN IN THEIR APPLICABLE RECORDS AND ARE NOT VERIFIED IN THE FIELD. UNDERGROUND ELECTRIC TO LIGHT STANDARDS WAS NOT LOCATED.

**OPEN SPACE STANDARDS**

PERMANENT PROTECTED OPEN SPACE  
LOT AREA = 214,435 SF  
= 214,435 SF REQUIRED = 375,845 SF PROPOSED

ACTIVE/PASSIVE OPEN SPACE  
LOT AREA = 214,435 SF  
= 65,763 SF REQUIRED = 87,673 SF PROPOSED

**SHEET INDEX**

CS-01 OVERALL AREA PLAN  
CS-02 SITEWORK & EASEMENT PLAN  
CS-03 AREA PLAN  
CS-04 DETAILS  
CS-05 LANDSCAPE PLAN  
CS-06 PHOTOGRAPHIC PLAN  
CS-07 ARCH ELEVATIONS

NOT FOR CONSTRUCTION

11133 Fay Street, Columbia, MO 65201  
314.480.2884  
403 E. Durbin Drive, Jefferson City, MO 65101  
216.440.0011  
1775 West Main Street, Sedalia, MO 65201  
216.440.0011  
www.esands.com  
MO Engineering Co. #200000018

**FINAL PLAN**  
**MEADOWLAND ESTATES - PHASE III**  
MEADOWLAND ESTATES SUBDIVISION  
OTTAWA, ST. CHARLES COUNTY, MISSOURI

MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-200700011

Date  
**MARCH 18, 2025**

Revised  
MARCH 18, 2025

CITY COMMENTS

Design: JH Drawn: RTM

OVERALL FINAL PLAN

Sheet  
**C1.01**

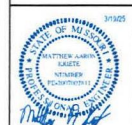
ES&S PROJECT NO. 16553





SCALE 1" = 80'

**FINAL PLAN**  
**MEADOWOOD ESTATES - PHASE III**  
MEADOWOOD ESTATES SUBDIVISION  
O'FALLON, ST. CHARLES COUNTY, MISSOURI



MATTHEW A. KRETTE  
PROFESSIONAL ENGINEER  
REGISTERED

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO THE CITY OF O'FALLON FOR REVIEW AND APPROVAL.

Date  
MARCH 18, 2025

Revised  
MARCH 18, 2025

CITY COMMENTS

Design: JH Drawn: RTM

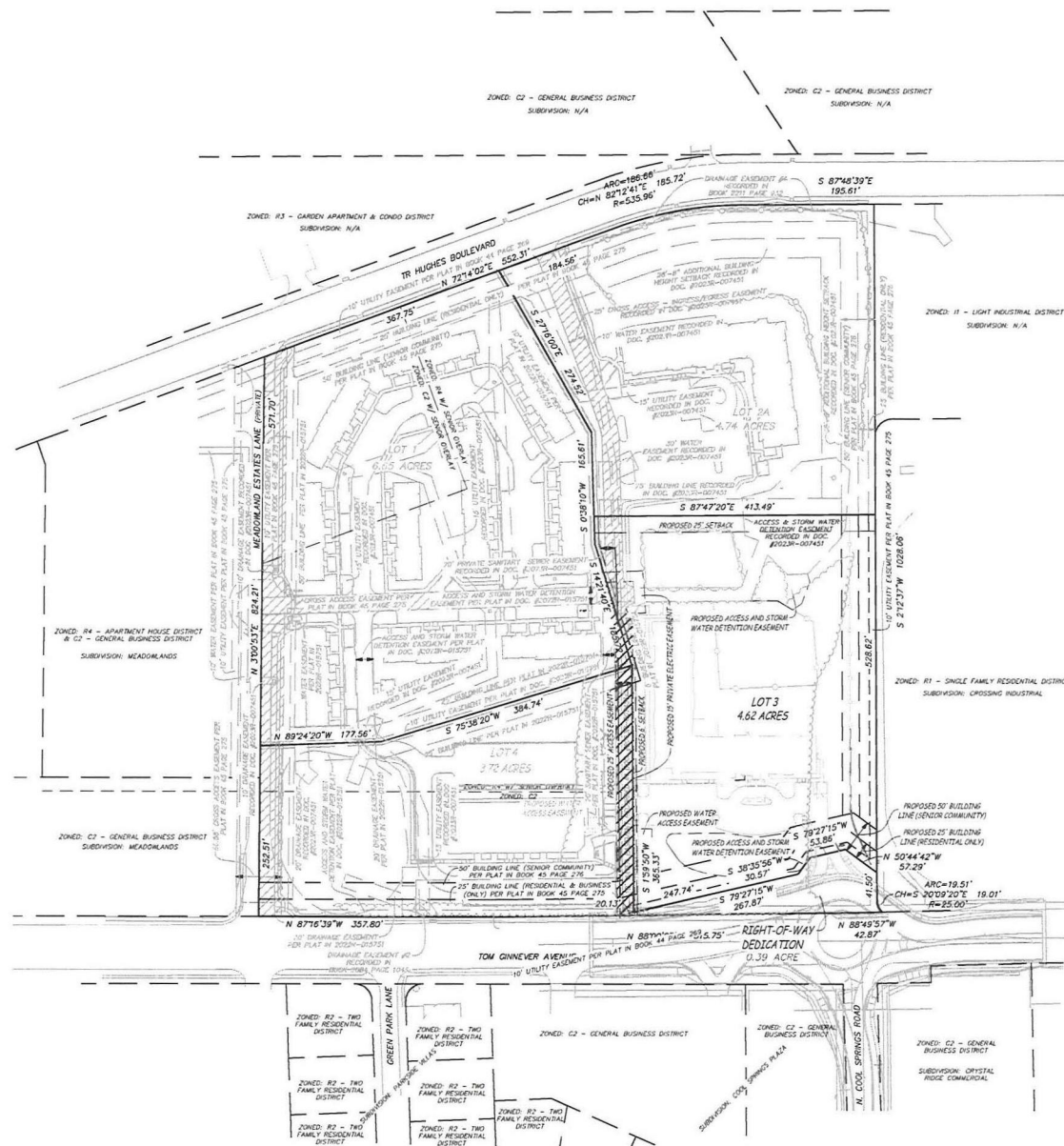
SETBACK & EASEMENT PLAN

Sheet

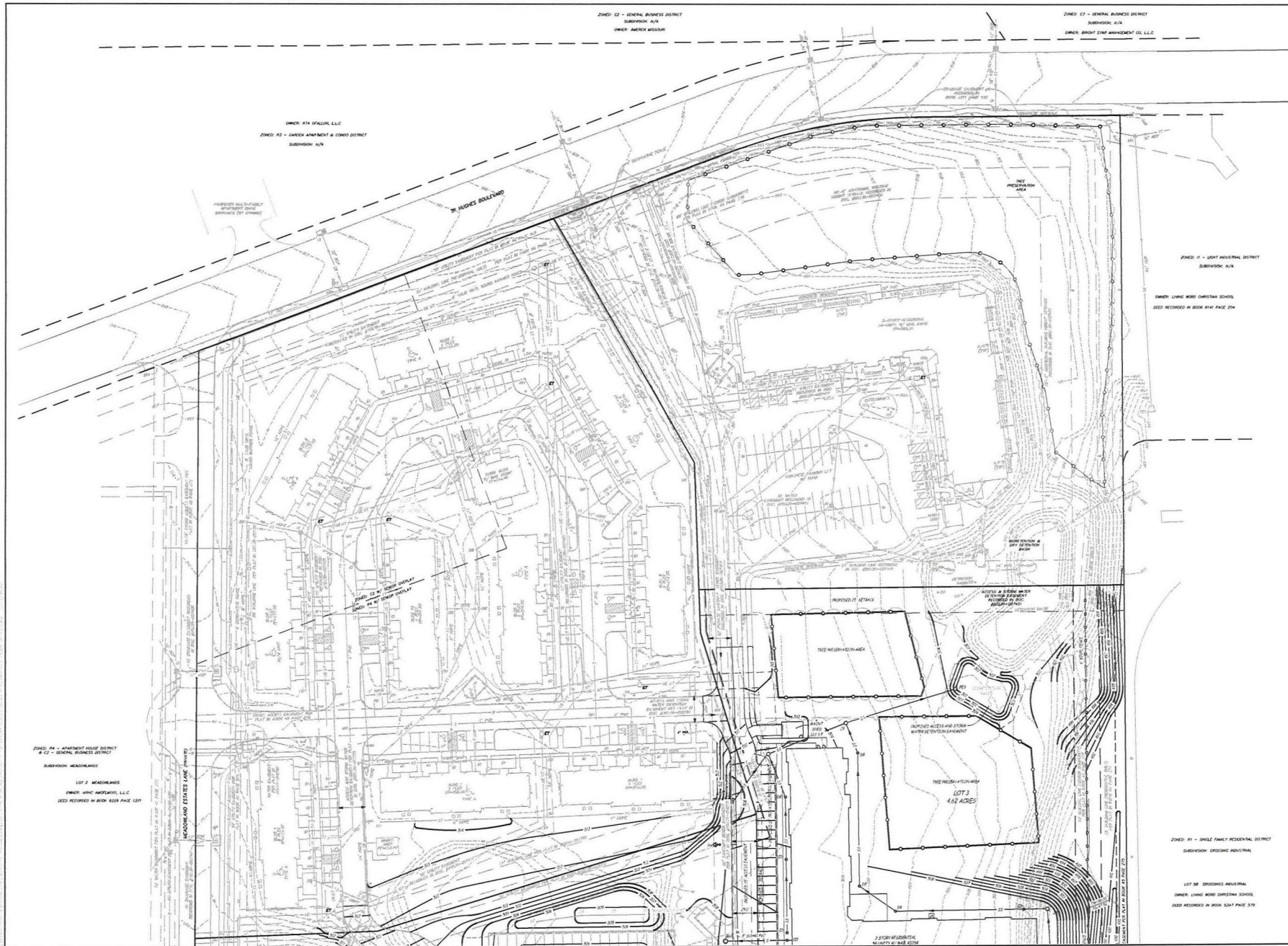
C1.02

ES&S PROJECT NO. 16553

NOT FOR CONSTRUCTION







Engineering Surveys  
& Services  
7011 Highway 100, Suite 100  
1113 Fox Street, Columbia, MO 65201  
1714 East 20th  
803 E. Drake Drive, Jefferson City, MO 65101  
1714 West Main Street, St. Louis, MO 63101  
636.423.4878  
KIDDERVILLE, MO  
MO Engineering Corp. #200800018

N  
0 1'  
SCALE 1" = 40'

**FINAL PLAN**  
**MEADOWOOD ESTATES - PHASE III**  
MEADOWOOD ESTATES SUBDIVISION  
OF FALLON, ST. CHARLES COUNTY, MISSOURI

MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PEL-2007000111

Date  
**MARCH 18, 2025**

Revised  
① MARCH 18, 2025  
CITY COMMENTS

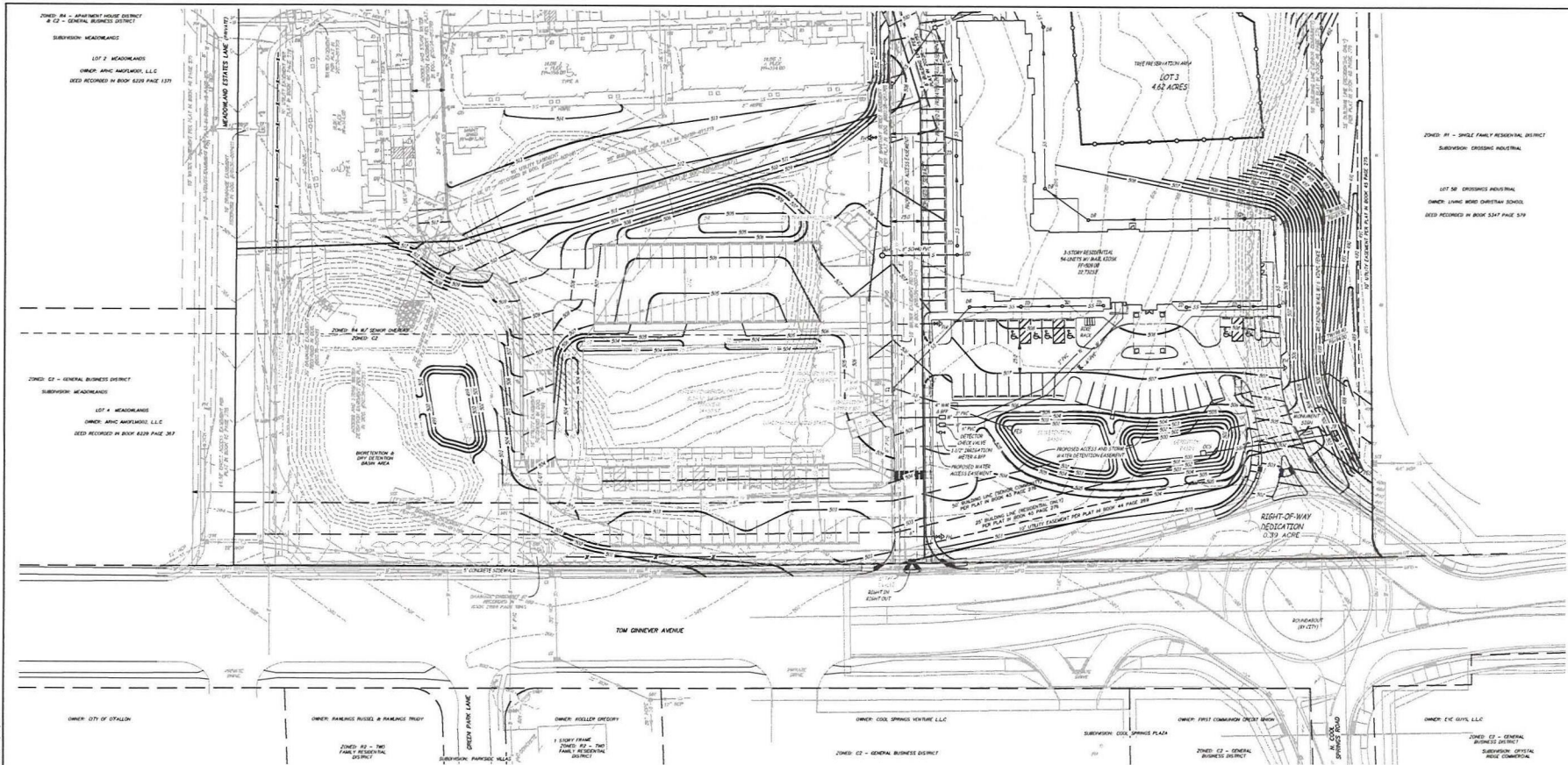
Design: JH Drawn: RTM

FINAL PLAN  
Sheet  
**C2.01**

ES&S PROJECT NO. 16553

NOT FOR CONSTRUCTION





#### PROPOSED MODIFICATIONS TO ZONING CODE

MODIFICATION: SECTION 402.180.2.2 BUFFER YARD/LANDSCAPING NOT INCLUDED BETWEEN C2 AND RA DISTRICT ON LOT 2. PERMITTED PER: SECTION 402.206.10 - MODIFICATION TO THE LANDSCAPING REQUIREMENTS.

MODIFICATION: SECTION 402.180.2.3 SIGHT TRIANGLE AND PLAYING UNITS NOT INCLUDED WHERE TREE PRESERVATION AREA IS LOCATED NEAR THE LOT LINES OF LOT 4. PERMITTED PER: SECTION 402.206.10 - MODIFICATION TO THE LANDSCAPING REQUIREMENTS.

#### SITE LIGHTING NOTES

1. LIGHTS TO BE PROVIDED BY DEVELOPER.
2. SEE LIGHTING PLAN FOR POST AND FIXTURE DETAIL.
3. FIXTURES SHALL MEET ALL CITY REQUIREMENTS.
4. LIGHTING MAINTENANCE SHALL BE PROVIDED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS.
5. LIGHTS SHALL BE PRIVATE.

#### SANITARY SEWER NOTES

1. THE ANTICIPATED SEWER GENERATION RATE FOR THE 3-STORY RESIDENTIAL BUILDINGS IS 270 GPD.

#### OFF-STREET LOADING REQUIREMENTS

15,000 SQ. FT. COMMERCIAL/OFFICE BUILDING  
LOADING SPACE REQUIRED: 1 SPACE FOR SPACES OVER 3,000 SQ. FT. FLOOR AREA  
1 ADDITIONAL SPACE PER EVERY ADDITIONAL 20,000 SQ. FT. GROSS FLOOR AREA  
REQUIRED SPACES = 1 SPACE  
PROVIDED SPACES = 1 SPACE  
MINIMUM SIZE REQUIREMENTS: 12' WIDE, 35' LONG

#### SITE COVERAGE-ALL PHASES

TOTAL AREA	876,063 SF	100.0%
BUILDING FOOTPRINT AREA	114,641 SF	13.1%
LANDSCAPED AREA	535,715 SF	61.1%
PAVEMENT AREA	182,418 SF	21.0%
SIDEWALK & PORCH AREA	141,130 SF	16.1%
RIGHT-OF-WAY AREA	17,083 SF	2.0%

#### BUILDING HEIGHTS

TYPICAL 3-STORY ART. BUILDING HEIGHT = 40'-0"  
TYPICAL 1-STORY ART. BUILDING HEIGHT = 22'-3 1/2"  
TYPICAL 1-STORY COMMERCIAL/OFFICE BUILDING HEIGHT = 23'-4"  
TYPICAL 1-STORY COMMUNITY BUILDING HEIGHT = 16'-11"  
SENIOR OVERLAY ZONED AREA MAX BUILDING HEIGHT = 45'  
COMMERCIAL ZONED AREA MAX BUILDING HEIGHT = 30'

#### BUILDING SIZES

PHASE 1 = COMMUNITY BUILDING = 1,787 SF  
(8) 6-UNIT BUILDINGS @ 5,260 SF = 42,080 SF  
(2) 6-UNIT BUILDINGS @ 5,582 SF = 11,164 SF  
PHASE 2 = 3-STORY 34 UNIT BUILDING = 21,722 SF  
PHASE 3 = 3-STORY 34 UNIT BUILDING = 21,722 SF  
PHASE 4 = 1-STORY COMMERCIAL/OFFICE BUILDING = 15,000 SF

#### SETBACK NOTE

PERIMETER SETBACKS:  
25' RESIDENTIAL ONLY AND 50' SENIOR COMMUNITY SETBACKS ON NORTHERN AND EASTERN PROPERTY LINE. 25' RESIDENTIAL AND COMMERCIAL ONLY AND 50' SENIOR COMMUNITY ON SOUTHERN PROPERTY LINE. SETBACKS ESTABLISHED PER PLAT IN BOOK 43 PAGE 276.

INTERNAL LOT SETBACKS:  
SENIOR OVERLAY ZONED AREA:  
FRONT YARD: 25 FEET  
SIDE YARD: 6 FEET  
REAR YARD: 25 FEET  
C2 ZONED AREA:  
FRONT YARD: 25 FEET  
SIDE YARD: 6 FEET  
REAR YARD: 10 FEET

SENIOR OVERLAY ZONED AREA:  
ADDITIONAL SETBACKS REQUIRED ON BUILDINGS OVER 30' IN HEIGHT, MEASURED FROM FINISHED FLOORS TO PEAK OF ROOF. ADDITIONAL 2 FEET SETBACK FOR EVERY 1 FOOT BUILDING HEIGHT ABOVE 30'. BUILDING MUST BE SET BACK 25 FEET FROM SENIOR COMMUNITY PERIMETER LOT LINES.

3-STORY BUILDING SETBACK CALCULATION:  
BUILDING HEIGHT-SETBACK MAX HEIGHT (45'-30") ABOVE SETBACK MAX HEIGHT:  
ADDITIONAL SETBACK DISTANCE: 2' EVERY FOOT ABOVE 30' (2'X15'-40") = ADDITIONAL SETBACK = 30'

GROUPED BUILDINGS SEPARATION REQUIREMENTS (FOR MULTI-FAMILY DWELLING BUILDINGS 2.5 STORIES OR LESS):  
FRONT TO FRONT = 30 FEET  
FRONT TO BACK = 30 FEET  
BACK TO BACK = 30 FEET  
SIDE TO SIDE = 30 FEET  
FRONT TO SIDE = 35 FEET  
BACK TO SIDE = 35 FEET  
CORNER TO CORNER = 15 FEET

#### DETENTION NOTE

ABOVE GROUND DETENTION WILL BE PROVIDED FOR ALL PHASES.

#### GENERAL NOTES

1. CURRENT ZONING: PLO. A-4 AND C2 WITH CONDITIONAL USE PERMIT-SENIOR COMMUNITY OVERLAY DISTRICT, AND C2.
2. AREA OF TRACT: 201.12 ACRES (201.12 ACRES 37').
3. RIGHT-OF-WAY DEDICATION = 0.39 ACRE.
4. NEW SITE AREA = 19.74 ACRES.
5. PROPOSED USE: SENIOR HOUSING, (150) 2-BEDROOM AND (36) 1-BEDROOM INDEPENDENT LIVING UNITS, COMMERCIAL/OFFICE.
6. ALL LAND PROPOSED FOR SENIOR HOUSING.
7. PROPOSED SETBACKS ARE SHOWN IN SETBACK NOTE.
8. NO SLOPES SHALL BE GREATER THAN 3:1.
9. ALL UTILITIES SHALL BE SHOWN IN SETBACK NOTE.
10. THE PROPERTY HAS A CROSS ACCESS EASEMENT TO AND FROM PUBLIC ROADSWAYS.
11. ACCORDING TO YEAR FROM MAP REVISIONS 9 REVISED JANUARY 20, 2016, THIS PROPERTY IS OUTSIDE THE BOUNDARIES OF THE 100 YEAR FLOOD ZONE.
12. THERE ARE NO RECLAMS OR WATERWAYS ON THIS PROPERTY SUBJECT TO UNITED STATES ARMY CORPS OF ENGINEERS REGULATIONS.
13. ALL PRIVATE ROADSWAYS, DRIVEWAYS, AND PARKING AREAS WITHIN THE PROPERTY SHALL BE MAINTAINED BY THE APPLICANT, DEVELOPER OF THE PROPERTY, ITS ASSIGNS, OR OWNER OF THEIR AGENTS IN PERPETUITY UNLESS DEDICATED FOR PUBLIC USE.
14. PRIOR TO CONSTRUCTION SITE APPROVAL, A PHOTOGRAPHIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
15. ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE. GROUND MOUNTED HVAC AND MECHANICAL UNITS SHALL BE SCREENED BY FENCING, VEGETATION, OR SOME OTHER MEANS APPROVED BY THE PLANNING AND ZONING COMMISSION THAT HAS MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT BEING SCREENED.
16. THESE PLANS CONFORM WITH ARTICLE 80 OF THE ZONING CODE, PERFORMANCE STANDARDS.
17. THIS SITE WILL BE IN COMPLIANCE WITH 31 LOUISIANA STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
18. ALL SIDEWALKS, CURB RAMP, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE.
19. ALL SOIL EROSION CONTROL MEASURES (SILT FENCES AND SEDIMENTATION BASINS) SHALL FOLLOW ST. CHARLES COUNTY SSI AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL GUIDELINES.
20. ALL SOIL LOCATIONS AND SITES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
21. STREET LIGHTS ARE TO BE PRIVATELY MAINTAINED.
22. ALL MOVEMENT SIGNS WILL REQUIRE A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.
23. THIS DEVELOPMENT WILL COMPLY WITH THE CITY OF O'FALLON COMPREHENSIVE PLAN.

NOT FOR CONSTRUCTION

Engineering Surveys & Services  
11171 Fox Street, Columbia, MO 65201  
314.444.2844  
1102 E. Diverse Street, Jefferson City, MO 65101  
573.644.0020  
1776 West Main Street, Kansas, MO 66101  
913.634.0018  
M/S Engineering Corp. #3548010178

N  
0 1'  
SCALE 1" = 40'

**FINAL PLAN**  
**MEADOWOOD ESTATES - PHASE III**  
MEADOWOOD ESTATES SUBDIVISION  
O'FALLON, ST. CHARLES COUNTY, MISSOURI

MATTHEW A. KETTE  
PROFESSIONAL ENGINEER  
REGISTERED  
March 18, 2025  
CITY COMMENTS

Design: JH Drawn: RTM

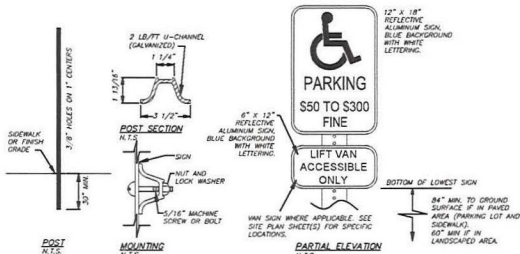
FINAL PLAN

Sheet

**C2.02**

ES&S PROJECT NO. 16553

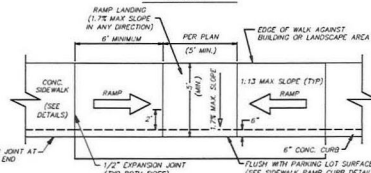
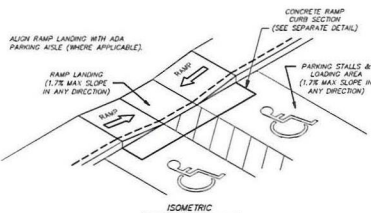




- NOTES:
1. SEE SITE PLAN SHEET(S) FOR SIGN LOCATIONS.
  2. ALL SIGNS SHALL BE 0.80 ENGINEER GRADE REFLECTIVE ALUMINUM.

ACCESSIBLE PARKING STALL SIGNAGE

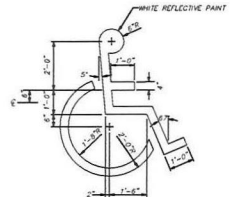
NOT TO SCALE



- NOTES:
1. RAMP SHALL BE 4\"/>

PARALLEL CURB RAMP

NOT TO SCALE



ACCESSIBLE SYMBOL

NOT TO SCALE



W11-2  
"PEDESTRIAN  
CROSSING" SIGN



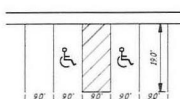
W16-7PL  
"DIAGONAL ARROW" SIGN

NOT TO SCALE



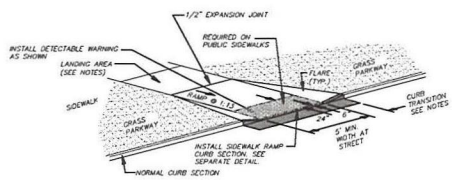
R1-1  
"STOP" SIGN

NOT TO SCALE



PARKING DIMENSIONS

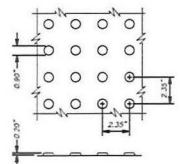
NOT TO SCALE



- NOTES:
1. RAMP SHALL BE 4\"/>

PERPENDICULAR CURB RAMP

NOT TO SCALE

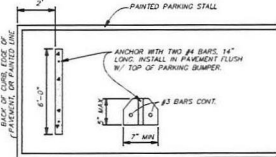


TRUNCATED DOME PATTERN

- NOTES:
1. DETECTABLE WARNING SHALL BE RAISED TRUNCATED DOMES PER CURRENT ADA STANDARDS.
  2. DETECTABLE WARNING SHALL EXTEND A MINIMUM 24\"/>

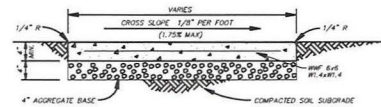
DETECTABLE WARNING FOR CURB RAMP (PUBLIC ONLY)

NOT TO SCALE



CONCRETE PARKING BUMPER

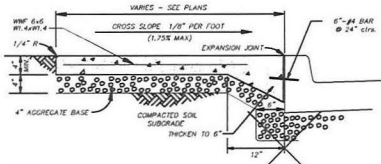
NOT TO SCALE



- NOTES:
1. SIDEWALK SHALL BE 5-SE AIR-ENTRAINED, 6 BAG MIX, 4000 PSI PORTLAND CEMENT CONCRETE.
  2. INSTALL TRANSVERSE EXPANSION JOINTS TO MATCH STREET OR CURB AND CUTTER EXPANSION JOINTS AND AT ALL DRIVEWAY APPROACHES, FIXED STRUCTURES, BUILDINGS, AND SIDEWALK RAMP. SPACING SHALL NOT EXCEED 100'
  3. FOR SIDEWALKS UP TO 6 FT. WIDE, INSTALL TRANSVERSE SAW-CUT JOINTS AT SPACING EQUAL TO SIDEWALK WIDTH.
  4. FOR SIDEWALKS WIDER THAN 6 FT., INSTALL LONGITUDINAL SAW-JOINT AT CENTERLINE OR AT A SPACING NOT TO EXCEED 5 FT. TRANSVERSE SAW-CUT JOINT SPACING EQUAL TO HALF SIDEWALK WIDTH.
  5. IF SIDEWALK IS REINFORCED, NO STEEL SHALL BE PLACED THROUGH AN EXPANSION JOINT.
  6. SEE SEPARATE DETAIL FOR ADDITIONAL CONCRETE JOINT REQUIREMENTS.

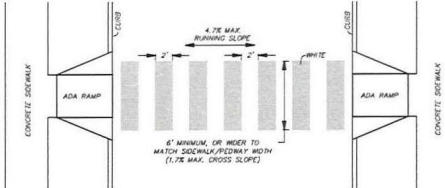
CONCRETE SIDEWALK

NOT TO SCALE



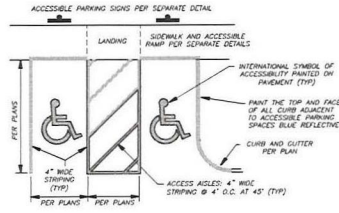
CONCRETE SIDEWALK AT BACK OF CURB

NOT TO SCALE



CROSSWALK DETAIL

NOT TO SCALE



- NOTES:
1. ALL ACCESSIBLE STALLING SHALL BE BLUE REFLECTIVE.
  2. ALL PARKING WITHIN ACCESSIBLE PARKING AREAS SHALL BE AT 1.75% OR LESS SLOPE IN ALL DIRECTIONS.

ACCESSIBLE PARKING STALL STRIPING (MISSOURI)

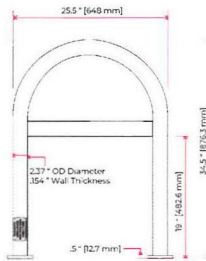
NOT TO SCALE

NOT FOR CONSTRUCTION



## Urban Staple

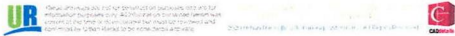
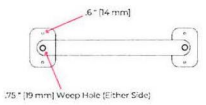
**URBAN RACKS**  
INNOVATIVE / BICYCLE PARKING



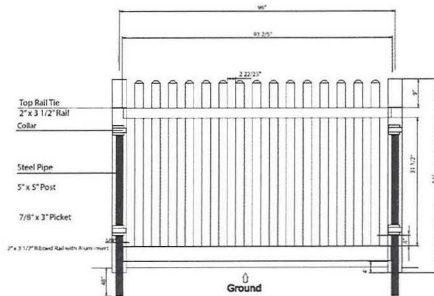
Recommended Spacing	30' [9144 mm]
Minimum Spacing	24' [7315 mm]
Total Weight	32 lbs [14.5 kg]
Assembly Material	Schedule 40 Steel
Pipe Diameter	2.37" [60.1 mm]
Pipe Wall Thickness	0.154" [3.91 mm]
Anti-consumer recycled content	93-95%
Pre-consumer recycled content	5-7%

Optional European-style security anchors

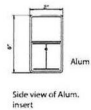
Product Coating:  
Hot Dip Galvanized  
75% Zinc by Weight



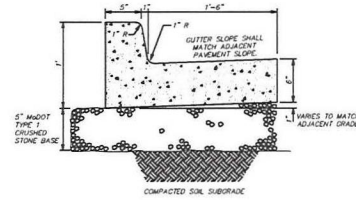
**BIKE RACK**  
NOT TO SCALE



Material per 8' section			
Item	Dimension	Thickness	Qty
Post	5" x 5" x 54"	0.150"	1
Rail	2" x 3 1/2" x 93 2/5"	0.11"	1
Picket	7/8" x 3" x 44 1/2"	0.051"	15
Steel Pipe	2 3/8" x 96"	0.080"	1
Top Rail Tie	5" x 5"	0.150"	1
Collar	5" x 5"		2
Post Cap	93 2/5"		1
Post Cap	Flat Cap		1

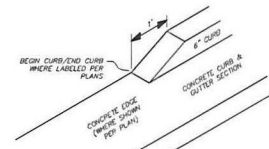


**4' DECORATIVE FENCE**  
NOT TO SCALE

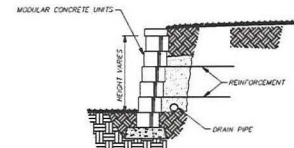


- NOTES:**
1. CURB AND GUTTER MAY BE INTEGRAL IF CONCRETE PAVEMENT IS USED.
  2. INSTALL TRANSVERSE EXPANSION JOINTS TO MATCH ADJACENT PAVEMENT OR AT EVERY 150' MAX.
  3. INSTALL SAW-CUT JOINTS TO MATCH ADJACENT PAVEMENT OR EVERY 10' MAX.
  4. SAW-CUT JOINTS SHALL EXTEND THROUGH THE ENTIRE CURB SECTION FROM THE TOP OF CURB TO A DEPTH OF 2" BELOW THE GUTTER SURFACE.

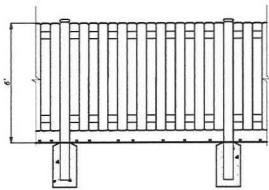
**6" CONCRETE CURB & GUTTER SECTION**  
NOT TO SCALE



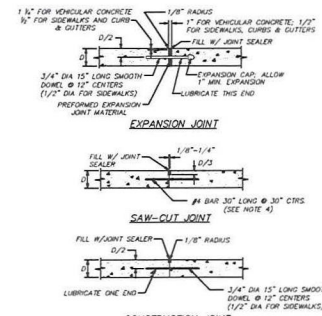
**BEGIN CURB / END CURB DETAIL**  
NOT TO SCALE



**SEGMENTAL BLOCK RETAINING WALL DETAIL**  
NOT TO SCALE

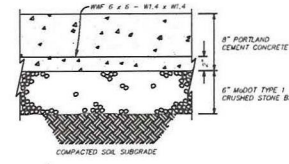


**VINYL SIGHT PROOF FENCE**  
NOT TO SCALE

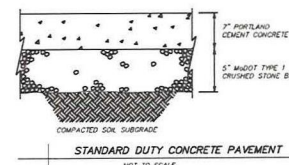


- NOTES:**
1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SUBMIT A PAVEMENT JOINT PLAN OF ALL CONCRETE PAVEMENT FOR APPROVAL.
  2. CONCRETE PAVEMENT SHALL HAVE SAW-CUT OR CONSTRUCTION JOINTS EVERY 10 FEET FOR 4 INCH THICK PAVEMENT, 12 FEET FOR 5 INCH THICK PAVEMENT, AND 15 FEET FOR 6 INCH THICK PAVEMENT OR GREATER. PAVEMENT SHALL BE CUT SUCH THAT JOINTS ARE NEARLY SQUARE AND DO NOT EXCEED 1/4" LENGTH TO WIDTH RATIO. EXPANSION JOINTS SHALL BE PROVIDED AT ALL FIXED STRUCTURES, SUCH AS: LIGHT STANDARD FOUNDATIONS, SEWER STRUCTURES, BUILDINGS, WALLS, BOTTOM OF STAIRS, ROOF DRAINS, ETC., AND EVERY 150 FEET MAXIMUM. JOINT BARS SHALL BE PROVIDED AT TRANSVERSE JOINTS IN ALL HEAVY DUTY PAVEMENT DRIVE AISLES, CURBS & GUTTERS, AND SIDEWALKS.
  3. THIS DETAIL APPLIES TO ALL CONCRETE PAVEMENT FOR PARKING LOTS, DRIVE/ACCESS AISLES, CURBS & GUTTERS, AND SIDEWALKS.
  4. INCLUDE BAR WITH TRANSVERSE SAW-CUT JOINTS FOR HEAVY DUTY PAVEMENT. OMT BAR WITH SAW-CUT JOINTS FOR STANDARD DUTY PAVEMENT AND SIDEWALKS.
  5. PROVIDE CONSTRUCTION JOINT AT END OF DAYS WORK OR IF CONCRETE PLACEMENT IS SUSPENDED FOR MORE THAN 30 MINUTES.
  6. SAW-CUT JOINTS SHALL BE CUT WITHIN 12 HOURS OF INITIAL SET OF CONCRETE. RAUCLED JOINTS WILL NOT BE ACCEPTED.
  7. ELASTOMERIC POLYURETHANE JOINT SEALANT IS REQUIRED FOR ALL JOINTS AND SHALL BE LIGHT GRAY IN COLOR.
  8. OMT DOOR BARS FOR EXPANSION JOINTS AT BUILDINGS, LIGHT STANDARDS, AND ROOF DRAINS.

**CONCRETE PAVEMENT JOINTS**  
NOT TO SCALE



**HEAVY DUTY CONCRETE PAVEMENT**  
NOT TO SCALE



**STANDARD DUTY CONCRETE PAVEMENT**  
NOT TO SCALE

**Engineering Surveys & Services**  
1113 Fay Street, Columbia, MO 65201  
616-444-7260  
401 E. Diversey Drive, Jefferson City, MO 65101  
1776 West Main Street, Sedalia, MO 65501  
www.esandse.com  
MO Engineering Corp. #200000010

**FINAL PLAN**  
**MEADOWOOD ESTATES - PHASE III**  
MEADOWOOD ESTATES SUBDIVISION  
OF FALLON, ST. CHARLES COUNTY, MISSOURI

**PROFESSIONAL ENGINEER**  
MATTHEW A. KNETTE  
NUMBER  
PE-201700214  
3/15/2025

**PROFESSIONAL ENGINEER**  
MATTHEW A. KNETTE  
NUMBER  
PE-201700214

Date  
**MARCH 18, 2025**

Revised  
**MARCH 18, 2025**  
CITY COMMENTS

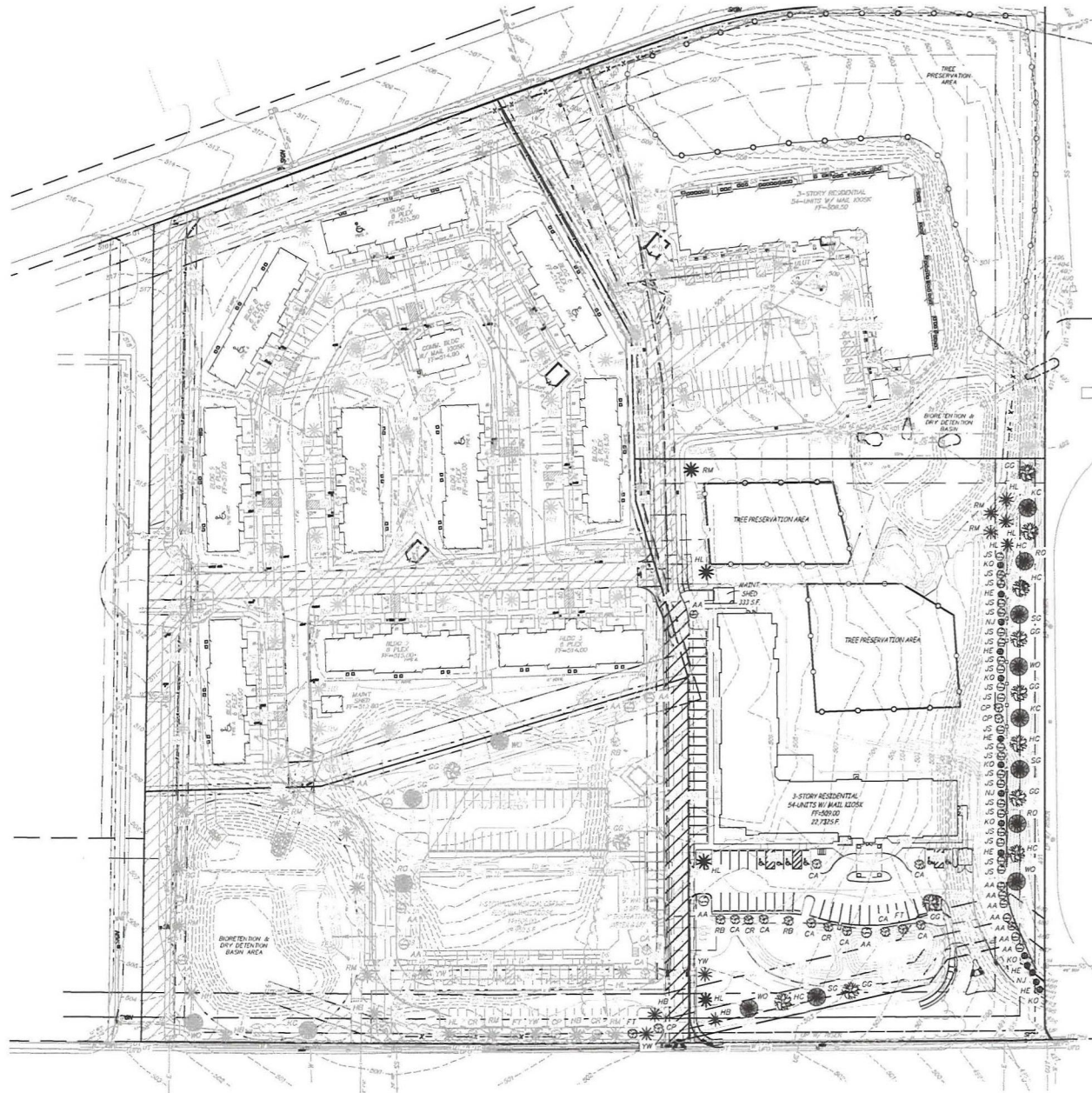
Design JH Drawn RTM

**DETAILS**  
Sheet  
**C3.02**

ES&S PROJECT NO. 15553

NOT FOR CONSTRUCTION





#### LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	LARGE DECIDUOUS CANOPY TREE (2-2.5" CALIPER)
	EVERGREEN TREE (6-8" TALL)
	MEDIUM DECIDUOUS CANOPY TREE (2-2.5" CALIPER)
	COLUMNAR EVERGREEN TREE (6-8" TALL)
	ORNAMENTAL DECIDUOUS TREE (1.5-2" CALIPER)
	SHRUB (DECIDUOUS)

(BOLD/ED TREES TO BE PLANTED W/ LOT 1 CONSTRUCTION)



### FINAL PLAN MEADOWOOD ESTATES III MEADOWOOD ESTATES SUBDIVISION OF FALLON, ST. CHARLES COUNTY, MISSOURI



MATTHEW A. KRETTE  
PROFESSIONAL ENGINEER  
#20840001018

I hereby certify that I am the author of the design and/or construction documents herein, and that I am a duly licensed Professional Engineer in the State of Missouri.

Date  
**MARCH 18, 2025**

Reviewed  
MARCH 18, 2025  
CITY COMMENTS

Design: JH Drawn: RTM

LANDSCAPE PLAN

Sheet

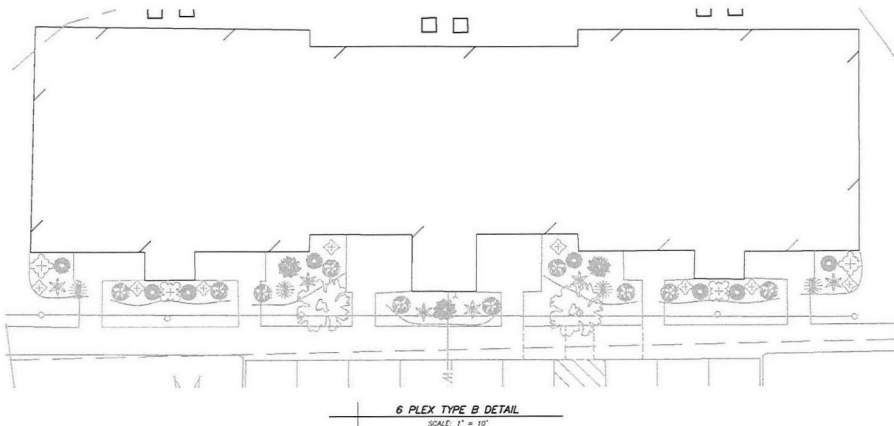
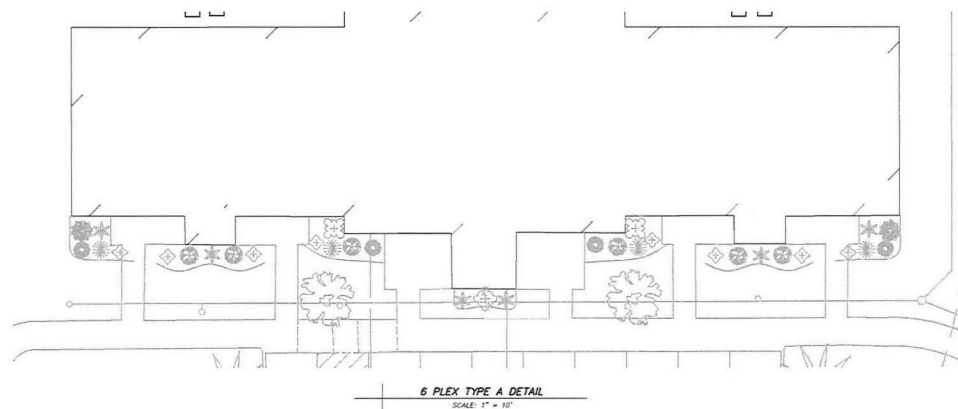
**L1.01**

NOT FOR CONSTRUCTION

ES&S PROJECT NO. 16553

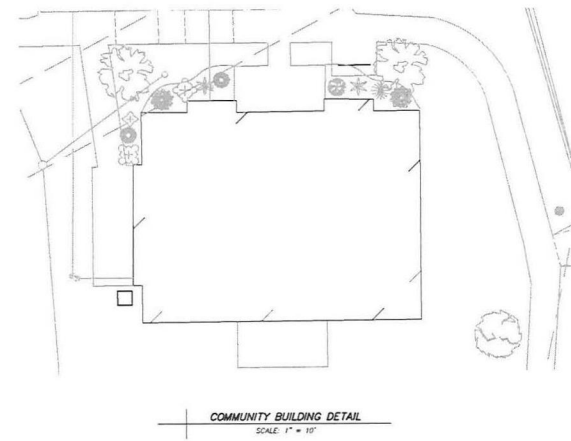


NOT FOR CONSTRUCTION

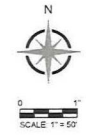


LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	ORNAMENTAL DECIDUOUS TREE (1.5-2" CALIPER)
	NEW JERSEY TEA
	KNOCKOUT ROSE
	HYDRANGEA
	BLUE FESCUE



1113 Fay Street, Columbia, MO 65201  
616 El Dorado Drive, Jefferson City, MO 65107  
1775 West Main Street, Sedalia, MO 65301  
www.esandsonline.com  
MO Engineering Cart. # 2004000118



FINAL PLAN  
MEADOWOOD ESTATES III  
MEADOWOOD ESTATES SUBDIVISION  
OFFALLON, ST., CHARLES COUNTY, MISSOURI



MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-200700011  
If official seal is not used, the seal number shall be considered a contract violation.

Date  
MARCH 18, 2025

Revised  
MARCH 18, 2025  
CITY COMMENTS

Design: JH Drawn: RTM

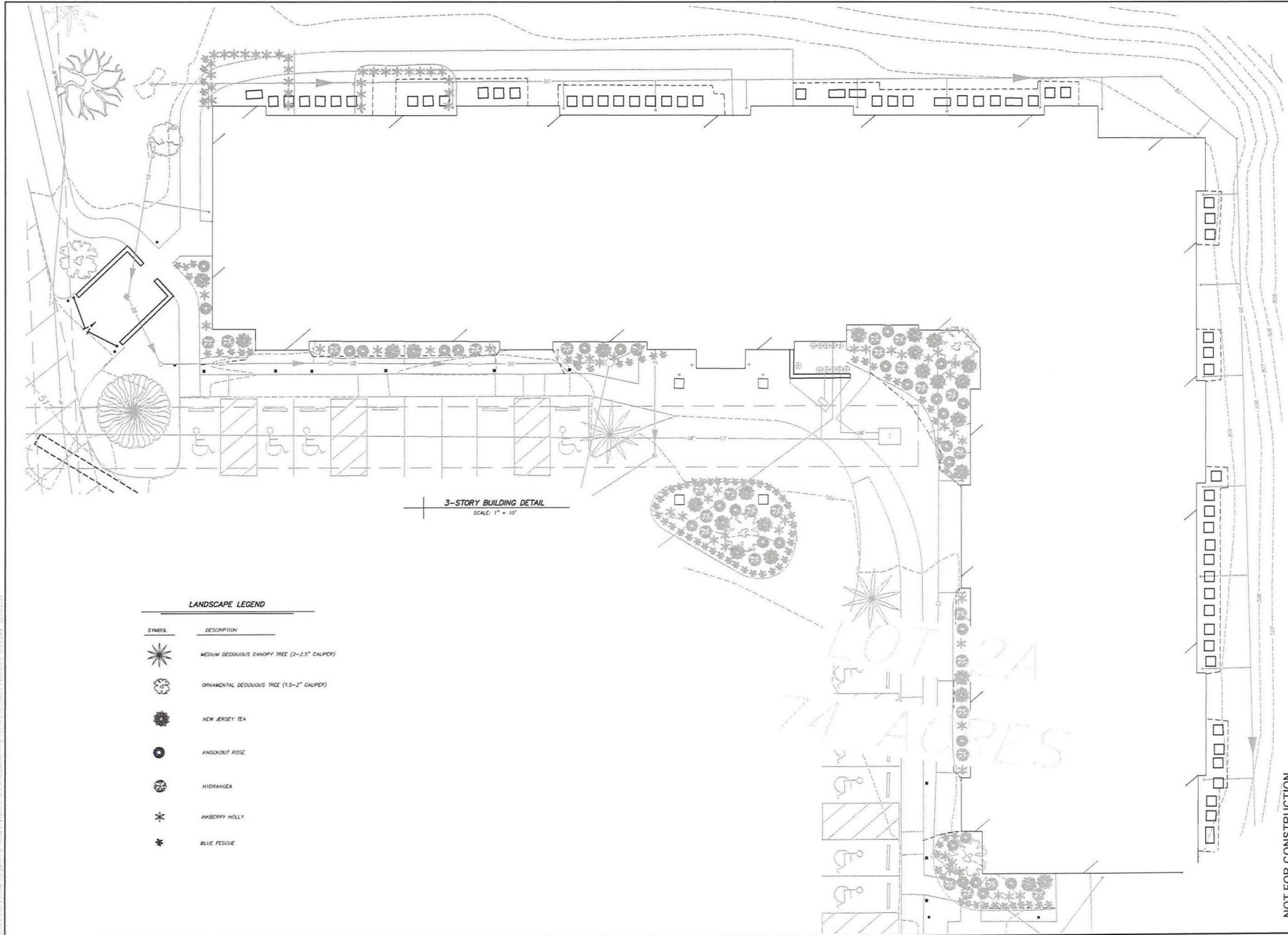
LANDSCAPE PLAN

Sheet

L1.02

ES&S PROJECT NO. 16553





LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	MEDIUM DECIDUOUS CANOPY TREE (2-2.5' CALIPER)
	ORNAMENTAL DECIDUOUS TREE (1.5-2' CALIPER)
	NEW JERSEY TEA
	KNOCKOUT ROSE
	HYDRANGEA
	AMELBERRY HOLLY
	BLUE FESCUE

3-STORY BUILDING DETAIL  
SCALE: 1" = 10'

Engineering Surveys  
& Services  
11113 Fay Street, Columbia, MO 65201  
781.444.7444  
1712 E Durbin Drive, Jefferson City, MO 65101  
620.453.0001  
1775 West Main Street, Sedalia, MO 65301  
620.825.1111  
www.esandse.com  
MO Engineering Corp. #2004000018



FINAL PLAN  
MEADOWOOD ESTATES III  
MEADOWOOD ESTATES SUBDIVISION  
OF FALLON, ST. CHARLES COUNTY, MISSOURI



MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-179925

Date  
MARCH 18, 2025

Revised  
MARCH 19, 2025  
CITY COMMENTS

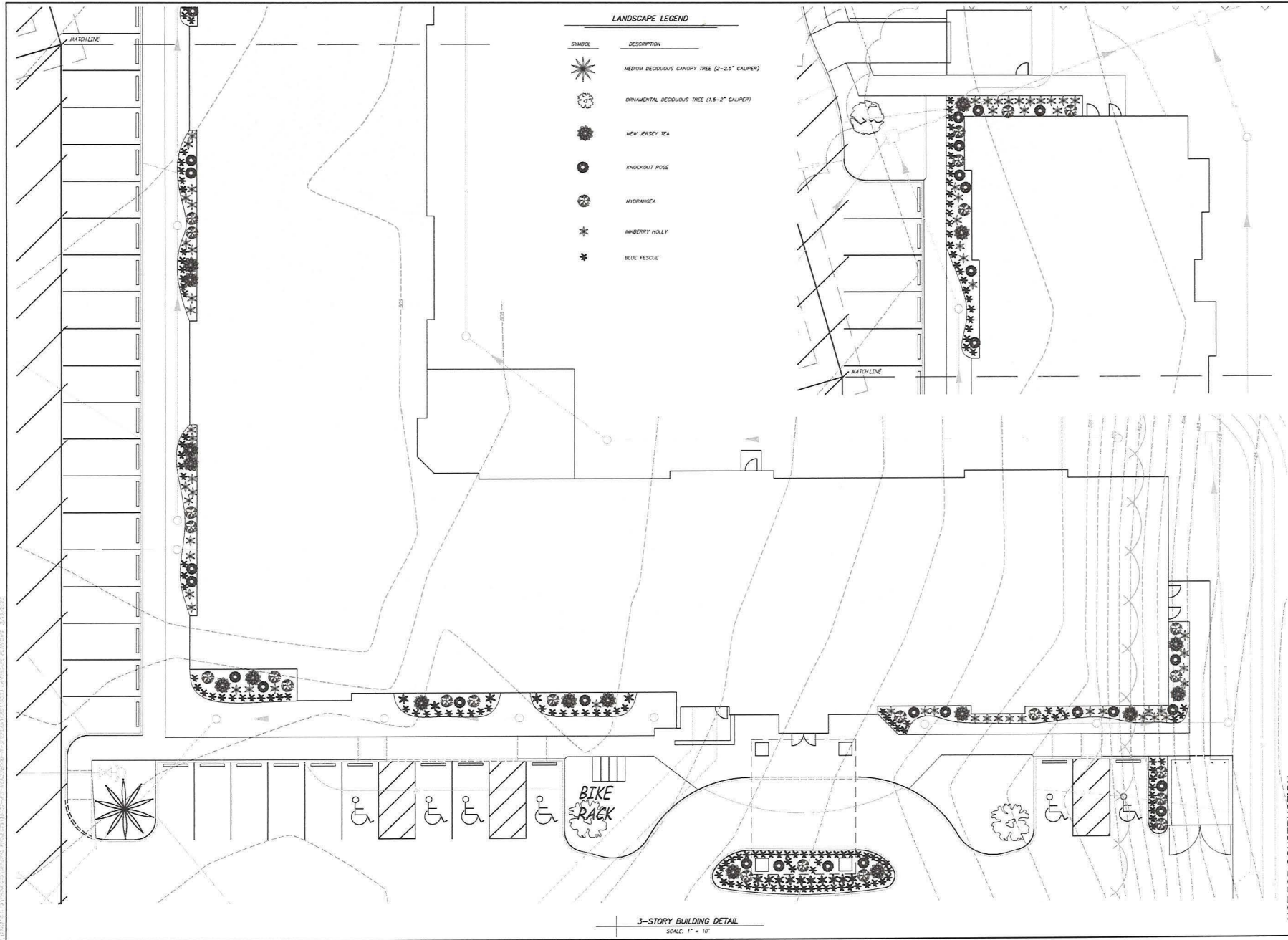
Design: JH Drawn: RTM

LANDSCAPE PLAN  
Sheet  
L1.03

ES&S PROJECT NO. 16553

NOT FOR CONSTRUCTION





Engineering Surveys & Services  
DESIGN-BUILD PROJECTS

1113 Pay Street, Columbia, MO 65201  
314-447-2445  
802 El Dorado Drive, Jefferson City, MO 65101  
314-644-0000  
1776 West Main Street, St. Louis, MO 63101  
314-644-0000  
www.esands.com  
MO Engineering Corp. # 2008000018

N

0 1" = 20'

**FINAL PLAN**  
**MEADOWOOD ESTATES III**  
MEADOWOOD ESTATES SUBDIVISION  
OFFALLON, ST. CHARLES COUNTY, MISSOURI

3/18/25

MATTHEW A. KIBBE  
PROFESSIONAL ENGINEER  
PE-070708011

I, MATTHEW A. KIBBE, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI AND THAT I AM THE DESIGNER OF THE ABOVE PROJECT.

Date  
**MARCH 18, 2025**

Revised  
**MARCH 18, 2025**

CITY COMMENTS

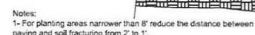
Design: JH Drawn: RTM

LANDSCAPE PLAN

Sheet  
**L1.04**

ES&S PROJECT NO. 16553





MODIFIED EXISTING SOIL - COMPACTED SURFACE

MODIFIED EXISTING SOIL - COMPACTED SUB SOIL (FRACTURING)

## LANDSCAPING NOTES

1. ALL TRANSFORMERS, A/C UNITS, AND OTHER VISIBLE UTILITIES TO BE SCREENED WITH PLANT MATERIAL (SET UP ON SITE)
2. ALL PLANTING BEDS TO BE MULCH.
3. ALL LAWN AREAS TO BE SOO AROUND & WITHIN 15 FEET OF BUILDINGS AND WALKS.
4. BUFFER ZONE TO BE SEED AND STRAW.
5. ALL AREAS TO BE IRRIGATED.

SENIOR COMMUNITY PARKING FACILITIES (CODE 400.162 E.3.d)				
LOCATION	PARKING STALLS	REQUIRED TREES FOR PARKING SPACE	REQUIRED TREES	PROVIDE TREES
LOT 1	95	2 TREES/3 SPACES	64	64
LOT 3	57	2 TREES/3 SPACES	38	38
LOT 4	61	2 TREES/3 SPACES	41	41

STREET FRONTAGE PRICES (CODE 403.000 & 402.000)				
STREET FRONTAGE	LENGTH (F)	REQUIRED PRICE PER LINEAL	REQUIRED FEET	PROVIDED FEET
C2 ZONED PORTION ALONG TOM GRIFFITH AVE	508	1:40 FT	13	14
R4 ZONED PORTION ALONG TOM GRIFFITH AVE	2668	1:50 FT	5	5
C2 ZONED PORTION ALONG TOM GRIFFITH AVE	256	1:50 FT	5	5
C2 ZONED PORTION ALONG TOM GRIFFITH AVE	180	1:40 FT	5	5
R4 ZONED PORTION ALONG MIDWAY BLVD	334	1:50 FT	7	6
C2 ZONED PORTION ALONG MIDWAY BLVD	492	1:40 FT	12	13

LANDSCAPE PROTECTION TREE NOTE - ALL LOTS

EXISTING TREE MASS	8.59 ACRES
TREE MASS REMOVED	7.46 ACRES
TREE MASS PRESERVED	2.13 ACRES
20% TOTAL MASS TO BE PRESERVED	1.92 ACRES

TREES PROVIDED ARE SHOWN IN LANDSCAPE PLAN

PARKING LOT LANDSCAPING (CODE 402.170.B.2.e)					
LOCATION	PARKING STALLS	PARKING LOT INTERIOR	PARKING LOT INTERIOR (SF)	REQUIRED 6X INTERIOR LANDSCAPING (SF)	PROVIDED INTERIOR LANDSCAPING (SF)
LOT 4 PARKING LOT	61	270 SF/STALL	16,470	888	3,480

BUFFER YARD LANDSCAPING (CODE 400.162.E.4.6)									
LOCATION	LENGTH (FT)	REQUIRED PLANNING UNIT PER LENGTH	REQUIRED PLANTING UNITS	PROVIDED DECIDUOUS CANOPY TREES	PROVIDED EVERGREEN PERENNIAL TREES	PROVIDED PERENNIAL TREES	PROVIDED TOTAL PLANTS	PROVIDED PLANTING UNITS	PROVIDED PLANTING UNITS
SENIOR COMMUNITY ADJACENT TO IT PROPERTY	327	5,100 FT	16.4	85' MIN SWATH OF PROVIDED EXISTING TREE MASS TO REMAIN ALONG BUFFERYARD PLANNING UNITS REQUIREMENT MET	2, 10 POINTS	15, 15 POINTS	265	18.8	16.4 +
SENIOR COMMUNITY ADJACENT TO 66 PROPERTY	720	2,510 FT	18	15, 150 POINTS	38, 390 POINTS	2, 10 POINTS	15, 15 POINTS	265	18.8

TREE SCHEDULE		
LARGE DECIDUOUS CANOPY TREES		
LABEL ID#	COMMON NAME	BOTANICAL NAME
MD 3	WHITE DAW	QUERCUS ALBA
PD 8	NORWICH RED OAK	QUERCUS RUBRA
AC 8	KENTUCKY COFFEE TREE	CHIONODOGUS DOGGLI "PRINCE TITAN" OR EXPRESS
SG 6	HAPPYFACE SHEETWING	LOQUAGNIA STRAHOPEA HUBBARDI (FRUITLESS)
MEDIUM DECIDUOUS CANOPY TREES		
LABEL ID#		
HB 18	HORTAGE RIVER BIRCH	BETULA NIXON "HORTAGE"
AM 20	RED SUNSET RED MAPLE	ACER RUBRUM RED SUNSET
TM 9	YELLOWBUD	CLORASTIS FENTONIA
ML 12	HONEY LOCUST	GLASTIA TRACANTHUS IMPERIAL OR "SUNBURST"
ORNAMENTAL DECIDUOUS SHADE TREES		
LABEL ID#	COMMON NAME	BOTANICAL NAME
CP 15	PRAIRIE FRIBBLE	MALUS "PRAIRIE"
HB 7	PAINTED CHERUB	CHORUS CANNABOS
PF 15	CRABAPPLE	CHIONODOGUS VERTICILLATUS
CA 3	CRABAPPLE "AURORA/GOLD"	MALUS AURORA/GOLD
DR 4	CRABAPPLE "RED JEWEL"	MALUS JEWELCOTE
EVERGREEN TREES		
LABEL ID#		
LABEL ID#	COMMON NAME	BOTANICAL NAME
AA 42	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS "HOLMSTROP"
CG 16	HILLSIDE EASTERN RED CEDAR	JUNIPERO VIRGINIANA "HILLSIDE"
SG 13	GREEN GATE ARBORVITAE	THUJA GREEN GATE
ML 22	WINTER SCOTCH	ABIES SCOTLANDICA "SCOTCHWOOD"

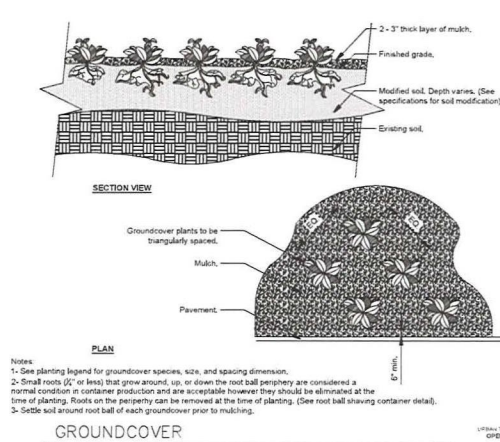
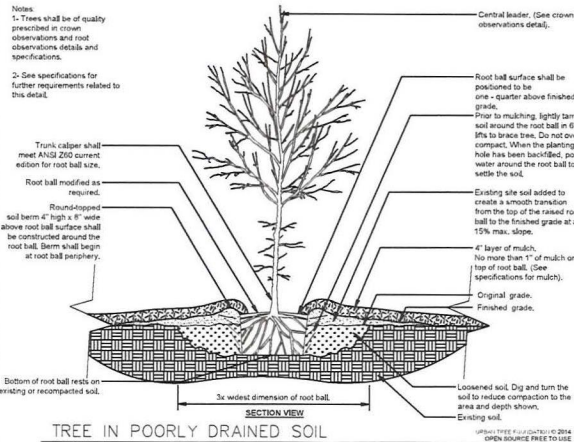
SHRUB SCHEDULE		
DECIDUOUS SHRUBS		
LABEL QTY	COMMON NAME	BOTANICAL NAME
HE 70	HYDRANGEA ENDLESS SUMMER	HYDRANGEA MACROPHYLLA "BALMER"
NJ 49	NEW JERSEY TEA	CEANOTHUS AMERICANUS
FO 72	KNOCKOUT ROSE	ROSA RADRAZZ

ORNAMENTAL GRASSES SCHEDULE			
LABEL	QTY	COMMON NAME	BOTANICAL NAME
BF	245	BLUE FESCUE	FESTUCA GLAUCA 'ELIJAH BLUE'
PH	160	INKBERRY HOLLY	ILEX GLABRA

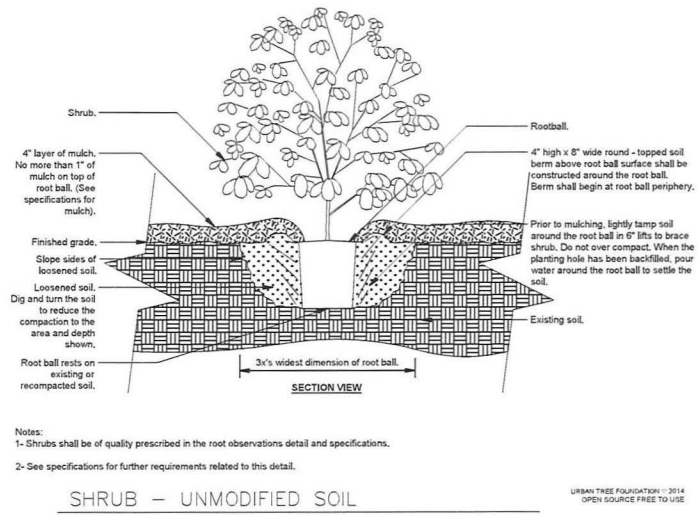
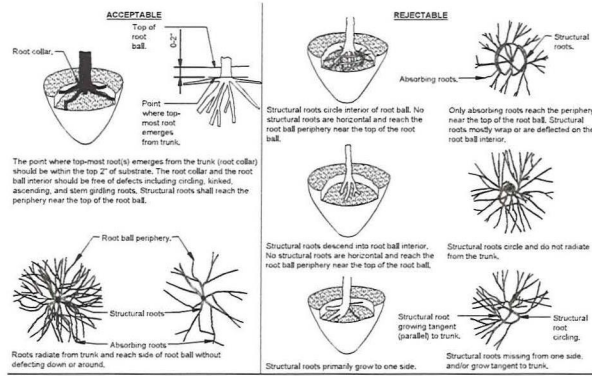
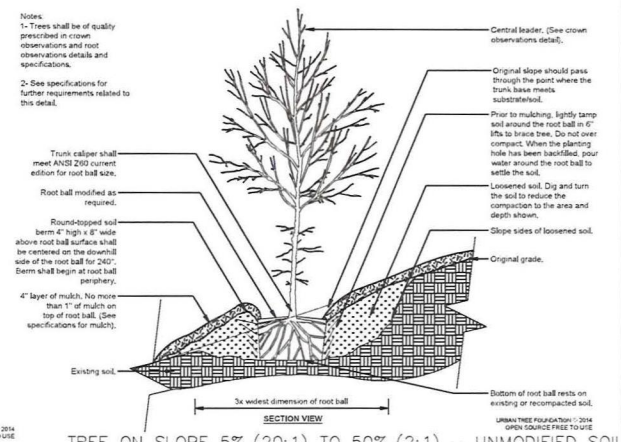
NOT FOR CONSTRUCTION



Notes:  
1- Trees shall be of quality prescribed in crown observations details and root observations details and specifications.  
2- See specifications for further requirements related to this detail.



Notes:  
1- Trees shall be of quality prescribed in crown observations details and root observations details and specifications.  
2- See specifications for further requirements related to this detail.



Notes:  
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.  
2- See specifications for further requirements related to this detail.

Engineering Surveys & Services

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613 E. Dwyer Drive, Jefferson City, MO 65101  
663.433.7093  
1775 West Main Street, Sedalia, MO 65201  
660.626.4618

ES&S Engineering Corp. #2268000218

**FINAL PLAN**

**MEADOWOOD ESTATES III**

MEADOWOOD ESTATES SUBDIVISION

OTFALLON, ST. CHARLES COUNTY, MISSOURI

MATTHEW A. KRESKE  
PROFESSIONAL ENGINEER  
PE-200703811

DATE: MARCH 18, 2025

REVISION: 1

CITY COMMENTS:

NOT FOR CONSTRUCTION

Design: JH Drawn: RTM

LANDSCAPE PLAN

Sheet

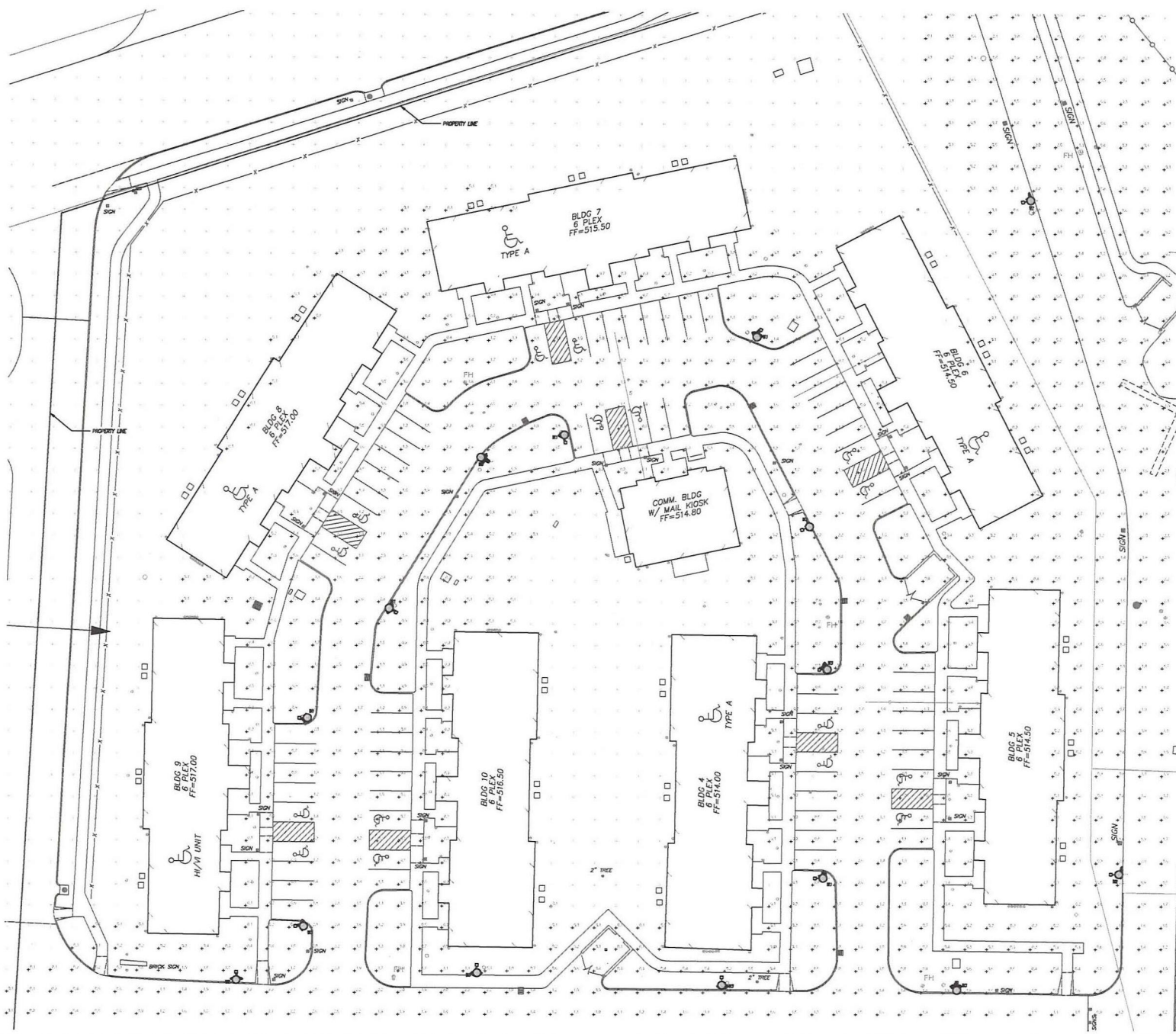
**L1.06**

ES&S PROJECT NO. 16553









PRINTS ISSUED  
02/28/2025 PRELIMINARY PLAN  
REVISIONS

**pkmr**  
ENGINEERS  
PEARSON KENT MOHILEY RAAF ENGINEERS LLC  
13000 W 18TH STREET  
ST. CHARLES, MO 63304  
WWW.PKMR.COM  
MO State Certificate of Authority #E-200322086

PRELIMINARY  
NOT FOR CONSTRUCTION

MEADOWWOOD ESTATES  
ST. CHARLES COUNTY,  
O'FALLON, MISSOURI

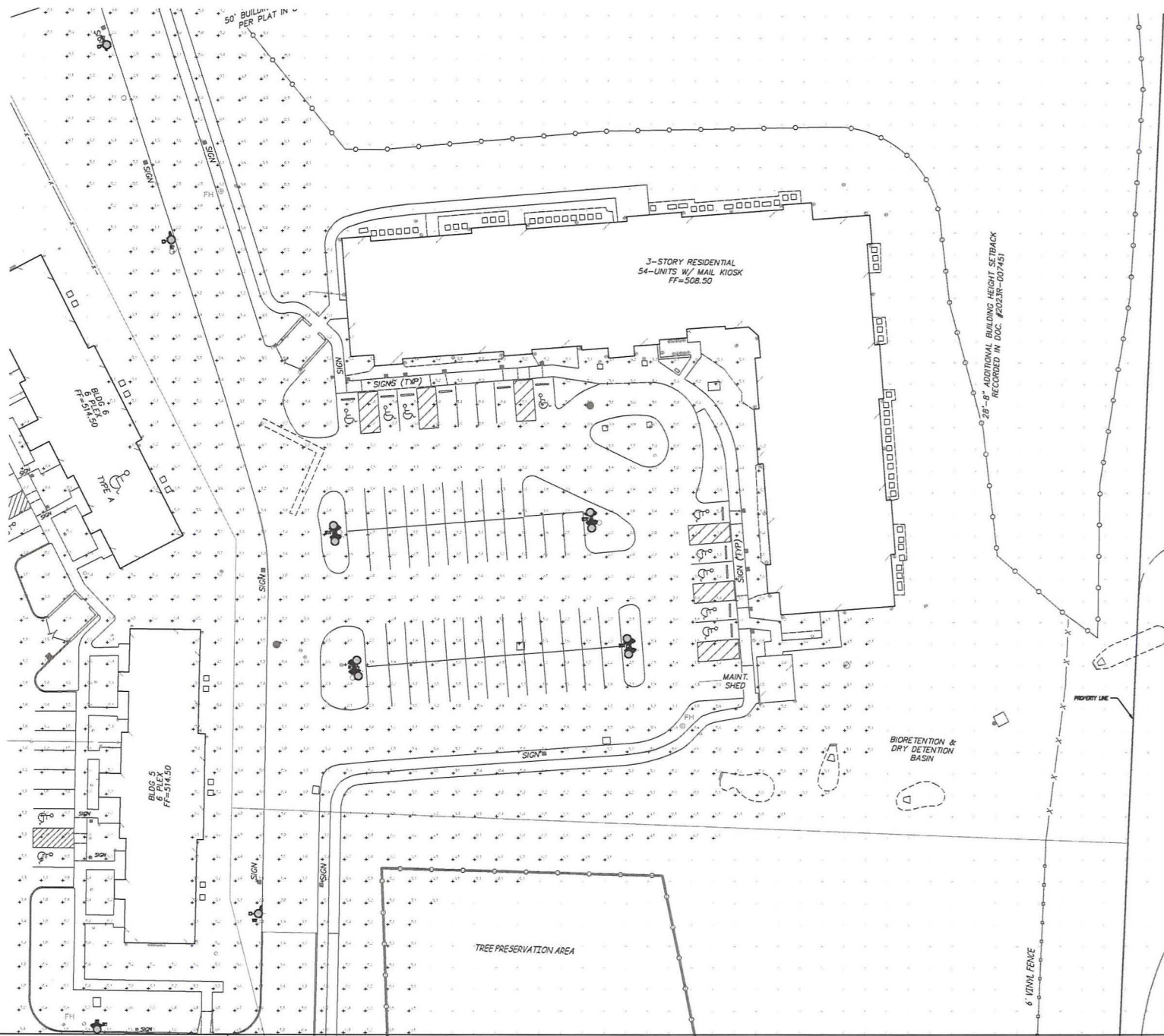
SHEET TITLE  
SITE LIGHTING PLAN - PHASE 1  
PROJECT NUMBER 18055  
SHEET NUMBER

SL1

**SITE LIGHTING PLAN - PHASE 1**  
1"=20'-0"

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_





PRINTS ISSUED  
03-28-2025 PRELIMINARY PLAN  
REVISIONS

**pkmr**  
ENGINEERS

PEARSON KENT MCKINLEY RAAF ENGINEERS LLC  
1330 W 15TH STREET  
ST. LOUIS, MO 63104  
WWW.PKMR-ENG.COM  
MO State Certificate of Authority #C-000030386

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ST. CHARLES COUNTY,  
O'FALLON, MISSOURI

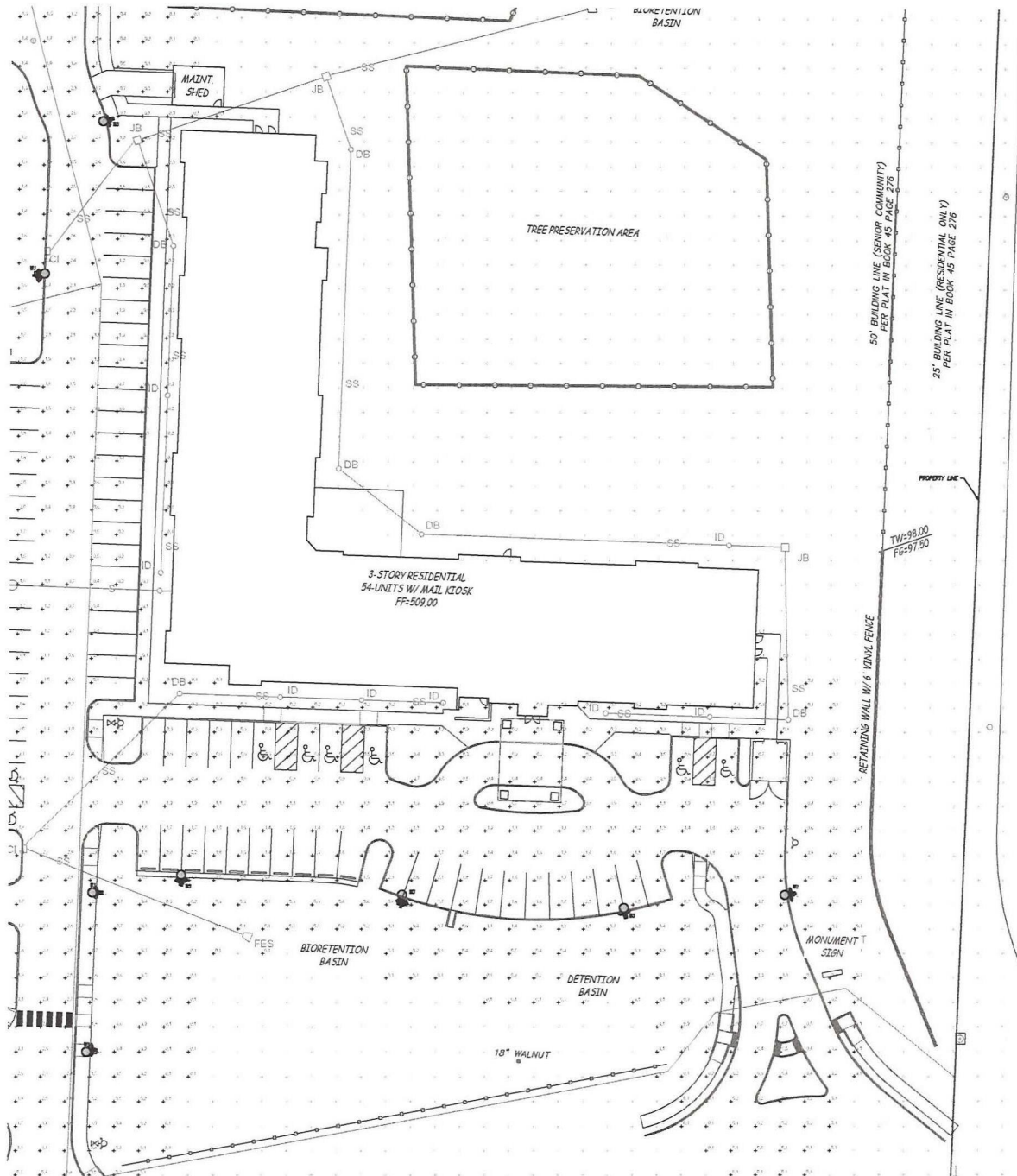
SHEET TITLE  
SITE LIGHTING PLAN - PHASE 2  
PROJECT NUMBER: 18055  
SHEET NUMBER

SL2

DRAWN BY: - CHECKED BY: -

SITE LIGHTING PLAN - PHASE 2  
7/25/24





PRINTS ISSUED  
02/28/2025 PRELIMINARY PLAN  
REVISIONS



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MEADOWOOD ESTATES  
ST. CHARLES COUNTY,  
O'FALLON, MISSOURI

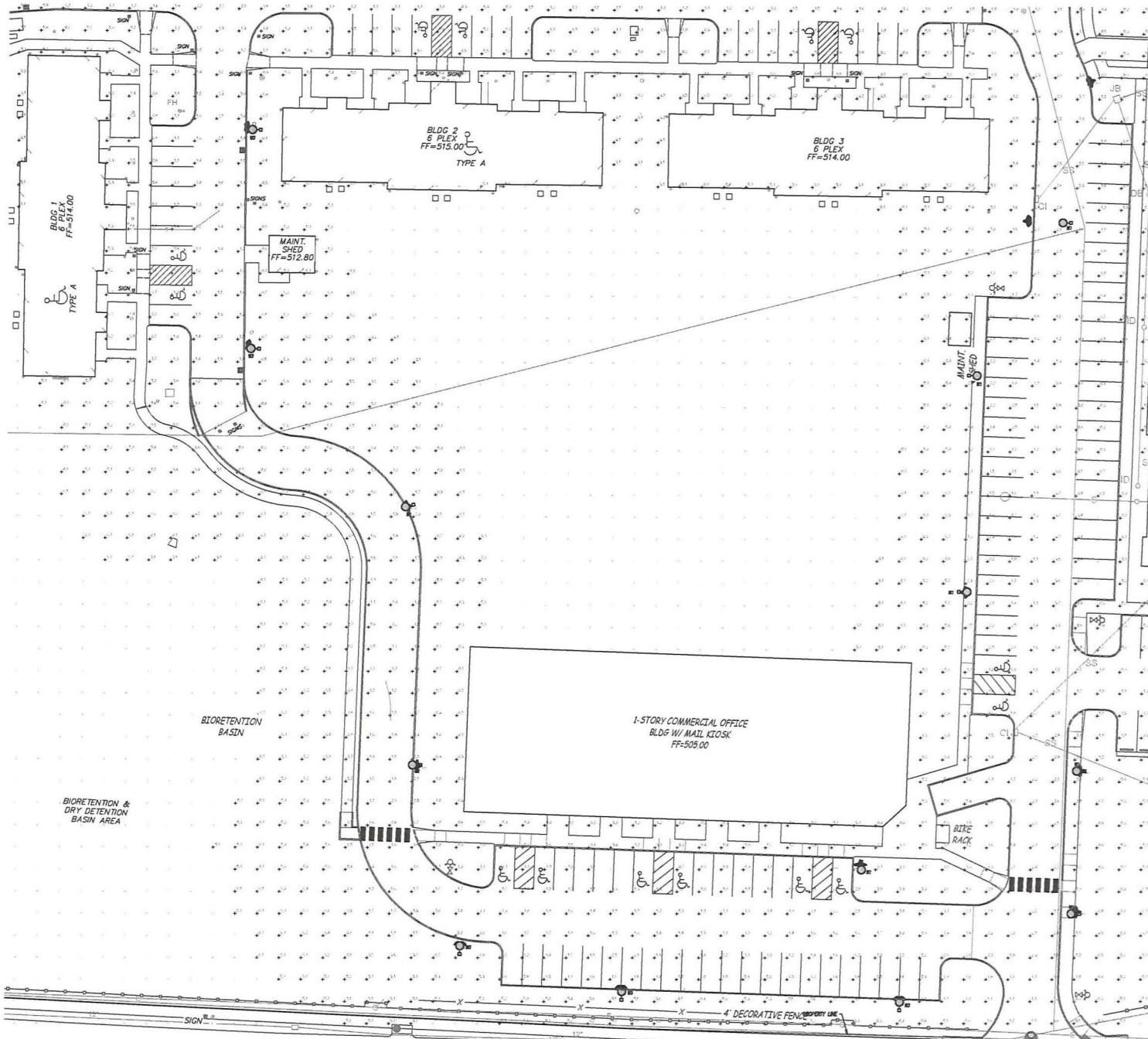
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SITE LIGHTING PLAN - PHASE 3  
PROJECT NUMBER: 18055  
SHEET NUMBER

SL3

DRAWN BY: - CHECKED BY: -







PRINTS ISSUED  
02/28/2025 PRELIMINARY PLAN  
REVISIONS:

**pkmr**  
ENGINEERS  
PEARSON & KENT MCKINLEY RAFF ENGINEERS LLC  
13700 WIRTH STREET  
10240 JAW  
LEWIS, MO 64501  
WWW.PKMR.COM  
MO State Certificate of Authority #C-2003030886

PRELIMINARY  
NOT FOR CONSTRUCTION

MEADOWOOD ESTATES  
ST. CHARLES COUNTY,  
O'FALLON, MISSOURI

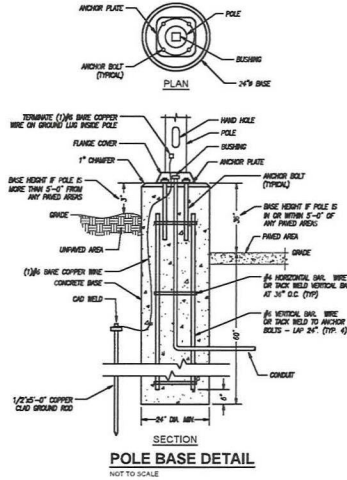
SHEET TITLE  
SITE LIGHTING PLAN - PHASE 4  
PROJECT NUMBER 18055  
SHEET NUMBER

SL4

**71200P**  
SITE LIGHTING PLAN - PHASE 4

DRAWN BY: - CHECKED BY: -





LIGHT FIXTURE SCHEDULE - SITE LIGHTING				
FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP NUMBER / DESCRIPTION
M2	RAU LIGHTING	ALED SERIES	ANCHORING, POLE-MOUNTED FIXTURE, DIE-CAST ALUMINUM HOUSING, DIE-CAST DOOR FRAME WITH CONDUIT, BUSHING, AND FULL BUSHING COUPLER, 8\"/>	ONE (1) 70 WATT LED MODULE, 9000 LUMENS, 3000K CCT.
M3	RAU LIGHTING	ALED SERIES	SAME AS TYPE M2 FIXTURE, EXCEPT FURNISH WITH 8\"/>	ONE (1) 70 WATT LED MODULE, 9000 LUMENS, 3000K CCT.
M4	RAU LIGHTING	ALED SERIES	SAME AS TYPE M2 FIXTURE, EXCEPT FURNISH WITH 8\"/>	ONE (1) 70 WATT LED MODULE, 9000 LUMENS, 3000K CCT.

PARKING LOT STATISTICS				
DESCRIPTION	MAINTAINED LIGHTING LEVELS			UNIFORMITY
	AVG. FC (1)	MIN. FC (2)	MIN. FC (3)	AVG. ILLUM.
PHASE 1 PARKING ROAD	1.5	0.5	0.2	75 : 1
PHASE 2 PARKING ROAD	1.5	0.5	0.2	10.5 : 1
PHASE 3 PARKING ROAD	1.2	0.4	0.2	12.0 : 1
PHASE 4 PARKING ROAD	1.4	0.5	0.2	4.5 : 1

NOTES:  
1. NUMBERS INDICATE FOOTCANDLE LEVELS AT GRADE.  
2. CALCULATIONS PERFORMED USING VESDA 2020.  
3. ILLUMINATION AT PUBLIC RIGHT-OF-WAY SHALL BE BETWEEN 0.4 AND 0.7 FOOTCANDLES.  
4. ILLUMINATION AT PROPERTY LINES ADJACENT TO RESIDENTIAL ZONING SHALL NOT EXCEED 0.5 FOOTCANDLES.

ALED2T50N



Color: Blacker Image: 250 x 100

Technical Specifications

Lighting

LED Lighting

LED Lumen

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Project

Type

Prepared By

Date

Driver Info

LED Info

Type

Color

Power

Current

Voltage

Frequency

Power Factor

Efficiency

Life Span

Warranty

Notes

Comments

Revisions

Drawings

Specifications

Materials

Methods

Quality

Safety

Health

Environment

Cost

Value

Impact

Legacy

Stewardship

Resilience

Equity

Innovation

Leadership

Collaboration

Transparency

Accountability

Integrity

Trust

Respect

Compassion

Kindness

Patience

Humility

Gentleness

Peace

Love

Grace

Glory

Honor

Praise

Worship

Service

Stewardship

Leadership

Collaboration

Transparency

Accountability

Integrity

Trust

Respect

Compassion

Kindness

Patience

Humility

Gentleness

Peace

Love

Grace

Glory

Honor

Praise

Worship

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Stewardship

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Leadership

Collaboration

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Integrity

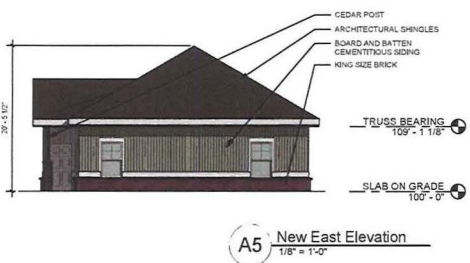
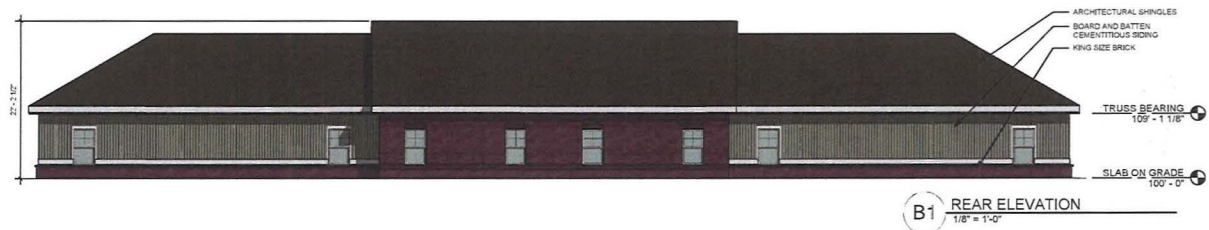
Trust

Respect

Compassion

Kindness





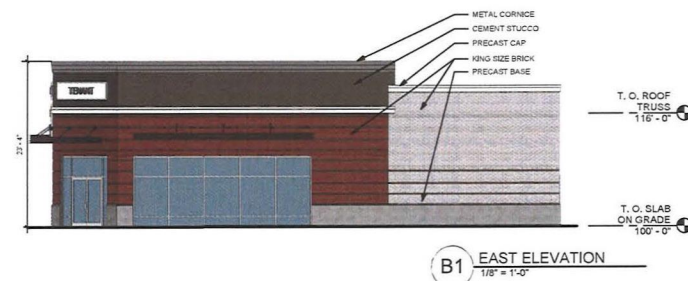
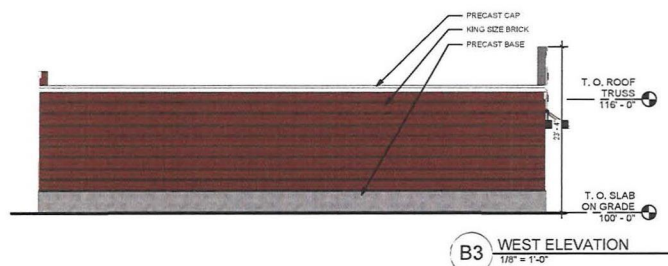
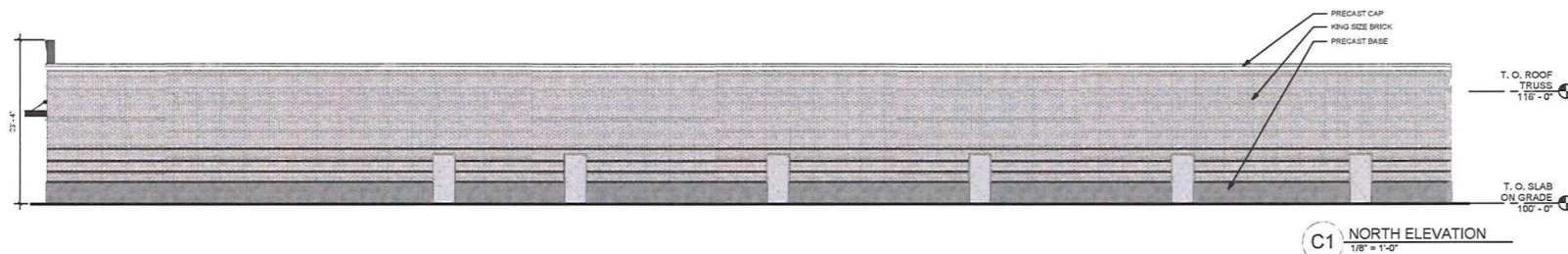
MEADOWOOD ESTATES  
ST. CHARLES COUNTY,  
O'FALLON, MISSOURI

SHEET TITLE  
EXTERIOR ELEVATIONS - G-PLEX  
AND COMMUNITY BUILDING  
PROJECT NUMBER: Project Number  
SHEET NUMBER

A-1

DRAWN BY: Author CHECKED BY: Chelmer



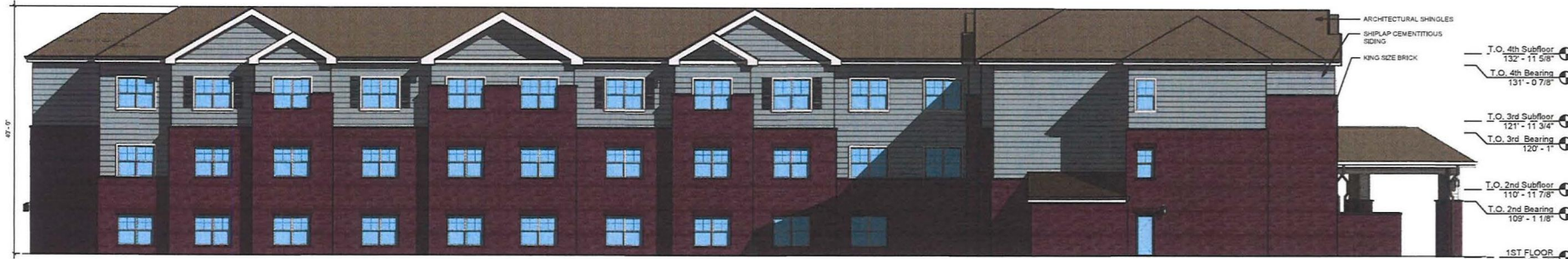


MEADOWOOD ESTATES  
ST. CHARLES COUNTY  
O'FALLON, MISSOURI

SHEET TITLE  
EXTERIOR ELEVATIONS -  
COMMERCIAL BUILDING  
PROJECT NUMBER 18008  
SHEET NUMBER

A-2





**D1 WEST ELEVATION**  
1/8" = 1'-0"



**C1 SOUTH ELEVATION**  
1/8" = 1'-0"



**B1 NORTH ELEVATION**  
1/8" = 1'-0"



**A1 EAST ELEVATION**  
1/8" = 1'-0"

PRINTS ISSUED  
04/03/2020 ARCHITECTURAL EXHIBITS  
REVISIONS:

**rosemann & associates, p.c.**  
ARCHITECTURE  
INTERIOR DESIGN  
ENGINEERING  
PLANNING  
1526 Grand Boulevard  
Suite 100  
St. Charles, MO 63304  
P: 816.477.1448  
F: www.rosemann.com  
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**MEADOWOOD ESTATES**

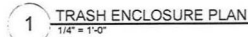
**ST. CHARLES COUNTY  
O'FALLON, MISSOURI**

SHEET TITLE  
EXTERIOR ELEVATIONS - 3  
STORY BUILDING  
PROJECT NUMBER 17034  
SHEET NUMBER

**A-3**

DRAWN BY: SMS CHECKED BY: TD, MG





**rosemann  
& ASSOCIATES** P.C.

ARCHITECTURE  
INTERIOR DESIGN  
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MEADOWOOD ESTATES  
ST. CHARLES COUNTY  
O'FALLON, MISSOURI

SHEET TITLE  
ARCHITECTURAL SITE AMENITIES

PROJECT NUMBER 18057

SHEET NUMBER

A-4

DRAWN BY: SS, PS      CHECKED BY: MG



